



## OFFICIAL NOTICE AND AGENDA

of a meeting of a City Board, Commission, Department Committee, Agency, Corporation, Quasi-Municipal Corporation or Sub-unit thereof.

Notice is hereby given that the PLAN COMMISSION of the City of Wausau, Wisconsin will hold a regular or special meeting on the date, time and location shown below.

Meeting of the: **PLAN COMMISSION OF THE CITY OF WAUSAU**  
Date/Time: **Tuesday, July 21, 2020 at 5:00 pm.**  
Location: **City Hall (407 Grant Street, Wausau WI 54403) - COMMON COUNCIL CHAMBERS**  
Members: Rosenberg (C), Lindman, Peckham, Neal, Bohlken, Brueggeman

### AGENDA ITEMS FOR CONSIDERATION (All items listed may be acted upon)

1. Approve the minutes of the June 16, 2020 meeting.
2. Discussion and possible action on approving a conditional use at 330, 336 and 435 Adrian Street to allow for waste water treatment facility with associated structures including chemical building storage, solids building, administrative building and secondary clarifier, in an HI, Heavy Industrial Zoning District. (City of Wausau)
3. Discussion and possible action on approving a conditional use at 700 Bugbee Avenue to allow for a water treatment facility with associated structures including two above-ground reservoirs and an administrative/vehicle storage building, in an I, Institutional Zoning District. (City of Wausau)
4. Discussion and possible action on the final plat for Wausau River East Phase II Subdivision.
5. Next meeting date and future agenda items for consideration.
6. Planning news and education - <http://plannersweb.com/2013/11/understanding-spot-zoning-2/>
7. Adjournment

Due to the COVID-19 pandemic, this meeting is being held in person and via teleconference. Members of the media and the public may attend in person, subject to the social distancing rules of maintaining at least 6 feet apart from other individuals, or by calling 1-408-418-9388. The Access Code is 146 101 5144. Individuals appearing in person will either be seated in the Council Chambers or an overflow room, subject to the social distancing rules. Space available will be on a first come, first served basis. All public participants' phones will be muted during the meeting. Members of the public who do not wish to appear in person may view the meeting live over the internet at <https://tinyurl.com/wausaucitycouncil>, on the City of Wausau's YouTube Channel [https://www.youtube.com/channel/UC-Nigpdco\\_i8sq5FbbJD\\_aw](https://www.youtube.com/channel/UC-Nigpdco_i8sq5FbbJD_aw), live by cable TV, Channel 981, and a video is available in its entirety and can be accessed at <https://tinyurl.com/wausaucitycouncil>. Any person wishing to offer public comment who does not appear in person to do so, may e-mail [melissa.engen@ci.wausau.wi.us](mailto:melissa.engen@ci.wausau.wi.us) with "Plan Commission public comment" in the subject line prior to the meeting start. All public comment, either by email or in person, will be limited to items on the agenda at this time. The messages related to agenda items received prior to the start of the meeting will be provided to the Chair.

This Notice was posted at City Hall and emailed to the Daily Herald newsroom on 7/17/2020 @ 2:00 p.m. Questions regarding this agenda may be directed to the Planning Department at (715) 261-6760.

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Wausau will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance or reasonable accommodations in participating in this meeting or event due to a disability as defined under the ADA, please call the Planning Department at (715) 261-6760 or the City's ADA Coordinator at (715) 261-6620 or e-mail [clerk@ci.wausau.wi.us](mailto:clerk@ci.wausau.wi.us) at least 48 hours prior to the scheduled meeting or event to request an accommodation.

Distribution List: City Website, Media, Committee Members, Council Members, Assessor, Attorney, City Clerk, Community Development, Finance, Metro Ride, Human Resources, Police Department, Hebert, Lenz, Sippel, DeSantis, Polley, County Planning

## PLAN COMMISSION

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Time and Date: The Plan Commission met on Tuesday, June 16, 2020, at 5:00 p.m. in the Common Council Chambers of Wausau City Hall.

Members Present: Mayor Katie Rosenberg, Eric Lindman, Patrick Peckham, Tom Neal, Bruce Bohlken, Andrew Brueggeman

Others Present: Brad Lenz, Brad Sippel, William Hebert, Melissa Engen, Craig Lang

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Mayor Rosenberg called the meeting to order at approximately 5:00 p.m. noting that a quorum was present.

### **Approve the minutes of the May 27, 2020 meeting.**

Brueggeman motioned to approve the minutes of the May 27, 2020 meeting. Peckham seconded. The motion carried unanimously 6-0.

### **PUBLIC HEARING: Discussion and possible action on rezoning 2811 West Wausau Avenue from SR-2, Single Family Residence District to DR-8, Duplex Residential-8 Zoning District.**

Craig Lang said that he owns the property and is open to any questions.

Mayor Rosenberg closed the public hearing.

Neal motioned to rezone 2811 West Wausau Avenue from SR-2, Single Family Residence District to DR-8, Duplex Residential-8 Zoning District. Brueggeman seconded.

Peckham said that there is a driveway on West Wausau Avenue and then another one coming from the back. Peckham asked if the second one is necessary. Lang answered that they probably won't use it, unless it is required.

Hebert added that they are looking to rezone the property, but will have to split the property in order to build both structures.

The motion carried unanimously 6-0. This item will go to Common Council on July 14, 2020.

### **Discussion and possible action on approving a conditional use at 200 Park Avenue to allow for community gardens, in a UMU, Urban Mixed-Use Zoning District.**

Neal motioned to approve a conditional use at 200 Park Avenue to allow for community gardens, in a UMU, Urban Mixed-Use Zoning District. Brueggeman seconded.

Sippel said that this is the first conditional use application under the new zoning code and was first brought to the commission last month. The new ordinance requires that the Plan Commission meet for the item two times. The recommended finding and motion are included in the staff report. Staff recommends approval as proposed. The motion carried unanimously 6-0. It will go to Common Council on July 14, 2020.

### **PUBLIC HEARING: Discussion and possible action on approving a conditional use at 330, 336 and 435 Adrian Street to allow for waste water treatment facility with associated structures including chemical building storage, solids building, administrative building and secondary clarifier, in an HI, Heavy Industrial Zoning District.**

Lenz said that there is an existing facility and this will allow for a slight expansion which would include a

new administration building and storage area. He said Heavy Industrial is the most lenient district. The public hearing is the first step in the process and then staff will prepare the findings report for the next meeting.

Mayor Rosenberg closed the public hearing.

Brueggeman motioned approve a conditional use at 330, 336 and 435 Adrian Street to allow for a waste water treatment facility with associated structures including chemical building storage, solids building, administrative building and secondary clarifier, in an HI, Heavy Industrial Zoning District. Peckham seconded, and the motion carried unanimously 6-0.

**PUBLIC HEARING: Discussion and possible action on approving a conditional use at 700 Bugbee Avenue to allow for a water treatment facility with associated structures including two above-ground reservoirs and an administrative/vehicle storage building, in an I, Institutional Zoning District.**

Lenz said that the conditional use is for the new drinking water facility. This will replace the current facility on the river.

Mayor Rosenberg closed the public hearing.

Neal motioned approve a conditional use at 700 Bugbee Avenue to allow for a water treatment facility with associated structures including two above-ground reservoirs and an administrative/vehicle storage building, in an I, Institutional Zoning District. Brueggeman seconded.

Peckham asked staff to explain the maps as he is curious to learn more details. Lindman said that the driveway is from the west side of the lot and is actually in the Village of Maine. The stormwater pond will be north of the boundary line. A conditional use will be needed by the Village of Maine for the solar equipment. Lenz added that additional plans are available for more specifics.

The motion carried unanimously 6-0.

**Discussion and possible action on review for preliminary plat for Siewert Park.**

Hebert said that he received a preliminary plat from REI. The property is in the Town of Stettin for 6 lots. There are wetlands in the interior of the property. All lots conform to the minimum standards of the zoning code.

Peckham motioned approve the preliminary plat for Siewert Park. Brueggeman seconded, and the motion carried unanimously 6-0. This item will go to Common Council on July 14, 2020.

**Next meeting date and future agenda items for consideration.**

The next meeting is scheduled for July 21, 2020.

**Adjournment.**

Bohlken motioned to adjourn, seconded by Brueggeman. The motion carried unanimously 6-0 and the meeting adjourned at 5:15 p.m.

**The Plan Commission is next scheduled to meet at 5:00 p.m. on July 21, 2020.**



## Memorandum

From: Brad Lenz, City Planner  
To: Plan Commission  
Date: July 15, 2020  
Subject: Adrian Street Conditional Use

### Introduction

Planning is underway for updates to the Waste Water Treatment Facility located south of Thomas Street on the Wisconsin River. The proposed improvements include construction of a 2,900 sq. ft. chemical storage building, a 15,100 sq. ft. solids handling building, an 11,300 sq. ft. administration building, a 10,000 sq. ft. secondary clarifier (55 ft. diameter), a stand-by generator, stormwater transport and underground detention, retaining wall, asphalt and concrete pavement around buildings, site lighting, landscaping, and signage. Plans are included in the packet.

