

\*\*\* All present are expected to conduct themselves in accordance with our City's Core Values \*\*\*



## OFFICIAL NOTICE AND AGENDA

of a meeting of a City Board, Commission, Department Committee, Agency, Corporation, Quasi-Municipal Corporation or Sub-unit thereof.

Notice is hereby given that the PLAN COMMISSION of the City of Wausau, Wisconsin will hold a regular or special meeting on the date, time and location shown below.

Meeting of the:	<b>PLAN COMMISSION OF THE CITY OF WAUSAU</b>
Date/Time:	<b>Wednesday, July 19, 2017 at 5:00 pm.</b>
Location:	<b>City Hall (407 Grant Street, Wausau WI 54403) - BOARD ROOM</b>
Members:	Mielke (C), Lindman, Peckham, Gisselman, Bohlken, Zahrt, Brueggeman

### AGENDA ITEMS FOR CONSIDERATION (All items listed may be acted upon)

1. Approve the minutes of the June 20, 2017 meeting.
2. Discussion and possible action on amending the Precise Implementation Plan at 1300 North River Drive to approve amendments to building facades and landscaping.
3. **PUBLIC HEARING:** Discussion and possible action on rezoning 1101 South 12th Avenue and 1207 West Thomas Street from R2, Single Family Residence District to B2, Community Service District and approving conditional uses to allow for parking lots.
4. Discussion and possible action to vacate East Lake View Drive, east of Grand Avenue.
5. Discussion and possible action on vacating a portion of South 19th Avenue, south of Pardee Street.
6. Discussion and possible action on the dedication of right-of-way north of Highland Drive and east of County Road O.
7. Next meeting date and future agenda items for consideration.

Adjournment

Mayor Robert B. Mielke - Committee Chairperson

This Notice was posted at City Hall and faxed to the Daily Herald newsroom on 7/13/2017 @ 2:00 p.m. Questions regarding this agenda may be directed to the Planning Department at (715) 261-6760.

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids & services. For information or to request this service, contact the Planning Department at 407 Grant Street, Wausau, WI 54403 or (715) 261-6760.

Distribution List: City Website, Media, Committee Members, Council Members, Assessor, Attorney, City Clerk, Community Development, Finance, Metro Ride, Human Resources, Police Department, Hebert, Lenz, DeSantis, Parks Department, County Planning, James Treu

## PLAN COMMISSION

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Time and Date: The Plan Commission met on Tuesday, June 20, 2017, at 5:00 p.m. in the Council Chambers of Wausau City Hall.

Members Present: Mayor Robert Mielke, Patrick Peckham, Gary Gisselman, Andrew Brueggeman, Bruce Bohlken, Eric Lindman (arrived at 5:05 p.m.)

Others Present: Brad Lenz, William Hebert, Dave DeSantis, MaryAnne Groat, Chris Schock

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Mayor Mielke called the meeting to order at approximately 5:00 p.m. noting that a quorum was present.

### **Approve the minutes of the May 16, 2017 meeting.**

Peckham asked that the minutes be amended so that the portion on the sign at the church read that the top of sign is 30 off of the ground. It currently could be read that the sign is 30' tall. Engen said that the change will be made.

Bohlken motioned to approve the minutes of the May 16, 2017 meeting. Peckham seconded. The motion carried unanimously 5-0.

### **PUBLIC HEARING: Discussion and possible action on amending the Wausau Urban Sewer Service Area.**

Mayor Mielke closed the public hearing.

Lenz said that this amendment was introduced at the last meeting where a public hearing was authorized. The amendment is to bring in part of the business campus land that is not currently in the sewer service area.

Lindman arrived at 5:05 p.m.

Lenz said this amendment needs to go through Plan Commission, City Council, and the Metro Planning Commission before being approved by the DNR. Staff recommends approval of the amendment.

Brueggeman motioned to amend the Wausau Urban Sewer Service Area as presented. Peckham seconded, and the motion carried unanimously 6-0. This item will go to Common Council on July 18, 2017.

### **PUBLIC HEARING: Discussion and possible action on approving the boundaries and project plan and creation of Tax Incremental District #11.**

Mayor Mielke closed the public hearing.

Lenz said that the plans for Tax Incremental District #11 are included in the packet. This district would be created to facilitate business growth in the business campus. Infrastructure improvements need to be made to prepare the land for development. The proposed boundary includes the recently purchased property as well as city-owned, vacant properties in the existing business campus. This has been introduced to a few committees already, and will need to be approved by the city council as well as the joint review board.

Brueggeman asked if the worksheets on pages #9, #10 and #11 are planned incentives and asked if the valuations are a guaranteed minimum or forecasted valuation. Groat said that Page #9 shows the Wausau Chemical valuation and is the agreed upon minimum valuation. The Great Lakes Cheese valuation is an estimate. Brueggeman said that it is a forecast at this time. Groat said that the agreement is pay-as-you-go and expires after a certain period of time. Brueggeman asked about the future developments. Groat said that it is sort of a guess and looked at how the campus developed in the past.

Bohlken motioned to approve the boundaries and project plan and creation of Tax Incremental District #11. Brueggeman seconded, and the motion carried unanimously 6-0. This item will go to Common

Council on July 18, 2017.

**PUBLIC HEARING: Discussion and possible action on approving the boundaries and project plan and creation of Tax Incremental District #12.**

Mayor Mielke closed the public hearing.

Lenz said that the same action of approving the boundaries and plan is being requested for this district. It would work in conjunction with Tax Incremental District #11, as two of the businesses currently in TID 12 would be relocated to TID 11. Other downtown properties, including two of the mall anchors and riverfront parcels, are included in this plan. The properties included are either city-owned, vacant, or underutilized.

Gisselman asked Groat how this plan will relate to Tax Incremental District #3. Groat said that page 20 of the packet shows parcels that overlap. The State of Wisconsin handles overlapping parcels by allocating the growth in valuation of the parcels to the second plan.

Gisselman asked about features of the new map. Lenz said that page 21 of the plan shows an outline of the projects. There are redevelopment projects, parking improvements, and a couple of studies and plans. Gisselman said that he is interested in the land north of Wausau Avenue and asked if there is a vision. Lenz said that there is a redevelopment opportunity here, but the specific use remains to be seen. It would be recommended as a mixed-use, residential with possible commercial, rather than industrial. The city would work with a developer on a detailed plan. Gisselman asked if a development agreement would come back to the commission. Lenz said that the project would be seen through the committees, whether through an agreement, zoning change, or similar action.

Peckham motioned to approve the boundaries and project plan and creation of Tax Incremental District Number 12. Bohlken seconded, and the motion carried unanimously 6-0. The item will go to Common Council on July 18, 2017

**Discussion and possible action on amending the Precise Implementation Plan at 2716 Osswald Drive to allow a 16-unit residential building and landscaping plan.**

Lenz said that the project plan is part of the general development plan in the Greenwood Hills area and was approved for multi-family units. They are preparing to build the first building and are looking for the precise plan approval for this first stage. They will need to come back for future stages. Staff recommends approval with the condition that staff works with the developers for a landscaping plan and developer agreement for the street.

Peckham said that he had noticed the interior parking and said that there are eight exterior parking stalls and asked if that is sufficient. Lenz said that there is underground parking for the residents to satisfy the zoning, and overflow parking for visitors is available on the street.

Brueggeman motioned to approve the Precise Implementation Plan at 2716 Osswald Drive to allow a 16-unit residential building and landscaping plan. Peckham seconded, and the motion carried unanimously 6-0. This item will go to Common Council on July 18, 2017.

**Discussion and possible action on declaring the Egyptian Mausoleum at 1701 Grand Avenue as a historic landmark.**

Lenz said that the Historic Preservation Commission held public hearings for the Egyptian Mausoleum and Pine Grove Cemetery Gatehouse to be considered historic landmarks. Lenz went through the criteria for declaring landmarks noted in the staff report and recommended approval.

Gisselman motioned to declare the Egyptian Mausoleum at 1701 Grand Avenue as a historic landmark. Brueggeman seconded, and the motion carried unanimously 6-0. This item will go to Common Council on July 18, 2017.

**Discussion and possible action on declaring the Pine Grove Cemetery Gatehouse at 1501 Grand Avenue as a historic landmark.**

This item was discussed with the previous item.

Gisselman motioned to declare Pine Grove Cemetery Gatehouse at 1501 Grand Avenue as a historic landmark. Brueggeman seconded, and the motion carried unanimously 6-0. This item will go to Common Council on July 18, 2017.

**Discussion and possible action on the sale of 404 West Campus Drive.**

Lenz said that this remnant parcel is located north of NTC. The City has owned it and realized it is not needed. An adjacent property owner approached the City about the parcel. A minimum bidding price was set up and was met. CISM approved the sale and staff recommends approval.

Gisselman motioned to approve the sale of 404 West Campus Drive. Bohlken seconded.

Peckham asked if an appraisal was done. Lenz said that the lot is not buildable. An appraisal was not done because it likely would cost more than the parcel is worth.

The motion carried unanimously 6-0. This item will go to Common Council on July 18, 2017

**Discussion and possible action on petition for annexation – Intercity State Bank, parcel of land north of Stewart Avenue and east of North 72<sup>nd</sup> Avenue (076-2907-304-0999, Town of Stettin.)**

Lenz said that this is a 40-acre parcel in the town of Stettin and is essentially surrounded by City of Wausau property. There is interest in developing the parcel for a residential project and the developer is looking at using this parcel in conjunction with other land. The developer would want city water and sewer.