### Prior Action

The Plan Commission held a public hearing on June 16 to hear testimony from the public related to the proposed conditional use. The plan was briefly discussed and there was no additional substantial evidence presented at the public hearing. The Plan Commission unanimously recommended approval of the conditional use based on the initial hearing.

### Findings

When deciding on a proposed conditional use permit, the Plan Commission shall consider whether the conditional use:

**a) Is in harmony with the Comprehensive Plan**

Comments: An objective in the plan (in the Utilities and Community Facilities Chapter) is to "Expand and improve the city's sewer and water utility systems in an efficient and cost-effective manner." The proposed improvements consist of utilizing the existing facility to the greatest extent possible, while expanding where needed.

From a land use perspective, the proposed conditional use is located within an industrial area, such that land use conflicts are not expected to occur.

**b) Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements,**

public property or rights-of-way, or other matters affecting the public health, safety, or general welfare.

Comments: As noted, the proposed use is located adjacent to the existing facility, and within an area that is zoned for industrial use. The proposed improvements, including additional off-street parking, would mitigate impacts to surrounding properties and the general public.

- c) Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Comments: The proposed land use is an expansion of an existing facility that has operated at this location for many years. The other land uses bordering the subject property are used at a similar intensity.

- d) Is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public or private agencies serving the subject property.

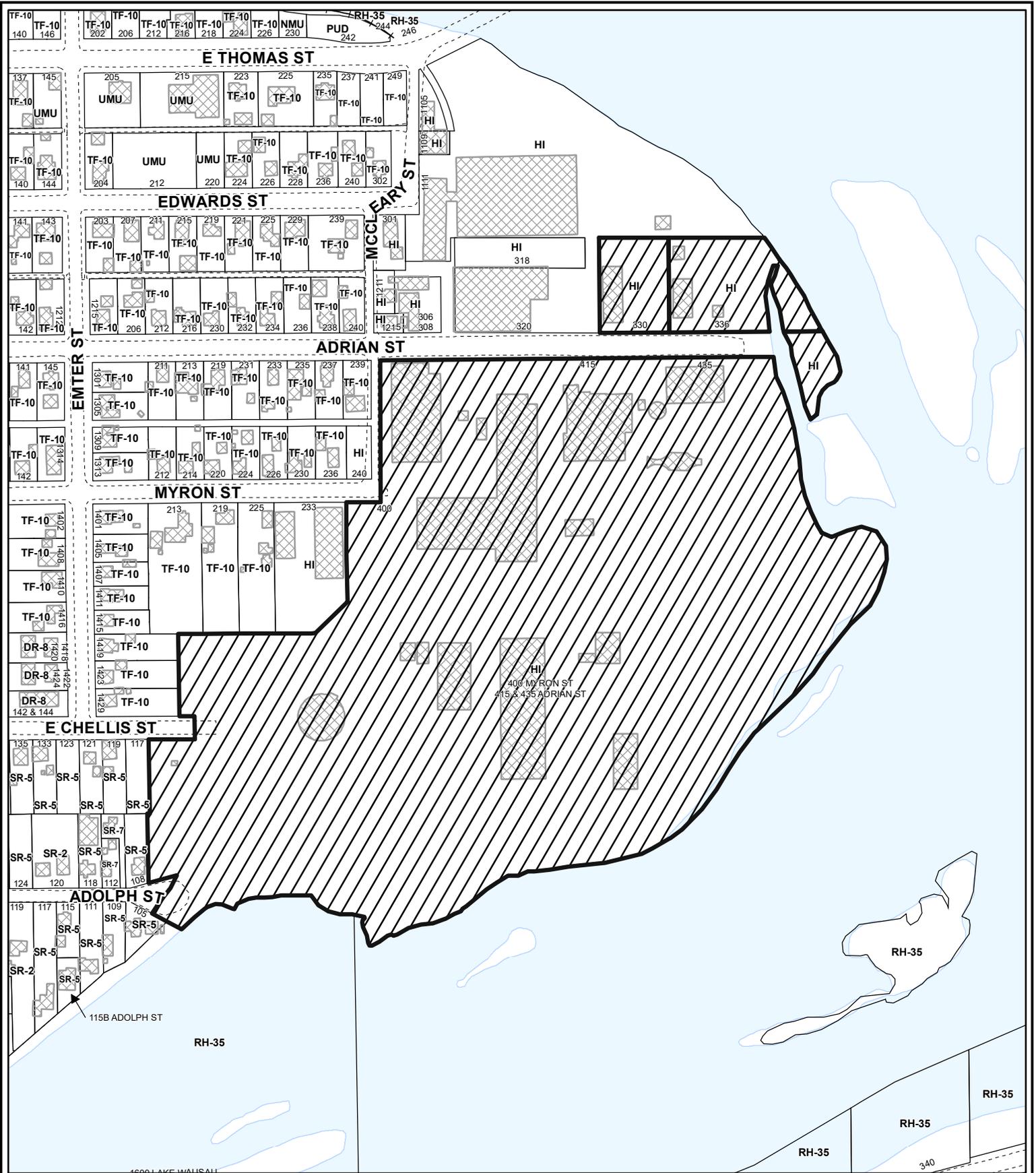
Comments: The property is located in a developed area of the city that is served by public facilities. The proposed use would not impose an undue burden on utilities or other services.

- e) The potential public benefits outweigh any potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

Comments: The proposed use would provide public benefits in the form of improved wastewater treatment, with little adverse impact. The site improvements could be expected to alleviate potential adverse impacts compared to the current facility.

### **Recommended Motion**

To approve the conditional use for waste water treatment facilities at 330, 336, and 435 Adrian Street.



City of Wausau  
Marathon County Wisconsin



-  Area of Interest
-  Building



Map Date: June 1, 2020





## Memorandum

From: Brad Lenz, City Planner  
To: Plan Commission  
Date: July 16, 2020  
Subject: Bugbee Avenue Conditional Use for Water Treatment Plant

### Introduction

Wausau Water Works has been planning the construction of a new treatment facility for drinking water on a city-owned parcel of land (of almost 10 acres) along Bugbee Avenue. The new facility would replace the existing plant on North River Drive in Wausau and supply clean drinking water to the city. A number of informational sessions have been held for interested citizens to learn about the proposed project. Plans for the facility are included in the packet.

### Prior Action

The Plan Commission held a public hearing on June 16 to hear testimony from the public related to the proposed conditional use. The plan was briefly discussed and there was no additional substantial evidence presented at the public hearing. The Plan Commission unanimously recommended approval of the conditional use based on the initial hearing.

### Findings

When deciding on a proposed conditional use permit, the Plan Commission shall consider whether the conditional use:

**a)** Is in harmony with the Comprehensive Plan

Comments: An objective in the plan (in the Utilities and Community Facilities Chapter) is to "Expand and improve the city's sewer and water utility systems in an efficient and cost-effective manner." Construction of a new plant is the most efficient way to ensure sufficient purification of drinking water in the long term.

Reusing a former mining site also makes full use of land within the City boundaries, which is a land use objective in the Comprehensive Plan.

**b)** Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements,

public property or rights-of-way, or other matters affecting the public health, safety, or general welfare.

Comments: The proposed use is located on a large, former mining site. The small number of employees working at the site will not cause traffic or related issues. The facility itself will be located far enough away from any neighboring properties so as not to impact them.

- c) Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

Comments: The relatively low-intensity use that comes with the proposed facility fits in with the low-density residential uses to the south and west of the property. Undeveloped land sits to the north and east of the subject property.

- d) Is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public or private agencies serving the subject property.

Comments: The proposed use is located adjacent to a developed area that is adequately served by public facilities, yet will not overburden them.

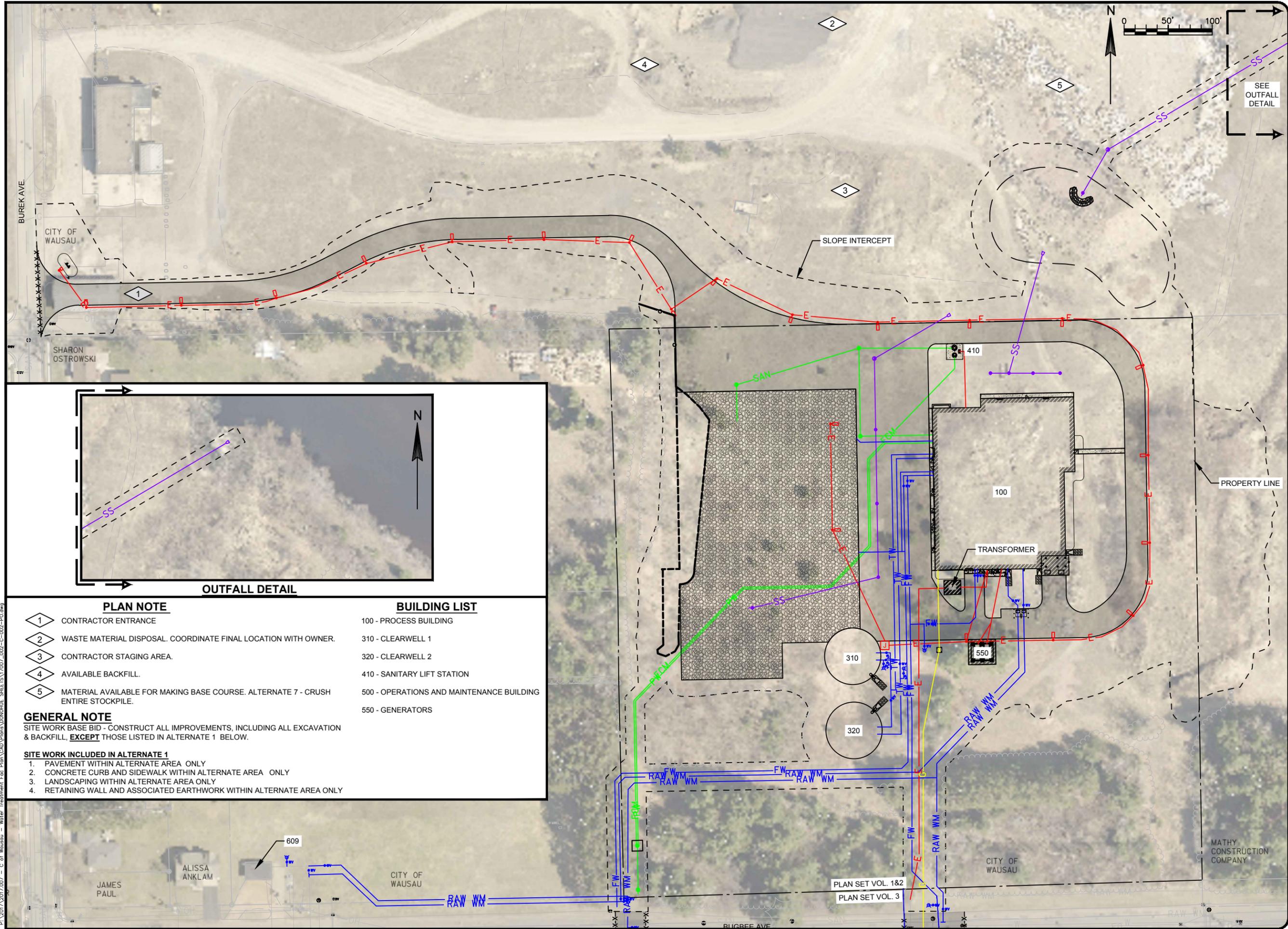
- e) The potential public benefits outweigh any potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

Comments: The proposed use would provide real public benefits in the form of a modern drinking water facility without any expected adverse impacts.

### **Recommended Motion**

To approve the conditional use for a new water treatment facility as proposed.





Date	02/26/2020
Checked By	MRP
Drawn By	MWO
Revision Description	CONFORMED TO CONTRACT
Revision Number	1
Designed By	BECHER HOPPE
Drawn By	MWO
Checked By	MRP
Approved By	SMO
Filename	
Project No.	13245
Project Date	01/07/2020

**CITY OF WAUSAU**  
**DRINKING WATER SYSTEM**  
**TREATMENT FACILITY PROJECT**  
**WAUSAU, WISCONSIN**  
**SITE DEVELOPMENT**  
**PROJECT OVERVIEW - BASE BID**

**BECHER HOPPE**  
**DONOHUE**  
 Sheet No. 15  
 Drawing No. 002-C-002

**PLAN NOTE**

- 1 CONTRACTOR ENTRANCE
- 2 WASTE MATERIAL DISPOSAL. COORDINATE FINAL LOCATION WITH OWNER.
- 3 CONTRACTOR STAGING AREA.
- 4 AVAILABLE BACKFILL.
- 5 MATERIAL AVAILABLE FOR MAKING BASE COURSE. ALTERNATE 7 - CRUSH ENTIRE STOCKPILE.

**BUILDING LIST**

- 100 - PROCESS BUILDING
- 310 - CLEARWELL 1
- 320 - CLEARWELL 2
- 410 - SANITARY LIFT STATION
- 500 - OPERATIONS AND MAINTENANCE BUILDING
- 550 - GENERATORS

**GENERAL NOTE**

SITE WORK BASE BID - CONSTRUCT ALL IMPROVEMENTS, INCLUDING ALL EXCAVATION & BACKFILL, EXCEPT THOSE LISTED IN ALTERNATE 1 BELOW.

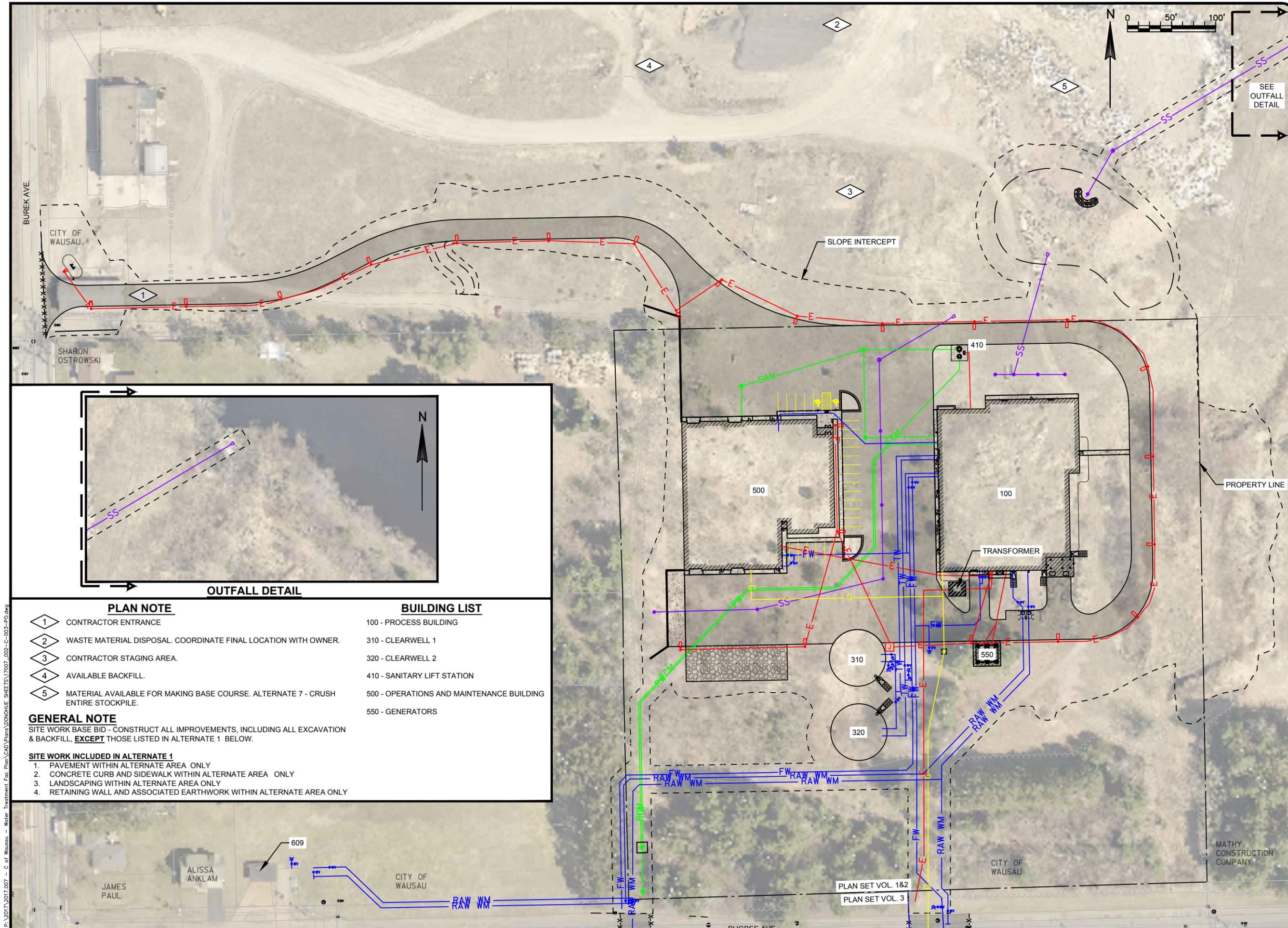
**SITE WORK INCLUDED IN ALTERNATE 1**

- 1. PAVEMENT WITHIN ALTERNATE AREA ONLY
- 2. CONCRETE CURB AND SIDEWALK WITHIN ALTERNATE AREA ONLY
- 3. LANDSCAPING WITHIN ALTERNATE AREA ONLY
- 4. RETAINING WALL AND ASSOCIATED EARTHWORK WITHIN ALTERNATE AREA ONLY