Brueggeman motioned to approve the petition for annexation – Intercity State Bank, parcel of land north of Stewart Avenue and east of North 72<sup>nd</sup> Avenue. Peckham seconded, and the motion carried unanimously 6-0. This item will go to Common Council on July 18, 2017.

**Discussion and possible action on Mission Statement for Planning, Community and Economic Development Department.**

Lenz said that the mission statement of the department is included in the packet. This was developed to let people know what is done in the department and to keep internal staff going in the same direction. He said the department has morphed over the years with staffing changes and reorganization, so this is a good time to do it.

Peckham said there was wordsmithing done to the opening line during the Economic Development Committee and it does not appear to be incorporated. Schock said that all committees are reviewing the original – all changes will be reflected on the final version and it will be reviewed again.

Brueggeman asked if other departments will be developing mission statements. Schock said that the Fire Departments and Police Departments have gone through the process. The City of Wausau mission statement is broader. It is a nice exercise and shows the community how the departments work.

Bohlken motioned to approve the mission statement for Planning, Community and Economic Development Department. Brueggeman seconded, and the motion carried unanimously. This item will go to Common Council on July 18, 2017.

**Next meeting date and future agenda items for consideration.**

Mayor Mielke asked the commission to change the next meeting date from July 18, 2017 to July 19, 2017 or July 25, 2017. The commission agreed to change the meeting to July 19, 2017. The next meeting is

scheduled for Wednesday, July 19, 2017.

**Adjournment**

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Peckham motioned to adjourn, seconded by Bohlken. Motion carried unanimously 6-0 and the meeting adjourned at 5:40 p.m.

**The Plan Commission is next scheduled to meet at 5:00 p.m. on July 19, 2017.**



## Memorandum

From: Brad Lenz  
To: Plan Commission  
Date: July 13, 2017  
Subject: July Plan Commission Meeting

This memo summarizes the agenda items for the July 19<sup>th</sup> Plan Commission meeting. Attachments to this memo provide additional information for each item. Additional staff comments and discussion will be provided at the meeting itself.

### **#1 – Minutes from the June 2017 meeting**

Staff will place previous meeting minutes on file upon approval.

### **#2 – Amend the Precise Implementation Plan at 1300 N. River Drive (WOW)**

As the Wausau On the Water (WOW) project moves towards completion, some of the planned, and already completed, exterior features need to be brought into alignment with the approved plans on file with the City. For example, an area for bicycle parking is planned for the main entrance that was not part of the previous plans. Other details pertaining to landscaping, building ornamentation, and fencing should also be discussed. In the packet are the previous plans approved through plan commission and Council. Deviations from the plans will be discussed at the plan commission meeting.

### **#3 – Approve rezoning and conditional uses for two Thomas Street properties**

The owners of Treu's Tic Toc are petitioning for zoning changes and conditional uses for the parcels directly to the west and east of their establishment. The proposed parcels are both remnants from the Thomas Street reconstruction project. Both parcels are currently zoned residentially, even though they are too small for new residential development. The proposed uses would be parking lots for customers. As part of our commercial zoning requirements, privacy fencing would need to be added between commercial and residential properties, in this case along the southern property lines of the subject parcels. Parking lot permits through the Inspections Department would need to be obtained. Staff recommends as a provision of the conditional use that a landscape buffer of at least four (4) feet wide is provided between the city sidewalk and the paved area of the new parking lot(s).

The standards for rezoning and conditional use approval from our zoning code are listed below.

**Rezoning:**

- (a) Existing use of property within the general area of the property in question and the effect the proposed rezoning is likely to have on these land uses;*
- (b) The compatibility of the land uses which would be permitted by the zone change with the existing or planned land uses within the general area of the property in question;*
- (c) The zoning classification of property within the general area of the property in question;*
- (d) The suitability of the property in question to the uses permitted under the existing zoning classification;*
- (e) The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place since the day the property in question was placed in its present zoning classification;*
- (f) Whether the proposed zone change is generally consistent with the goals, objectives and policies identified in the City of Wausau Comprehensive Plan*
- (g) The nature and extent of the input received at the public hearing regarding the proposed zone change;*
- (h) The precedence, if any, that approval of the requested zoning could have on similar requests made elsewhere in the city; and*
- (i) If the property was recently annexed, the zoning classification of the property prior to annexation.*

**Conditional Use:**

- (a) That the establishment, maintenance, or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;*
- (b) That the conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;*
- (c) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;*
- (d) That adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided;*
- (e) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and*
- (f) That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as the regulations may, in each instance, be modified by the common council pursuant to the recommendations of the city plan commission.*

**#4, #5, and #6 – Assorted items from CISM Committee**

Please see staff reports and meeting minutes from the CISM Committee.



TECTURADESIGNS.COM

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Beautiful, yet durable, hydraulically pressed pavers will enhance your roof top, or on grade deck.

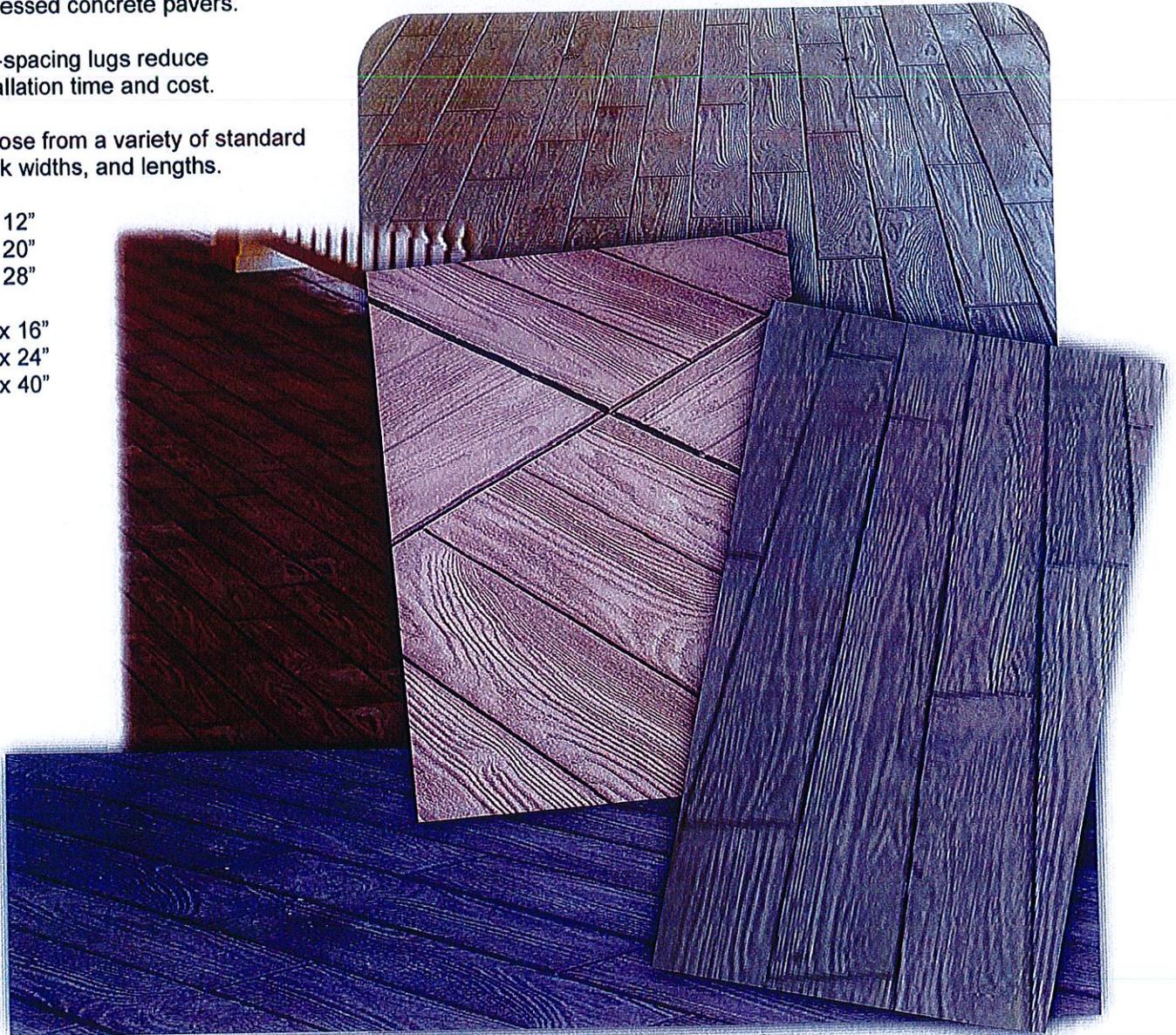
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6" x 20"  
6" x 28"

12" x 16"  
12" x 24"  
12" x 40"



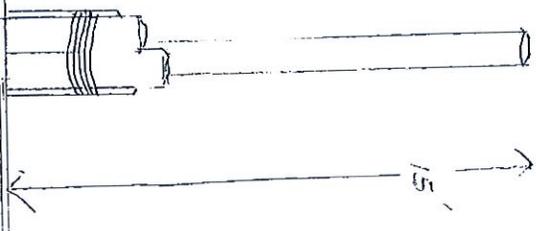
WINDOW - CONCEPT

1/4" = 10"

25' O.C.