**OUTFALL DETAIL**



P:\2017\2017.007 - C of Wausau - Water Treatment - For Plans\CAD\Plans\DONOHUE - SHEETS\17007\_002-C-002-FO.dwg



Date	02/26/2020
Checked By	MRP
Drawn By	MWO
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Revision Number	1
Designed By	BECHER HOPPE
Drawn By	MWO
Checked By	MRP
Approved By	SMO
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**CITY OF WAUSAU**  
**DRINKING WATER SYSTEM**  
**TREATMENT FACILITY PROJECT**  
**WAUSAU, WISCONSIN**  
**SITE DEVELOPMENT**  
**PROJECT OVERVIEW - BASE BID AND ALT 1**

**BECHER HOPPE**  
**DONOHUE**  
 Sheet No. 16  
 Drawing No. 002-C-003

**PLAN NOTE**

- 1 CONTRACTOR ENTRANCE
- 2 WASTE MATERIAL DISPOSAL. COORDINATE FINAL LOCATION WITH OWNER.
- 3 CONTRACTOR STAGING AREA.
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- 5 MATERIAL AVAILABLE FOR MAKING BASE COURSE. ALTERNATE 7 - CRUSH ENTIRE STOCKPILE.

**BUILDING LIST**

- 100 - PROCESS BUILDING
- 310 - CLEARWELL 1
- 320 - CLEARWELL 2
- 410 - SANITARY LIFT STATION
- 500 - OPERATIONS AND MAINTENANCE BUILDING
- 550 - GENERATORS

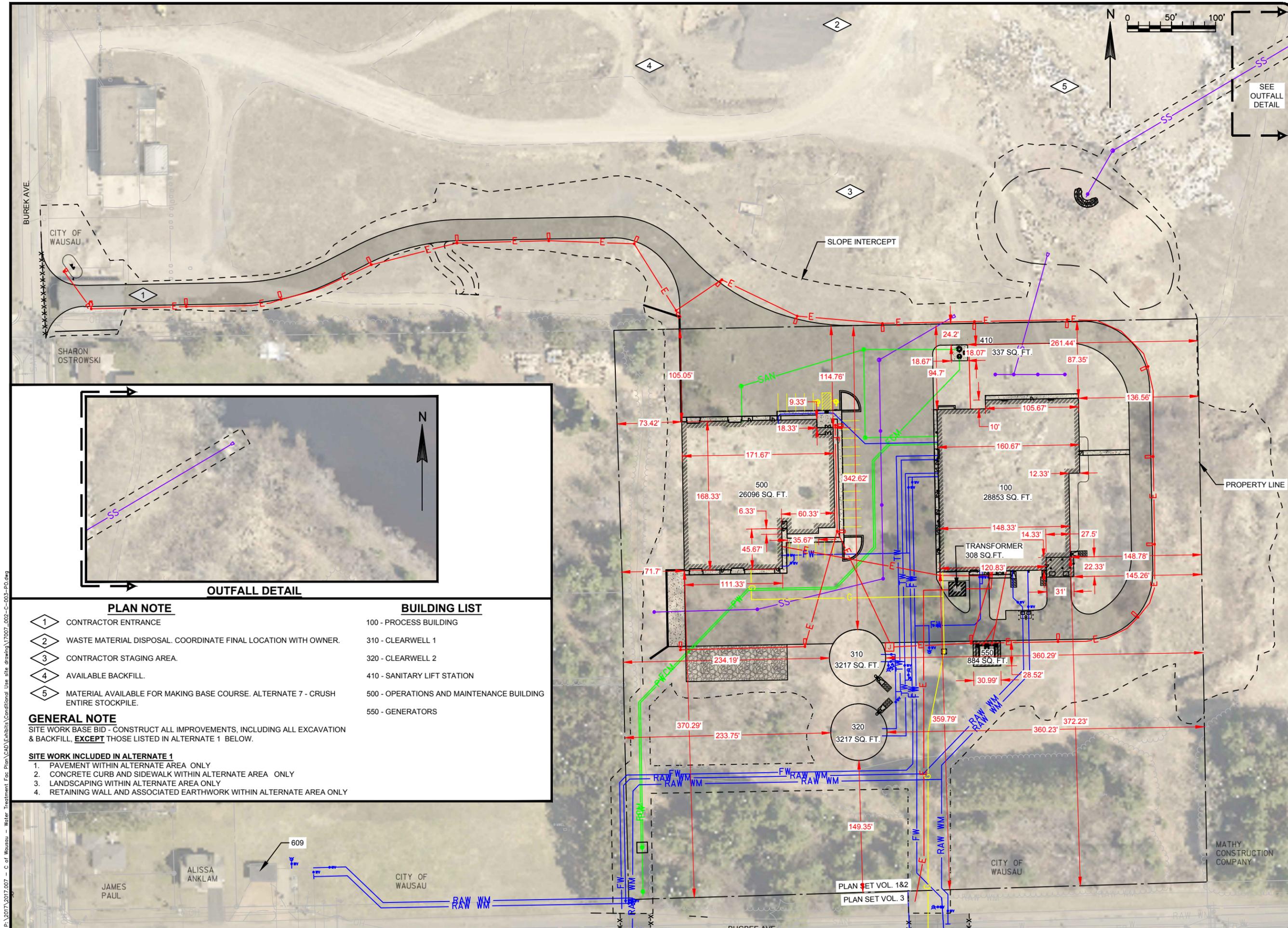
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Date	02/26/2020
Checked By	MRP
Drawn By	MWO
Revision Description	CONFORMED TO CONTRACT
Revision Number	1
Designed By	BECHER HOPPE
Drawn By	MWO
Checked By	MRP
Approved By	SMO
Filename	
Project No.	13245
Project Date	01/07/2020

**CITY OF WAUSAU**  
**DRINKING WATER SYSTEM**  
**TREATMENT FACILITY PROJECT**  
**WAUSAU, WISCONSIN**  
**SITE DEVELOPMENT**  
**DIMENSIONS - BASE BID AND ALT 1**

**BECHER HOPPE**  
**DONOHUE**  
 Sheet No. 16  
 Drawing No. 002-C-003 DIM

**PLAN NOTE**

- 1 CONTRACTOR ENTRANCE
- 2 WASTE MATERIAL DISPOSAL. COORDINATE FINAL LOCATION WITH OWNER.
- 3 CONTRACTOR STAGING AREA.
- 4 AVAILABLE BACKFILL.
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**BUILDING LIST**

- 100 - PROCESS BUILDING
- 310 - CLEARWELL 1
- 320 - CLEARWELL 2
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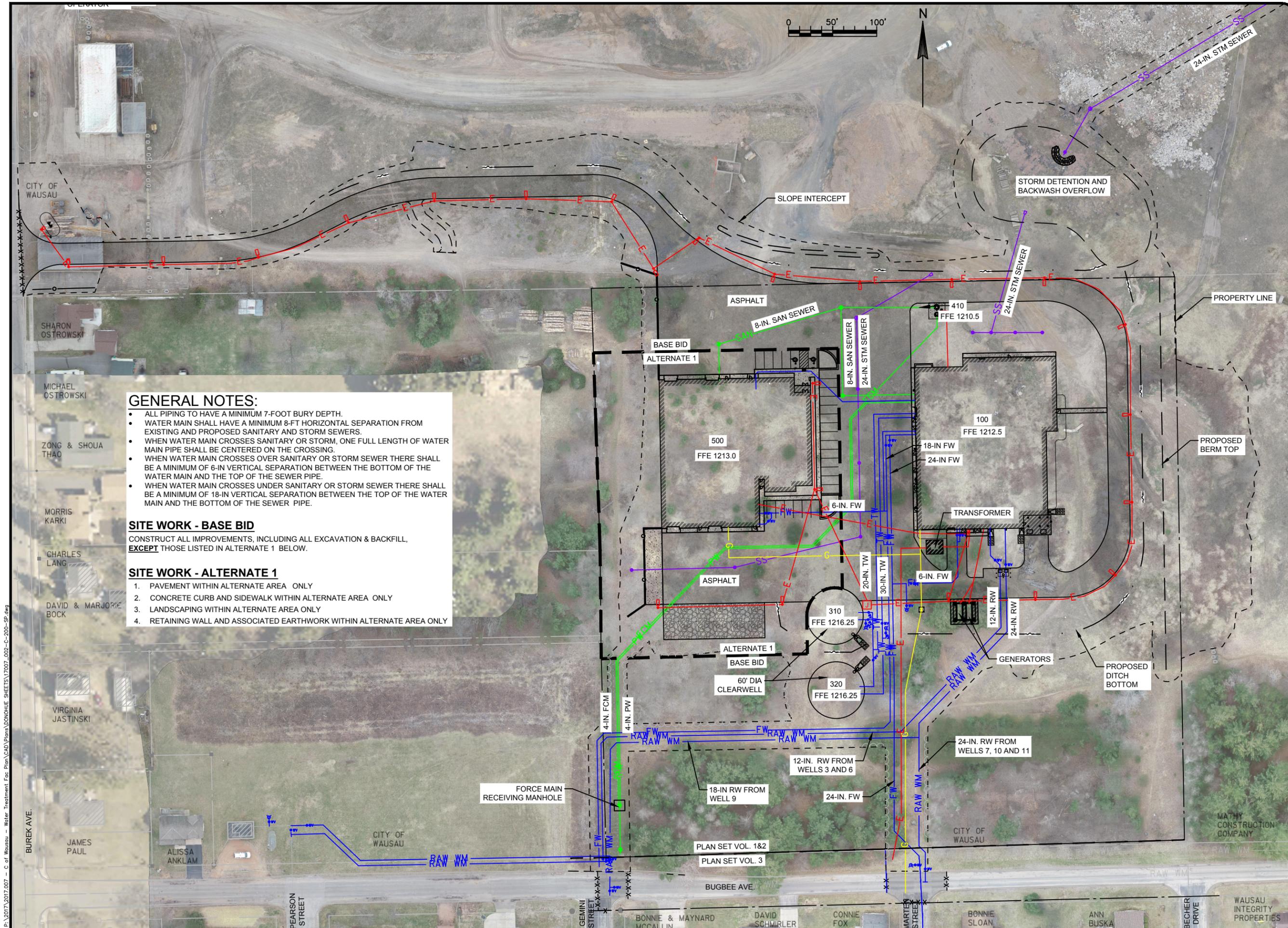
**GENERAL NOTE**

SITE WORK BASE BID - CONSTRUCT ALL IMPROVEMENTS, INCLUDING ALL EXCAVATION & BACKFILL, EXCEPT THOSE LISTED IN ALTERNATE 1 BELOW.

**SITE WORK INCLUDED IN ALTERNATE 1**

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- 3. LANDSCAPING WITHIN ALTERNATE AREA ONLY
- 4. RETAINING WALL AND ASSOCIATED EARTHWORK WITHIN ALTERNATE AREA ONLY

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**GENERAL NOTES:**

- ALL PIPING TO HAVE A MINIMUM 7-FOOT BURY DEPTH.
- WATER MAIN SHALL HAVE A MINIMUM 8-FT HORIZONTAL SEPARATION FROM EXISTING AND PROPOSED SANITARY AND STORM SEWERS.
- WHEN WATER MAIN CROSSES SANITARY OR STORM, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ON THE CROSSING.
- WHEN WATER MAIN CROSSES OVER SANITARY OR STORM SEWER THERE SHALL BE A MINIMUM OF 6-IN VERTICAL SEPARATION BETWEEN THE BOTTOM OF THE WATER MAIN AND THE TOP OF THE SEWER PIPE.
- WHEN WATER MAIN CROSSES UNDER SANITARY OR STORM SEWER THERE SHALL BE A MINIMUM OF 18-IN VERTICAL SEPARATION BETWEEN THE TOP OF THE WATER MAIN AND THE BOTTOM OF THE SEWER PIPE.

**SITE WORK - BASE BID**  
 CONSTRUCT ALL IMPROVEMENTS, INCLUDING ALL EXCAVATION & BACKFILL, EXCEPT THOSE LISTED IN ALTERNATE 1 BELOW.

**SITE WORK - ALTERNATE 1**

1. PAVEMENT WITHIN ALTERNATE AREA ONLY
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4. RETAINING WALL AND ASSOCIATED EARTHWORK WITHIN ALTERNATE AREA ONLY

Revision Number	Revision Description	Drawn By	Checked By	Date
1	CONFORMED TO CONTRACT	MWO	MRP	02/26/2020

Designed By	BECHER HOPPE
Drawn By	MWO
Checked By	MRP
Approved By	SMO
Filename	
Project No.	13245
Project Date	01/07/2020