POST 2



NOTE: CHECK THE WINDOW POSTS USED IN BUREAU OF DEMONSTRATION FOR PRODUCT AND SPACING / HEIGHT. HAVE ELECTRICAL RUN TO POSTS.

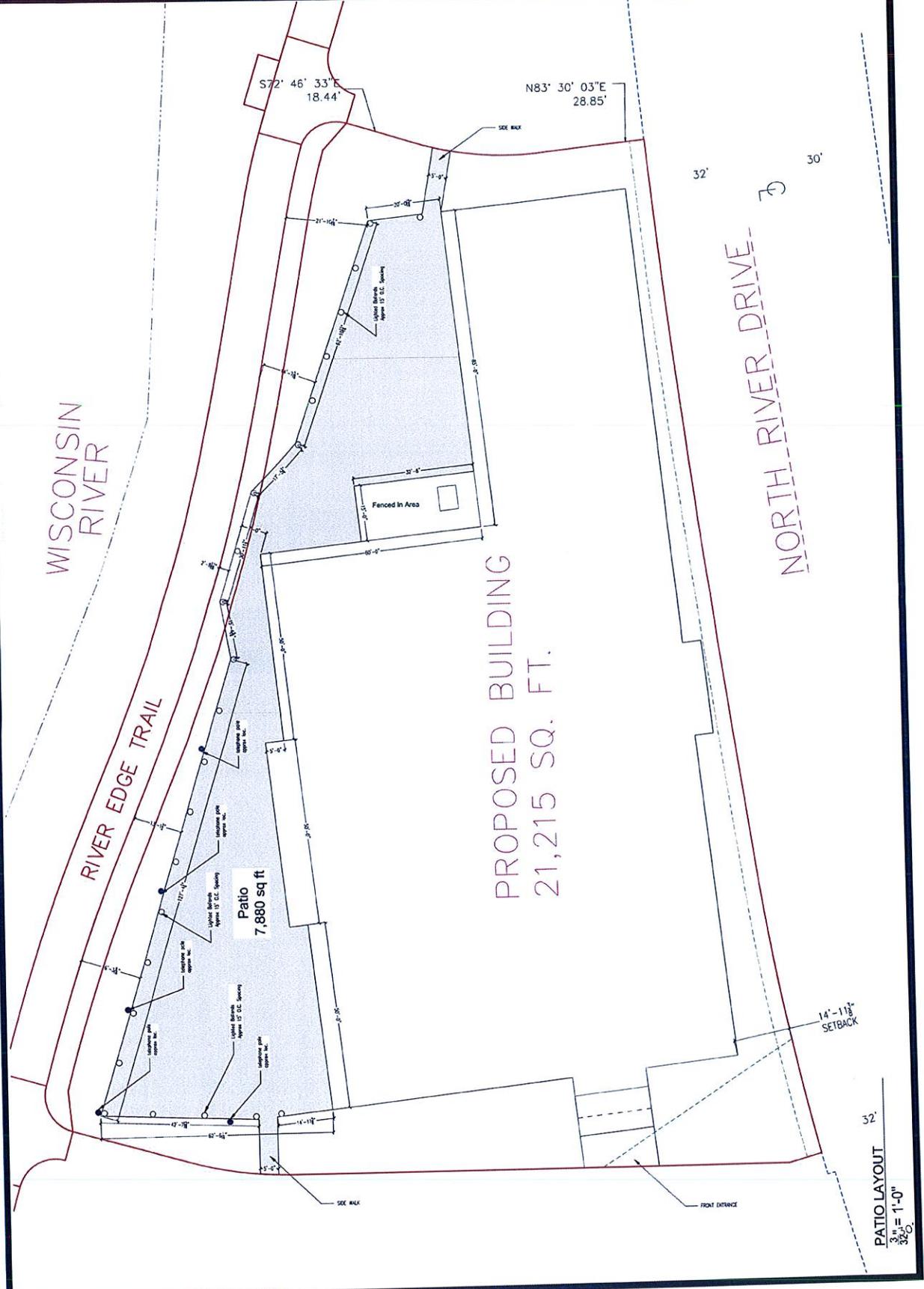
\* WITH A CURVED PANTO, THE POSTS CAN BE INSTALLED FROM A CURVED CAN BE INSTALLED FROM A CURVED



REVISIONS	
NO.	DESCRIPTION

PROPOSED:  
 WOW - BILL GREENWOOD  
 WAUSAU, WI

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AS NOTED	3/21/18
DRAWN BY	DIA
DRAWING DESCRIPTION	PATIO/DECK PLAN
PAGE	SHEET 20 OF 19



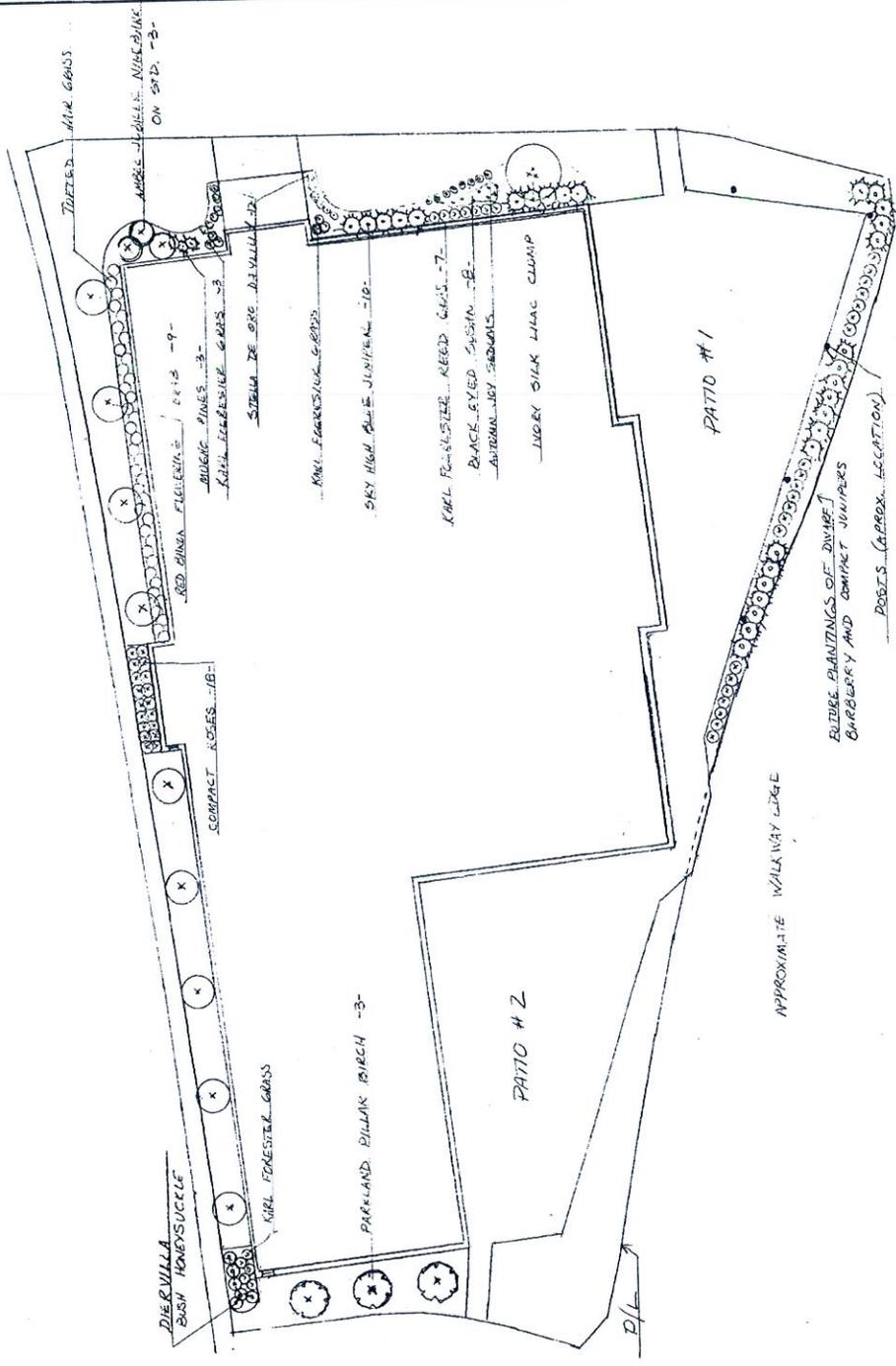
PATIO LAYOUT  
 3/8" = 1'-0"  
 3/8" = 1'-0"



DATE: 8-7-16  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: T.J.  
 SHEET:

WOW - BILL GREENWOOD

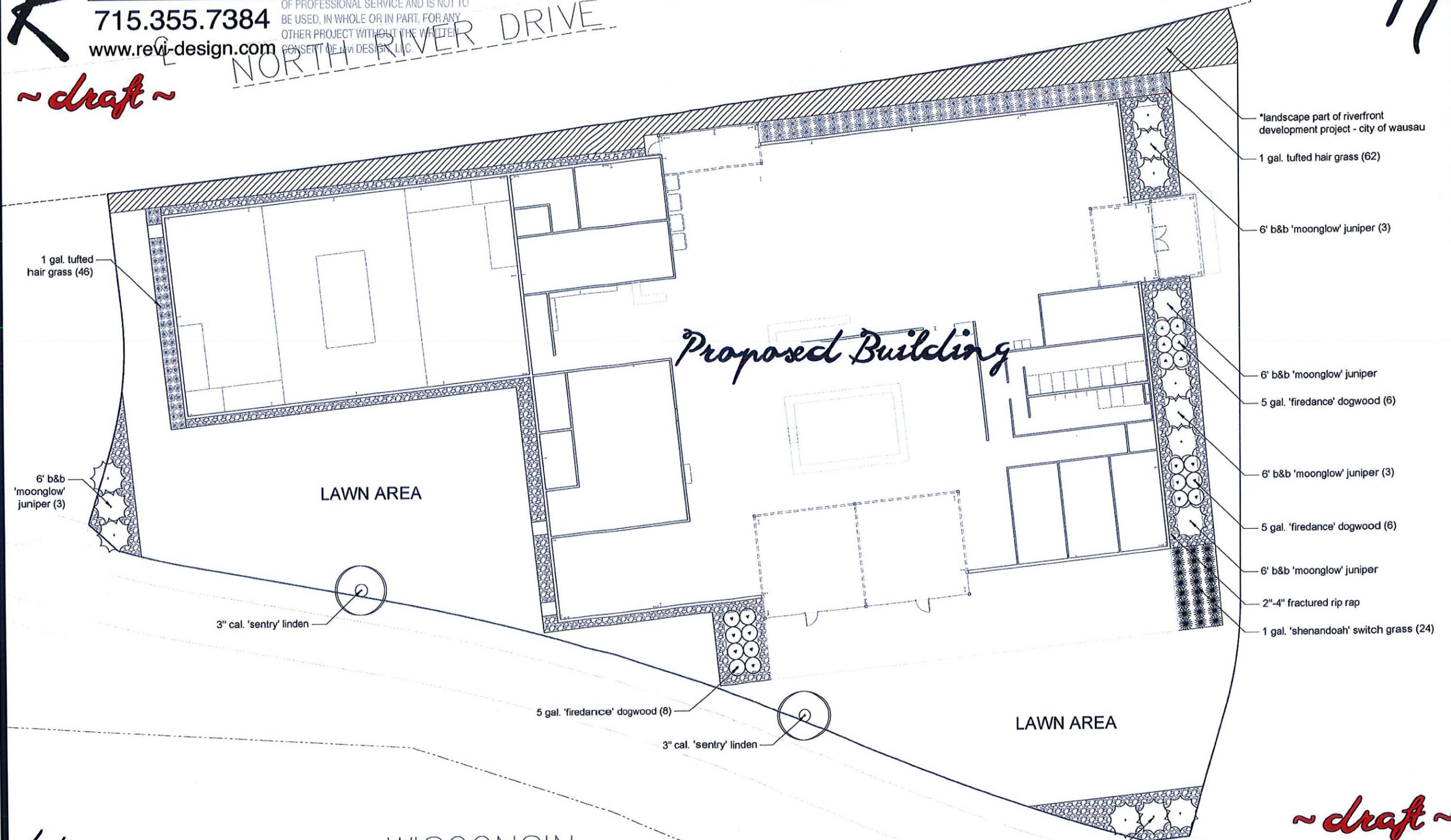
LANDSCAPE DESIGN /  
 CONSTRUCTION  
 3808 E. SELL STREET  
 WAUSAU, WISCONSIN 54403  
 715 842 0619





~ draft ~

NORTH RIVER DRIVE



1 gal. tufted hair grass (46)

6' b&b 'moonglow' juniper (3)

3" cal. 'sentry' linden

LAWN AREA

Proposed Building

5 gal. 'firedance' dogwood (8)

3" cal. 'sentry' linden

LAWN AREA

\*landscape part of riverfront development project - city of wausau

1 gal. tufted hair grass (62)

6' b&b 'moonglow' juniper (3)

6' b&b 'moonglow' juniper

5 gal. 'firedance' dogwood (6)

6' b&b 'moonglow' juniper (3)

5 gal. 'firedance' dogwood (6)

6' b&b 'moonglow' juniper

2"-4" fractured rip rap

1 gal. 'shenandoah' switch grass (24)

~ draft ~

date: march 2nd, 2016  
 scale: one inch equals ten feet  
 drawn by: DAVE SETHER

WISCONSIN RIVER

wausau on water **WOW**



# PROPOSED BUILDING FOR -- WOW ~ BILL GREENWOOD WAUSAU, WI

### LOCATION MAP



### PROJECT INFORMATION

**APPLICABLE BUILDING CODE**  
2012 WISCONSIN COMMERCIAL BUILDING CODE

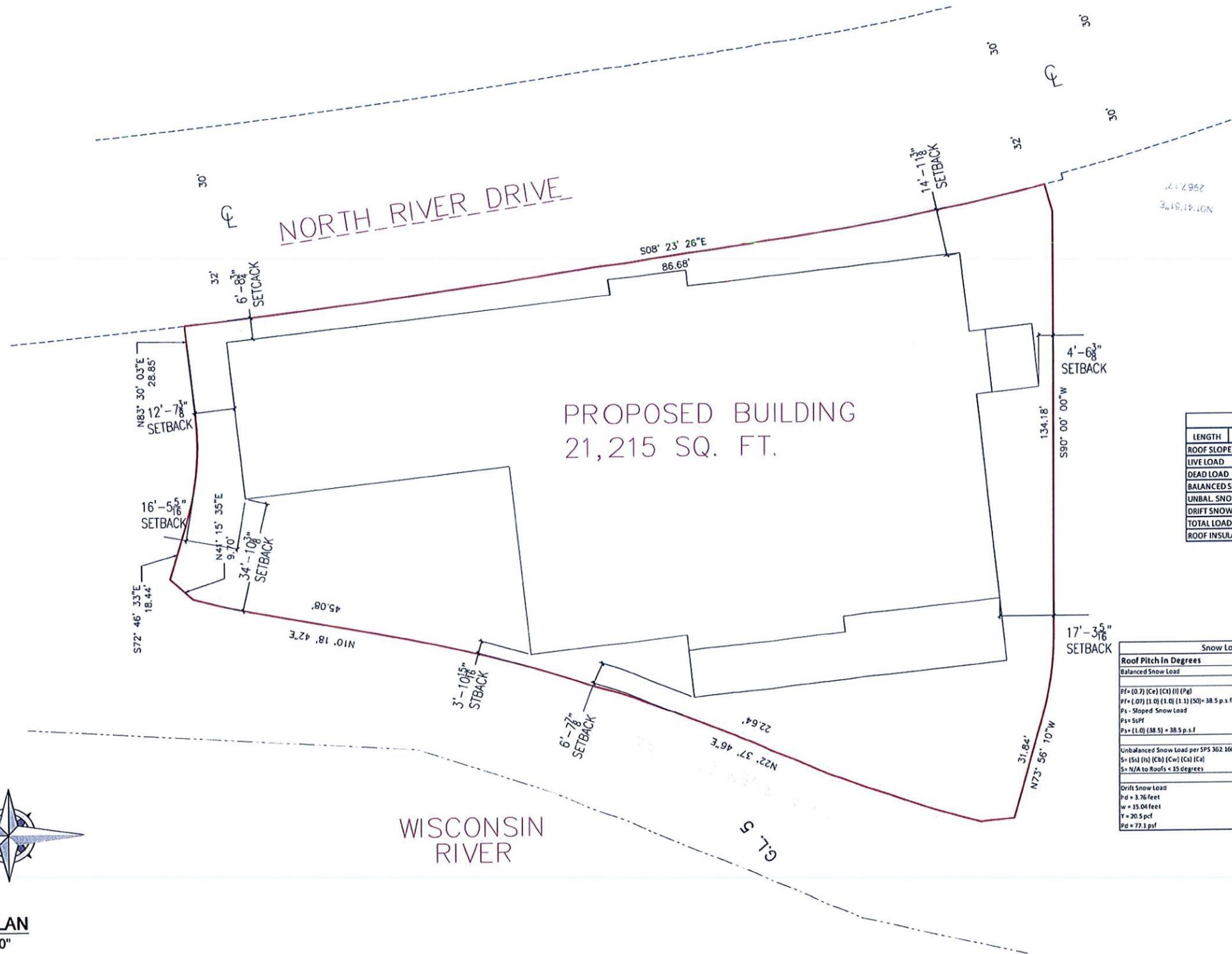
**BUILDING AREA**  
PROJECT AREA 150'-0" X 110'-0" (16,500 SF)  
50'-0" X 85'-0" (4,250 SF)

**OCCUPANCY**  
A2- ASSEMBLY

**CONSTRUCTION CLASSIFICATION**  
PROPOSED ALTERATIONS TYPE II-B - FULLY SPRINKLED  
A2 EXIT DISTANCE 750'  
1007.1

**SITE ADDRESS**  
1420 North River Drive Wausau, WI 54403

**EXIT DOORS**  
ALL DOORS TO BE 3070 DOORS WITH LEVER LOCKS  
EXIT SIGN



Building Information			
LENGTH	SEE PLAN	WIDTH	SEE PLAN
ROOF SLOPE	0.5" / 12"	MINFRS DATA & APPLIED LOADS:	
LIVE LOAD	20 P.S.F.	CAT. III IMP. FACTOR 1.0 EXPOSURE B SEISMIC A	
DEAD LOAD	3 P.S.F.	BASIC WINDSPEED 90 MPH	
BALANCED SNOW LOAD	38.5 P.S.F.	INTERNAL PRESSURE COEFFICIENT = +/- 0.18 GC pl	
UNBAL SNOW LOAD	N/A	DESIGN WIND PRESSURE ON WALLS 10 P.S.F.	
DRIFT SNOW LOAD	77.1 P.S.F.	DESIGN WIND PRESSURE ON ROOF - 16 P.S.F.	
TOTAL LOAD	138.6 P.S.F.	WALL INSULATION	R13
ROOF INSULATION	R19 & R28		