**CITY OF WAUSAU  
 DRINKING WATER SYSTEM  
 TREATMENT FACILITY PROJECT  
 WAUSAU, WISCONSIN**

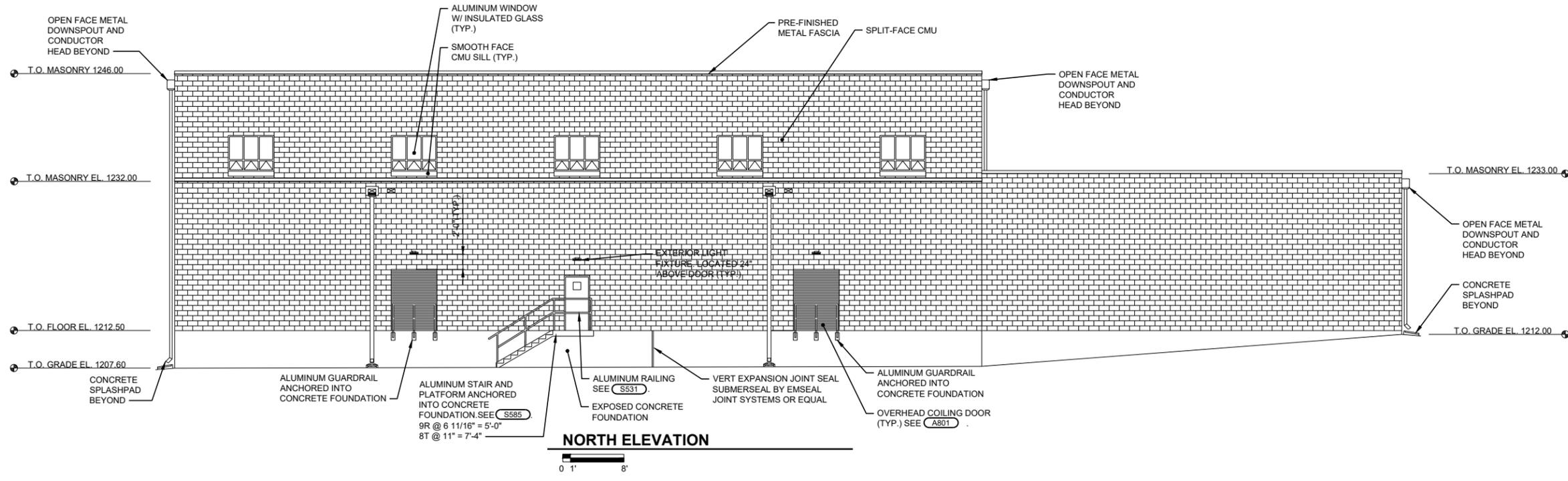
**SITE DEVELOPMENT  
 SITE PLAN OVERVIEW - BASE BID & ALTERNATE 1**

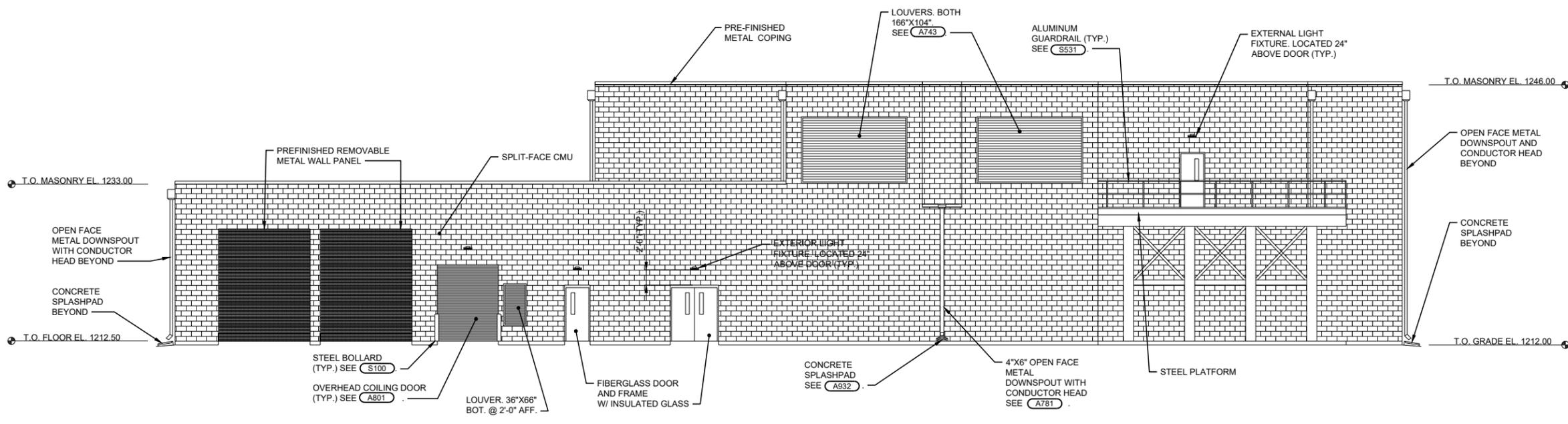
**BECHER HOPPE  
 DONOHUE**

Sheet No. 20  
 Drawing No. 002-C-200

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**NORTH ELEVATION**



**SOUTH ELEVATION**



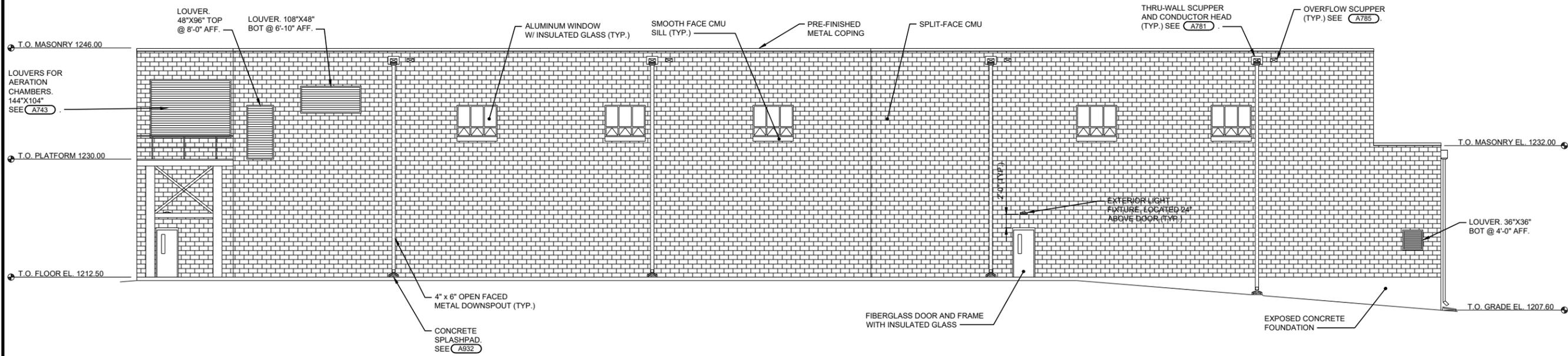
Date	03/03/2020
Checked By	ATW
Drawn By	RES
Revision Description	CONFORMED TO CONTRACT
Revision Number	01
Designed By	SRW/CLS
Drawn By	SRW/CLS
Checked By	TJB
Approved By	ATW
Filename	100SP201.DWG
Project No.	13245
Project Date	JAN. 2020

**CITY OF WAUSAU**  
**DRINKING WATER SYSTEM**  
**TREATMENT FACILITY PROJECT**  
**WAUSAU, WISCONSIN**  
**PROCESS BUILDING**  
**ELEVATIONS**

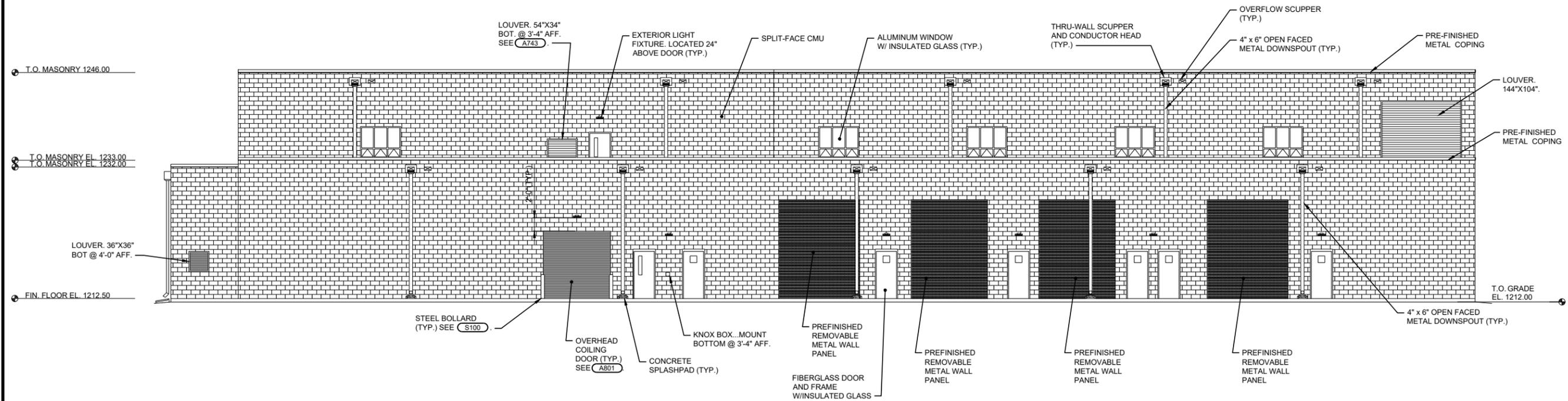


Sheet No. 125  
Drawing No.

100-AS-201



**EAST ELEVATION**



**WEST ELEVATION**



Date	03/03/2020
Checked By	ATW
Drawn By	RES
Revision Description	CONFORMED TO CONTRACT
Revision Number	01
Designed By	SRW/CLS
Drawn By	SRW/CLS
Checked By	TJB
Approved By	ATW
Filename	100SP201.DWG
Project No.	13245
Project Date	JAN. 2020

**CITY OF WAUSAU**  
**DRINKING WATER SYSTEM**  
**TREATMENT FACILITY PROJECT**  
**WAUSAU, WISCONSIN**  
**PROCESS BUILDING**  
**ELEVATIONS**



Sheet No. 126  
Drawing No.

100-AS-202

**GENERAL NOTES:**

- REFER TO 001 SERIES OF DRAWINGS FOR THE SPACE ENVIRONMENT/HAZARDOUS RATING SCHEDULE REGARDING ENVIRONMENTAL CONDITIONS ANTICIPATED WITHIN EACH SPACE AND ALLOWABLE MATERIALS OF CONSTRUCTION TO BE USED WITHIN EACH SPACE.
- CONTRACTOR CAN SELECT BETWEEN OPTION A AND OPTION B FOR THE FOUNDATION AS REQUIRED TO MEET FROST PROTECTION REQUIREMENTS.

Revision Number	Revision Description	Date
01	CONFORMED TO CONTRACT	03/03/2020

Designed By	CLS/MTR
Drawn By	CLS/MTR
Checked By	TJB/JVP
Approved By	ATW
Filename	320SMP1.DWG
Project No.	13245
Project Date	JAN. 2020