**Occupancy**  
Total: 908

Snow Load Calculation	
Roof Pitch in Degrees	
Balanced Snow Load	
$P_f = (0.7) (C_e) (C_w) (I) (P_g)$	
$P_f = (0.7) (1.0) (1.0) (1.1) (50) = 38.5 \text{ p.s.f.}$	
$P_s = \text{Sloped Snow Load}$	
$P_s = S_s P_f$	
$P_s = (1.0) (38.5) = 38.5 \text{ p.s.f.}$	
Unbalanced Snow Load per SPS 362 1608 Wisconsin Alternate Standard Evaluation	
$S_u = (S_s) (I_s) (C_b) (C_w) (C_e) (C_a)$	
$S_u = \text{N/A to Roofs} < 15 \text{ degrees}$	
Drift Snow Load	
$P_d = 3.76 \text{ feet}$	
$w = 35.04 \text{ feet}$	
$T = 20.5 \text{ pcf}$	
$P_d = 77.1 \text{ pcf}$	



SHEET INDEX	
NO.	DESCRIPTION
1	SITE PLAN
2	FLOOR PLAN
3	ELEVATIONS
4	FOUNDATION
5	FOUNDATION DETAILS
6	WALL SECTION
7	ANCHOR BOLT PLAN
8	ANCHOR BOLT DETAILS
9	FRAME SECTION 1
10	FRAME SECTION 2
11	FRAME SECTION 3
12	FRAME SECTION 4
13	FRAME SECTION 5
14	ENLARGED BATHROOM / ACC
15	BATHROOM DETAILS
16	3D BUILDING PERSPECTIVE

Bathroom Fixtures	
Mens	Count
Urinals	4
Toilets	2
Accessible Toilets	1
Womens	
Toilets	8
Accessible Toilets	1

REVISIONS	
NUMBER	DESCRIPTION

**PROPOSED:**  
**WOW ~ BILL GREENWOOD**  
WAUSAU, WI

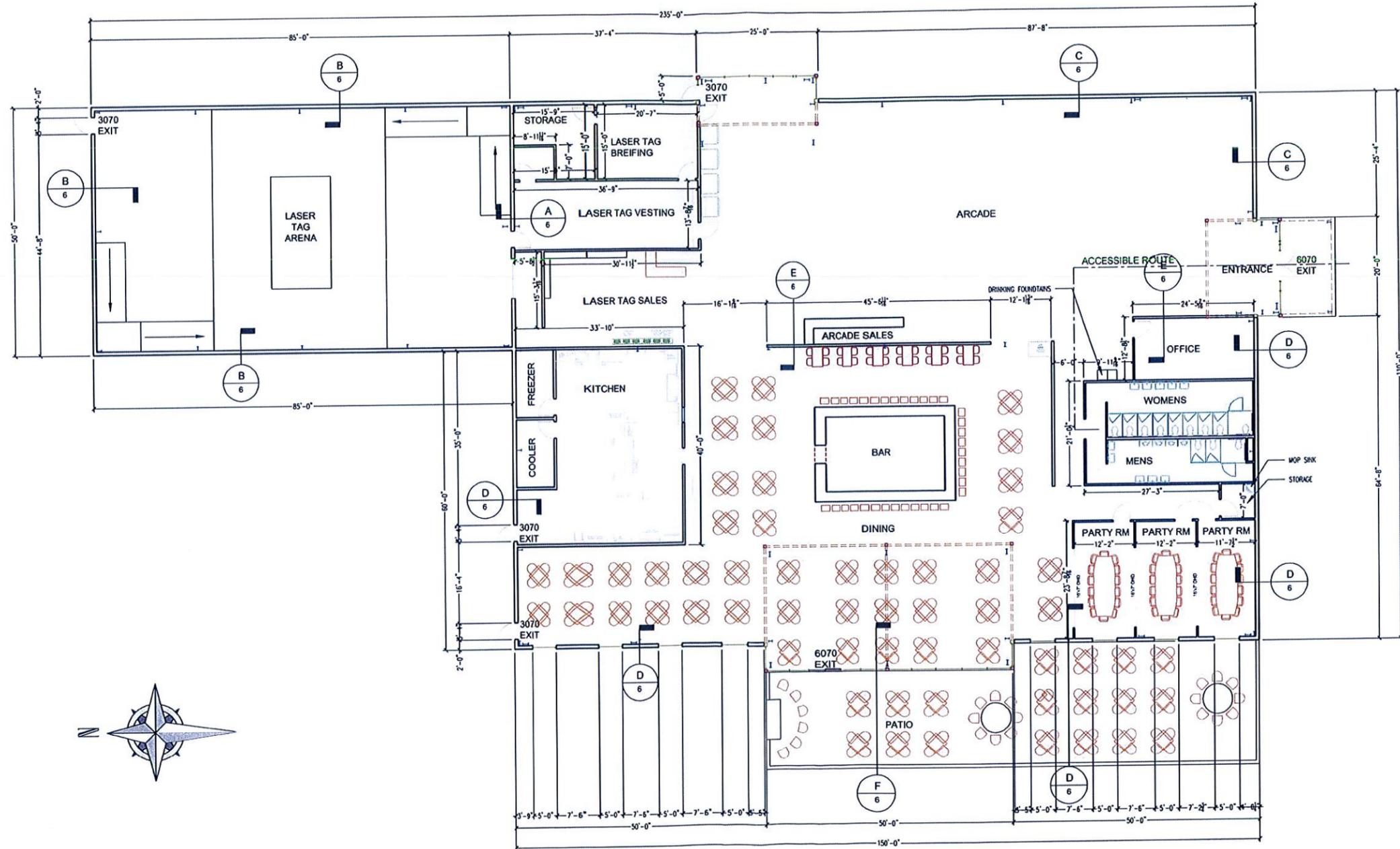
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SITE PLAN	
PAGE	
SHEET 1 OF 16	



**SITE PLAN**  
1/16" = 1'-0"

**United Structures Inc.**  
P.O. Box 527 Schofield, WI 54476 715-355-1040 Fax 715-359-0541





**FLOOR PLAN**  
3/32" = 1'-0"

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P.O. Box 527 Schofield, WI 54476 715-355-1040 Fax 715-359-0541



**REVISIONS**

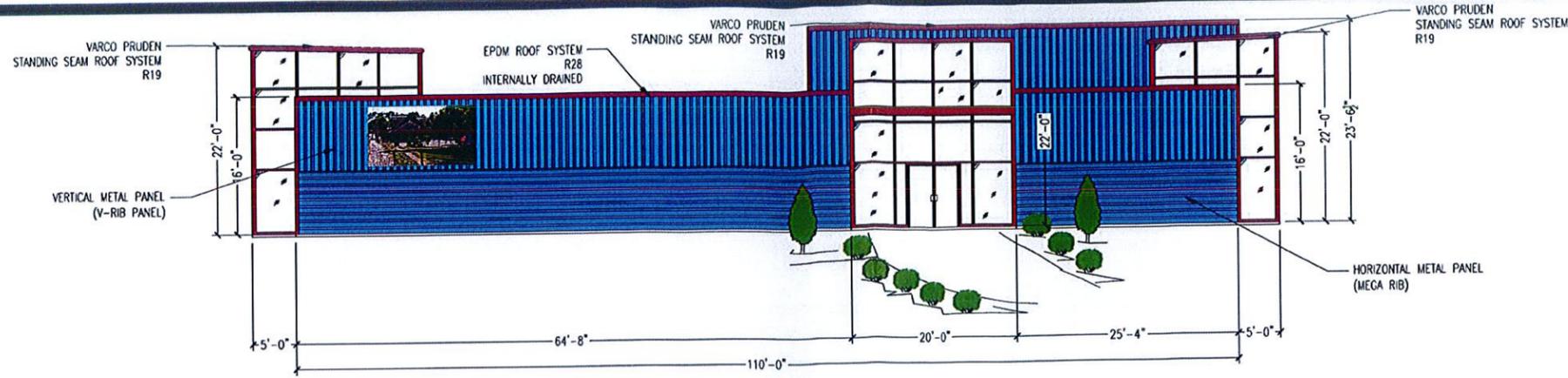
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**WOW ~ BILL GREENWOOD**  
WAUSAU, WI

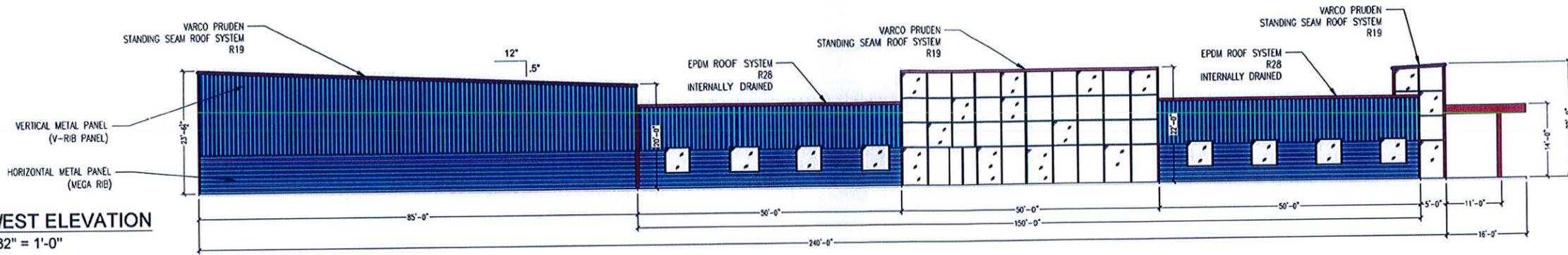
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PAGE SHEET 2 OF 16	