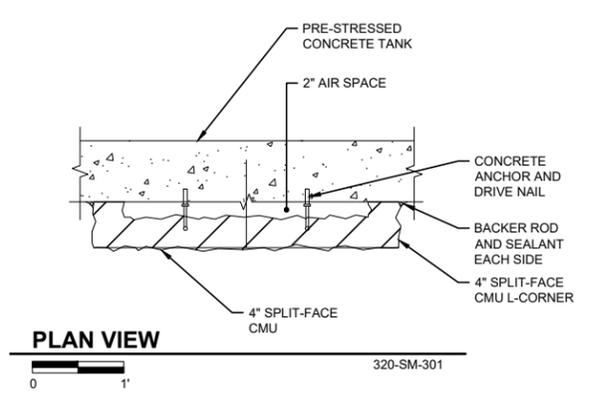
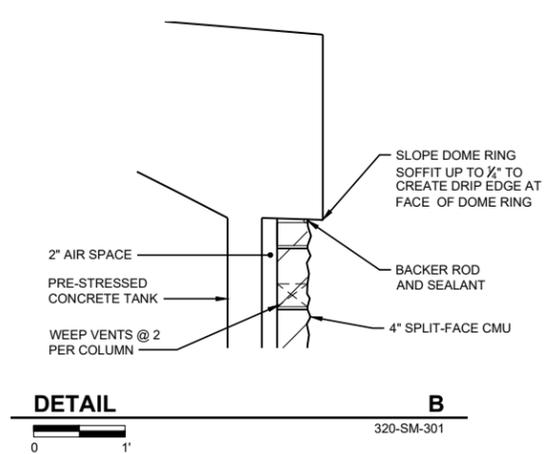
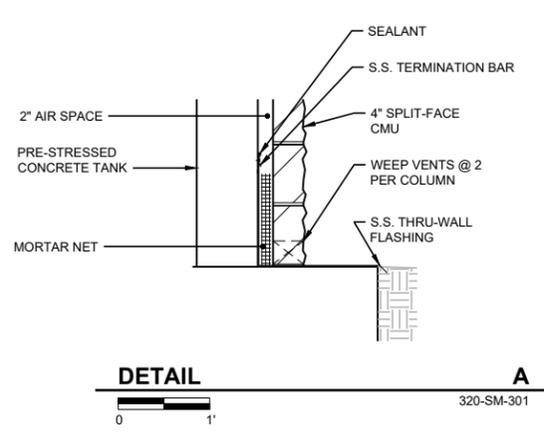
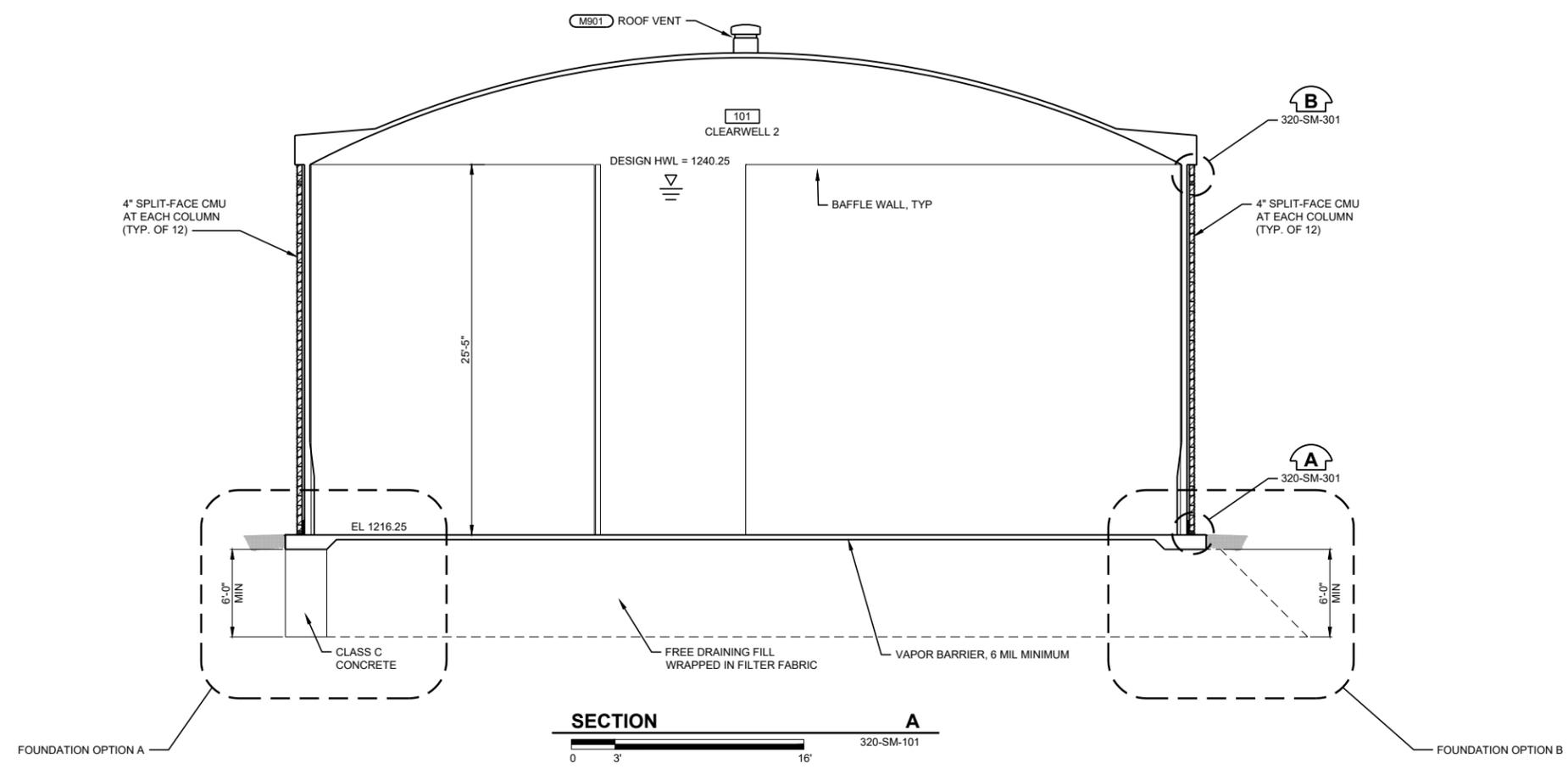
CITY OF WAUSAU  
DRINKING WATER SYSTEM  
TREATMENT FACILITY PROJECT  
WAUSAU, WISCONSIN

CLEARWELL 2  
SECTIONS



Sheet No. 347  
Drawing No.

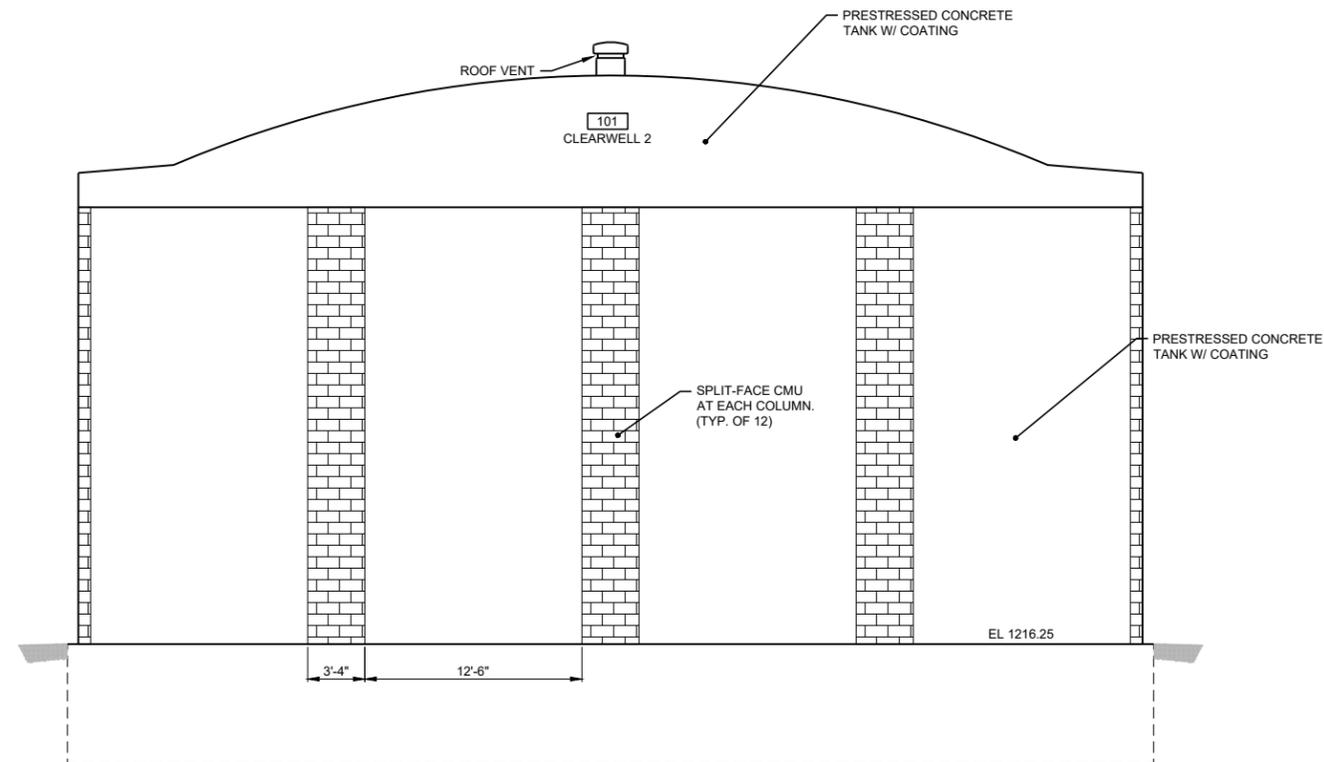
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320-SM-301

**GENERAL NOTES:**

- REFER TO 001 SERIES OF DRAWINGS FOR THE SPACE ENVIRONMENT/HAZARDOUS RATING SCHEDULE REGARDING ENVIRONMENTAL CONDITIONS ANTICIPATED WITHIN EACH SPACE AND ALLOWABLE MATERIALS OF CONSTRUCTION TO BE USED WITHIN EACH SPACE.