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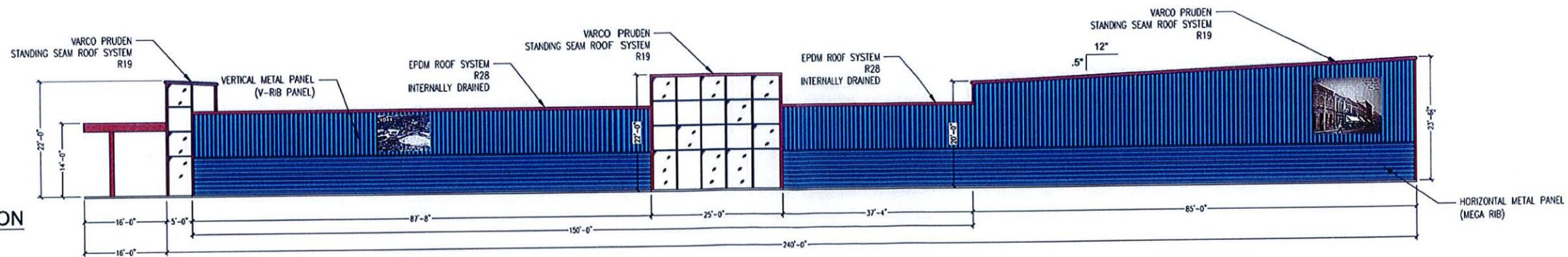
**SOUTH ELEVATION**  
1/8" = 1'-0"



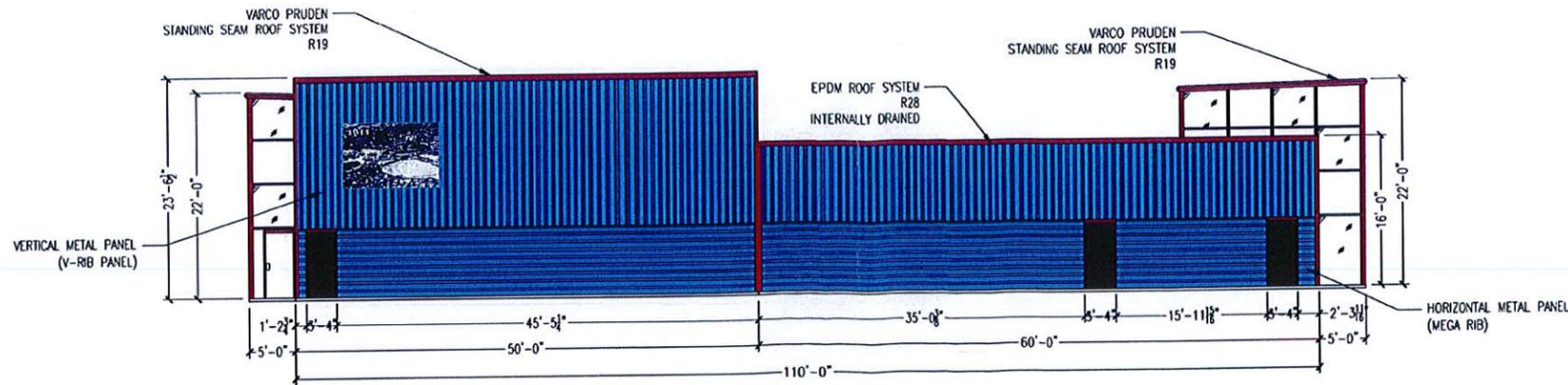
**WEST ELEVATION**  
3/32" = 1'-0"



**EAST ELEVATION**  
3/32" = 1'-0"



**NORTH ELEVATION**  
1/8" = 1'-0"



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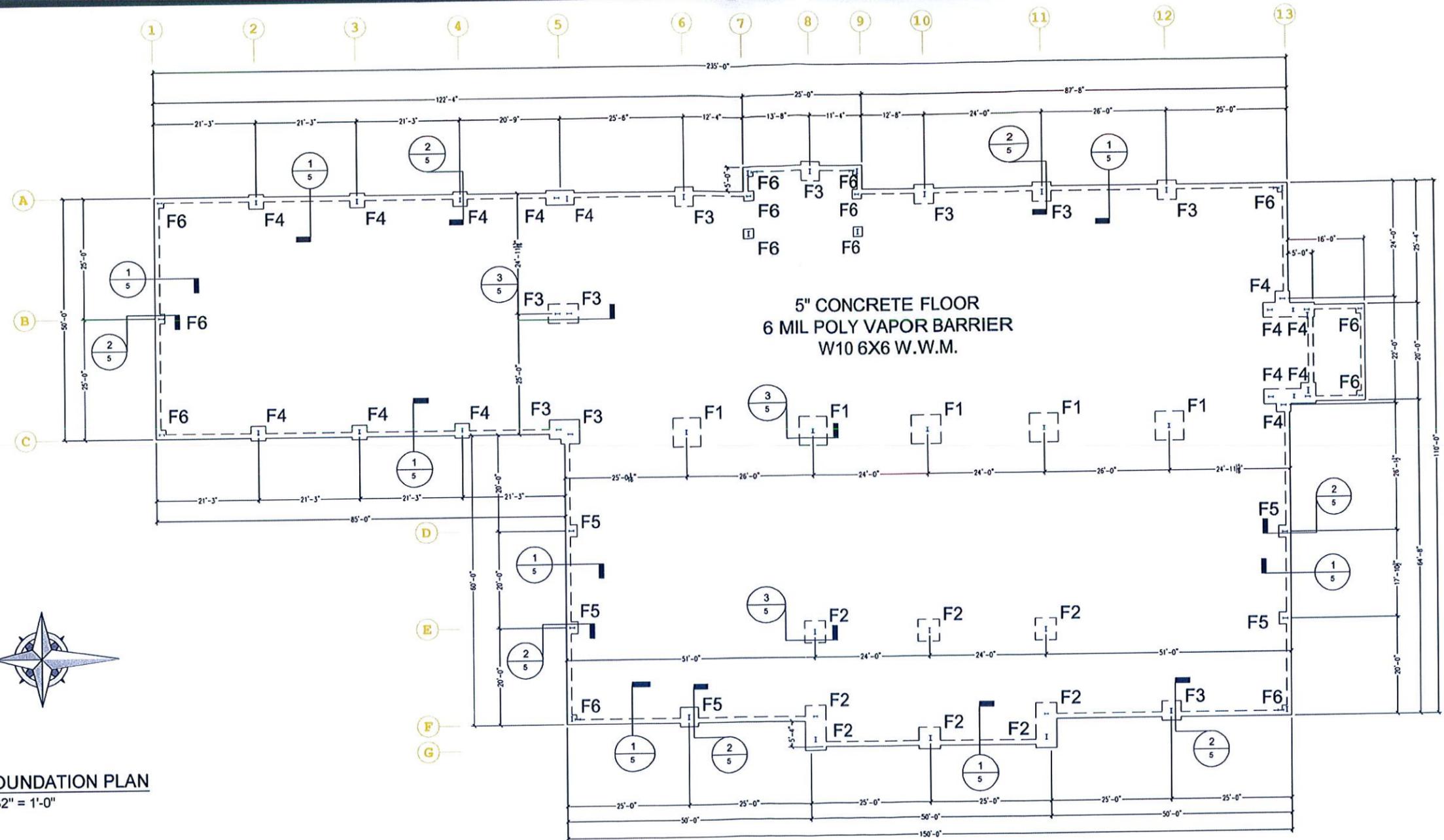
**REVISIONS**

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**PROPOSED:**  
**WOW - BILL GREENWOOD**  
WAUSAU, WI

SCALE	DATE
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ELEVATIONS	
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SHEET 3 OF 16	

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**FOUNDATION PLAN**  
3/32" = 1'-0"

FOOTING	SIZE	THICKNESS	REINFORCING
F1	6'-0" SQ	24"	2 ROW - #6 REBAR @ 9" O.C. E.W.
F2	4'-6" SQ	24"	2 ROW - #6 REBAR @ 9" O.C. E.W.
F3	4'-0" SQ	18"	2 ROW - #6 REBAR @ 9" O.C. E.W.
F4	3'-0" SQ	18"	2 ROW - #6 REBAR @ 9" O.C. E.W.
F5	2'-6" SQ	18"	2 ROW - #6 REBAR @ 9" O.C. E.W.
F6	2'-0" SQ	18"	2 ROW - #6 REBAR @ 9" O.C. E.W.

NOTE - Pier to be at least 2" wider than base plate. (VERIFY)

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P.O. Box 527 Schofield, WI 54476 715-355-1040 Fax 715-359-0541

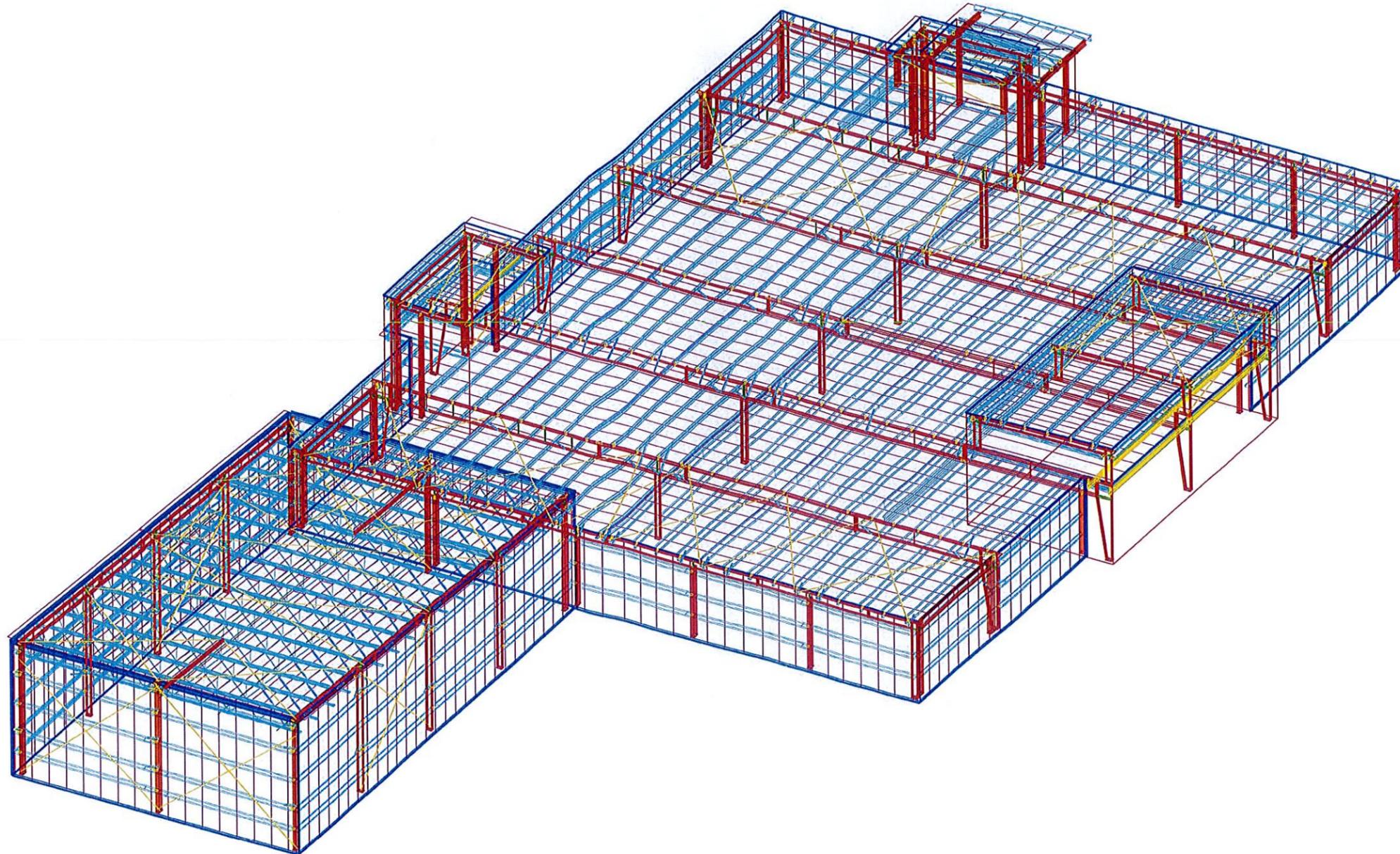


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**PROPOSED:**  
**WOW ~ BILL GREENWOOD**  
WAUSAU, WI

SCALE As Noted	DATE
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DRAWING DESCRIPTION FOUNDATION PLAN	
PAGE	
SHEET 4 OF 16	

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**REVISIONS**

NUMBER	DATE	DESCRIPTION
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2		
3		
4		

**PROPOSED:**  
**WOW ~ BILL GREENWOOD**  
 WAUSAU, WI

SCALE	DATE
As Noted	
DRAWN BY	1/22/2016
DA	
<b>DRAWING DESCRIPTION</b>	
BUILDING PERSPECTIVE	
PAGE	
SHEET 16 OF 16	

THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE VP BUILDINGS ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

REV	DATE	BY	DESCRIPTION
	12/10/2015		8:13:10
NTS			

**PERSPECTIVE DRAWING**

VP Buildings  
 3200 Players Club Circle Memphis TN 38125

BUILDER United Structures Inc  
 CUSTOMER  
 LOCATION Wausau, Wisconsin  
 PROJECT WOW  
 BUILDER'S PO#

FILENAME WOW 11-12



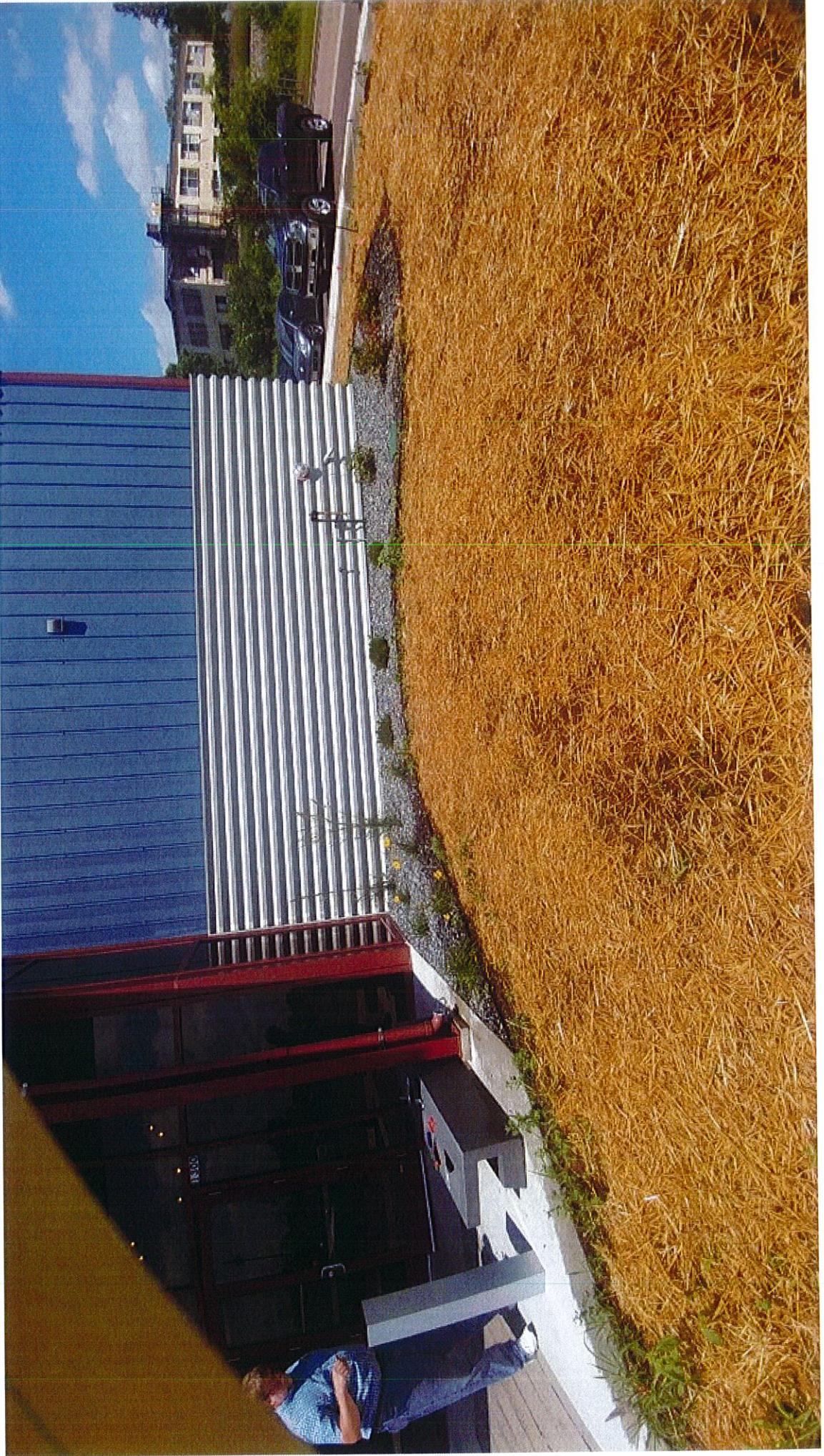
JOB #	DATE
	10/7/2014
DRAWN/CHECK	PAGE
VP VERSION 2015.2	
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**BUILDING PERSPECTIVE**  
**NO SCALE**