**SOUTH ELEVATION**



Revision Number	Revision Description	Drawn By	Checked By	Date

Designed By	CLS/MTR
Drawn By	CLS/MTR
Checked By	TJB/JVP
Approved By	ATW
Filename	320SMP1.DWG
Project No.	13245
Project Date	JAN. 2020

**CITY OF WAUSAU  
 DRINKING WATER SYSTEM  
 TREATMENT FACILITY PROJECT  
 WAUSAU, WISCONSIN**

**CLEARWELL 2  
 ELEVATION**



Sheet No. 348

Drawing No. **320-SM-302**

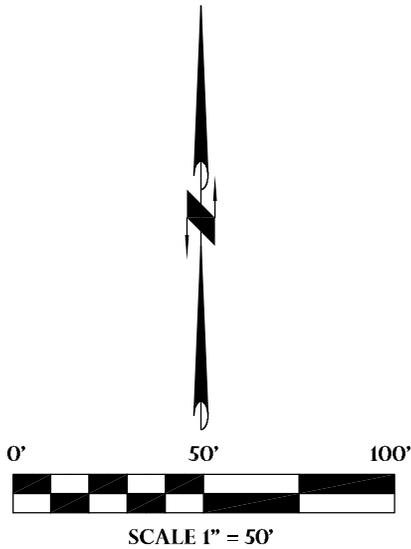




# CERTIFIED SURVEY MAP

BEING A PART OF LOTS 4 AND 5 OF BLOCK 10 OF A. WARREN JR'S SECOND ADDITION, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.

**Preliminary**



## BASIS OF BEARINGS

THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 25, T.29N, R.7E, AS REFERENCED TO THE MARATHON COUNTY COORDINATE SYSTEM, NAD83(2011). RECORDED TO BEAR S 88°53'55" W PER WAUSAU RIVER EAST PHASE I.

## LEGEND

- ⊙ 3/4" O.D. X 18" IRON BAR SET WEIGHING 1.50 LBS/LIN. FT.
- 3/4" O.D. IRON BAR FOUND
- ⊖ 1-1/4" O.D. IRON BAR FOUND
- ⊗ BERNTSEN NAIL FOUND
- ▲ MAG NAIL FOUND
- ⊕ COMPUTED CORNER-SEE DESCRIPTION
- ⊗ CHISELED "X" SET
- △ MAG NAIL SET
- ( ) RECORDED AS

## SHORT STREET

## SURVEYOR'S NOTE

THE NORTH LINE OF LOT 1, THE SOUTH LINE OF LOT 2 AND THE LOT LINE BETWEEN LOTS 1 & 2 DESIGNED TO SEPARATE THE TOWN HOMES BY RUNNING DOWN THE CENTER OF THE COMMON WALLS.

FIELDWORK COMPLETED ON JUNE 15, 2020

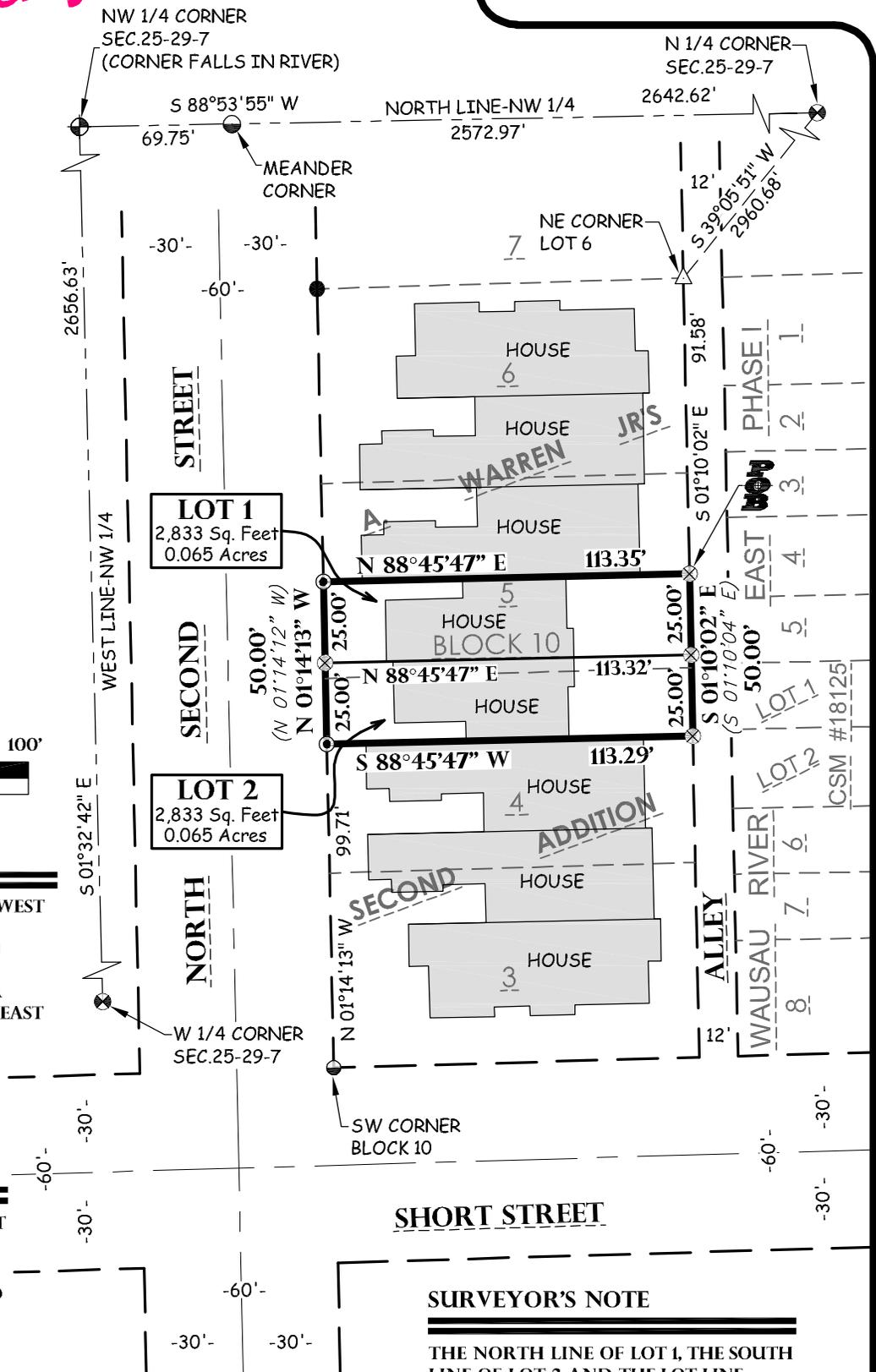


Land Surveying  
Civil Engineering  
Landscape Architecture  
**Jordan G. Brost, PLS #3009**  
4941 Kirschling Court  
Stevens Point, WI 54481  
715.344.9999(Ph) 715.344.9922(FX)

THIS INSTRUMENT WAS DRAFTED BY JORDAN BROST AND DRAWN BY TRAVIS PLANTICO

FIELD BOOK - PAGE -  
JOB # 19.716

SHEET 1 OF 2 SHEETS



# CERTIFIED SURVEY MAP

BEING A PART OF LOTS 4 AND 5 OF BLOCK 10 OF A. WARREN JR'S SECOND ADDITION, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.

## Surveyor's Certificate

I, Jordan G. Brost, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a part of Lots 4 and 5 of Block 10 of A. Warren Jr's Second Addition, located in the Southwest 1/4 of the Northwest 1/4 of Section 25, Township 29 North, Range 7 East, City of Wausau, Marathon County, Wisconsin, described as follows:

Commencing at the North 1/4 corner of Section 25, Township 25 North, Range 7 East;

thence S 39°05'51" W, 2960.68 feet to the West line of a 12 foot wide public alley, said point also being the Northeast corner of Lot 6 of Block 10 of A. Warren Jr's Second Addition;

thence S 01°10'02" E along said West line of 12 foot wide public alley, 91.58 feet to the Point of Beginning (P.O.B.) of the parcel to be described;

thence S 01°10'02" E along said West line of 12 foot wide public alley, 50.00 feet;

thence S 88°45'47" W, 113.29 feet to the East right-of-way line of North Second Street;

thence N 01°14'13" W along said East right-of-way line of North Second Street, 50.00 feet;

thence N 88°45'47" E, 113.35 feet to the Point of Beginning (P.O.B.).

Containing 5,666 Square Feet - 0.130 acres.

Subject to (if any) covenants, conditions, restrictions, right-of-ways and easements of record.

That I have made such survey, land division and plat by the direction of Blenker Development, LLC.

That such plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the Subdivision Ordinance of the City of Wausau in surveying, dividing and mapping the same.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Jordan G. Brost  
PLS No. S-3009

**Preliminary**

## City of Wausau Approval

I, \_\_\_\_\_ being duly appointed by the Common Council of the City of Wausau, do hereby certify that the attached Certified Survey Map has been reviewed and there are no objections to recording this Certified Survey Map in the Register of Deeds office.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2020

\_\_\_\_\_  
Zoning Administrator

### PREPARED BY:

Point of Beginning, Inc.  
4941 Kirschling Court  
Stevens Point, WI 54481

### CLIENT/OWNER:

Blenker Development, LLC  
500 Lorry Street  
Amherst, WI 54406



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Civil Engineering  
Landscape Architecture  
**Jordan G. Brost, PLS #3009**  
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SHEET 2 OF 2 SHEETS