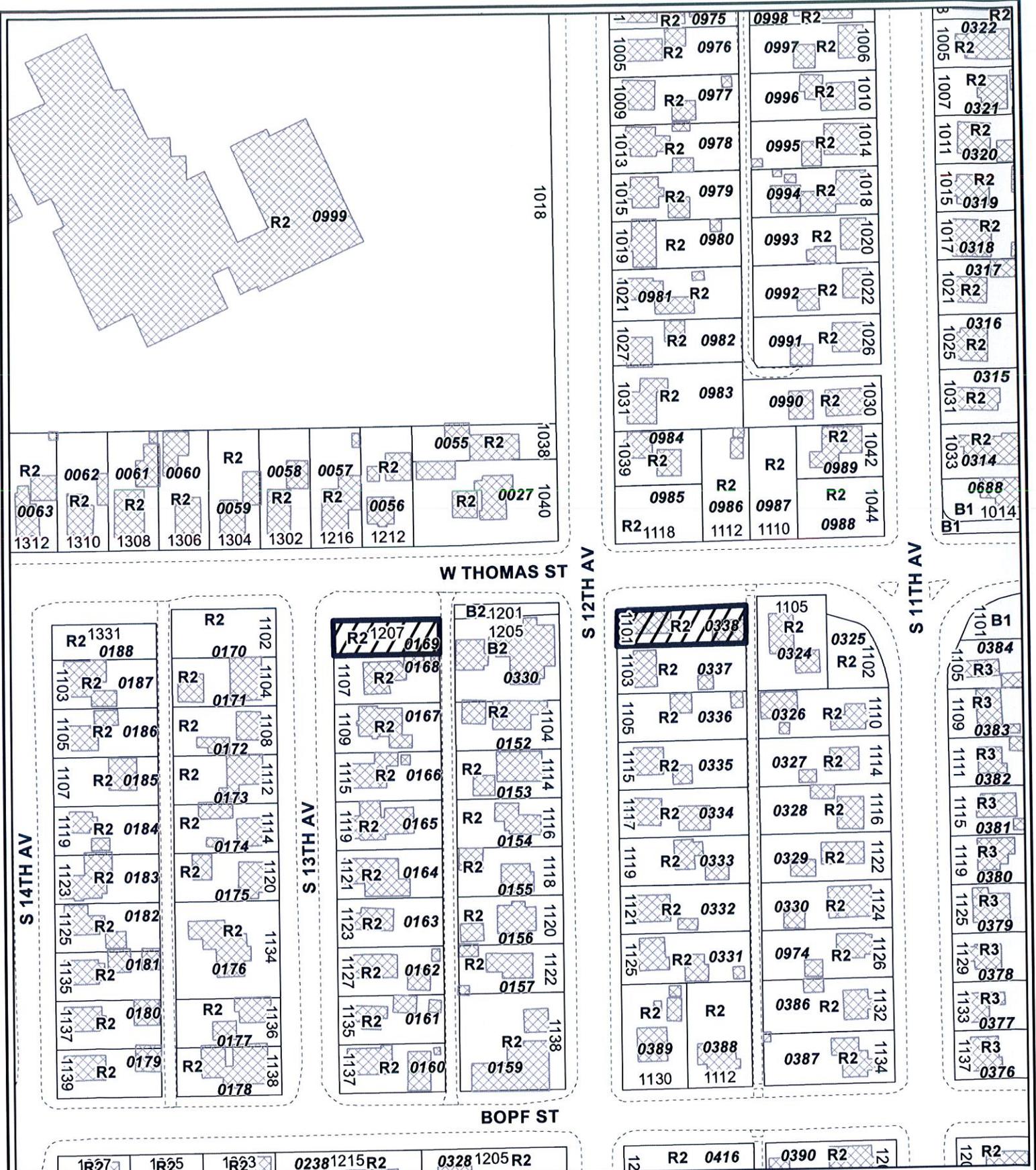






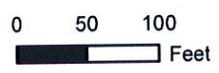




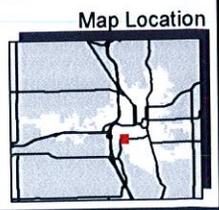


Map Date: July 5, 2017

City of Wausau  
Marathon County Wisconsin



- Area of Interest
- Building

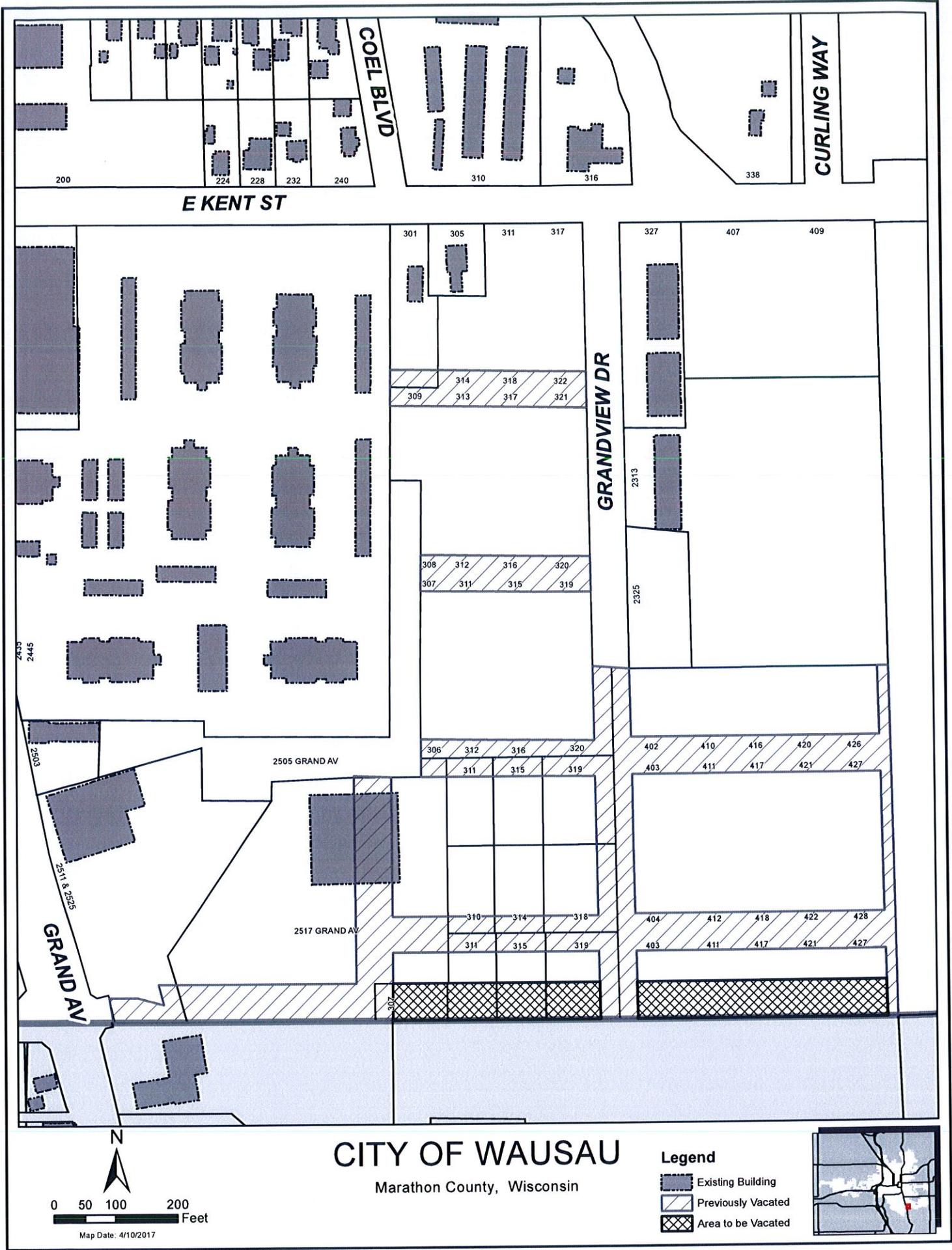


Agenda Item No.

3

*STAFF REPORT TO CISM COMMITTEE - July 12, 2017*

<b>AGENDA ITEM</b>
<b>PUBLIC HEARING:</b> Discussion and possible action to vacate East Lake View Drive, east of Grand Avenue
<b>BACKGROUND</b>
The City is proposing to vacate a portion of East Lake View Drive as shown on the attached map. This public hearing will be held to give property owners an opportunity to speak on the issue.
<b>FISCAL IMPACT</b>
The vacated portions of the right-of-way will become part of the parcels and part of the taxable parcel.
<b>STAFF RECOMMENDATION</b>
Staff recommends approval pending testimony at the public hearing.
Staff contact: Allen Wesolowski 715-261-6762



**E KENT ST**

**COEL BLVD**

**CURLING WAY**

**GRANDVIEW DR**

**GRAND AV**

**CITY OF WAUSAU**  
Marathon County, Wisconsin

**Legend**

-  Existing Building
-  Previously Vacated
-  Area to be Vacated



Map Date: 4/10/2017



**AGENDA ITEM**

Discussion and possible action on vacating a portion of South 19<sup>th</sup> Avenue, south of Pardee Street

**BACKGROUND**

A public hearing was held at the June CISM meeting. The property owner of 1837 Pardee Street questioned the uneven vacation of the right of way. Additional mapping is attached to show why staff has proposed to vacate Pardee Street with an uneven split of the right-of-way. See the attached maps. Option A is the option recommended by staff that depicts the uneven splitting of the right-of-way. In this option 9' would go to 1837 Pardee Street and 25' would go to 709 S. 20<sup>th</sup> Avenue (Riiser Property). This option was proposed for two reasons; the first being the underground utilities would lie within the right-of-way to be kept by the City and the second being the entire 16' would abut 1839 Pardee Street, giving this parcel enough room to access the right-of-way.

Option B (see attached map), would vacate the right-of-way in the middle and vacate equally to each side. As shown on the map, this would put the underground utilities on the area vacated to 1837 Pardee Street. The City would need to retain an easement for the utilities. Also, only 8' of the retained right-of-way would abut 1839 Pardee Street, making it unusable for access to the parcel.

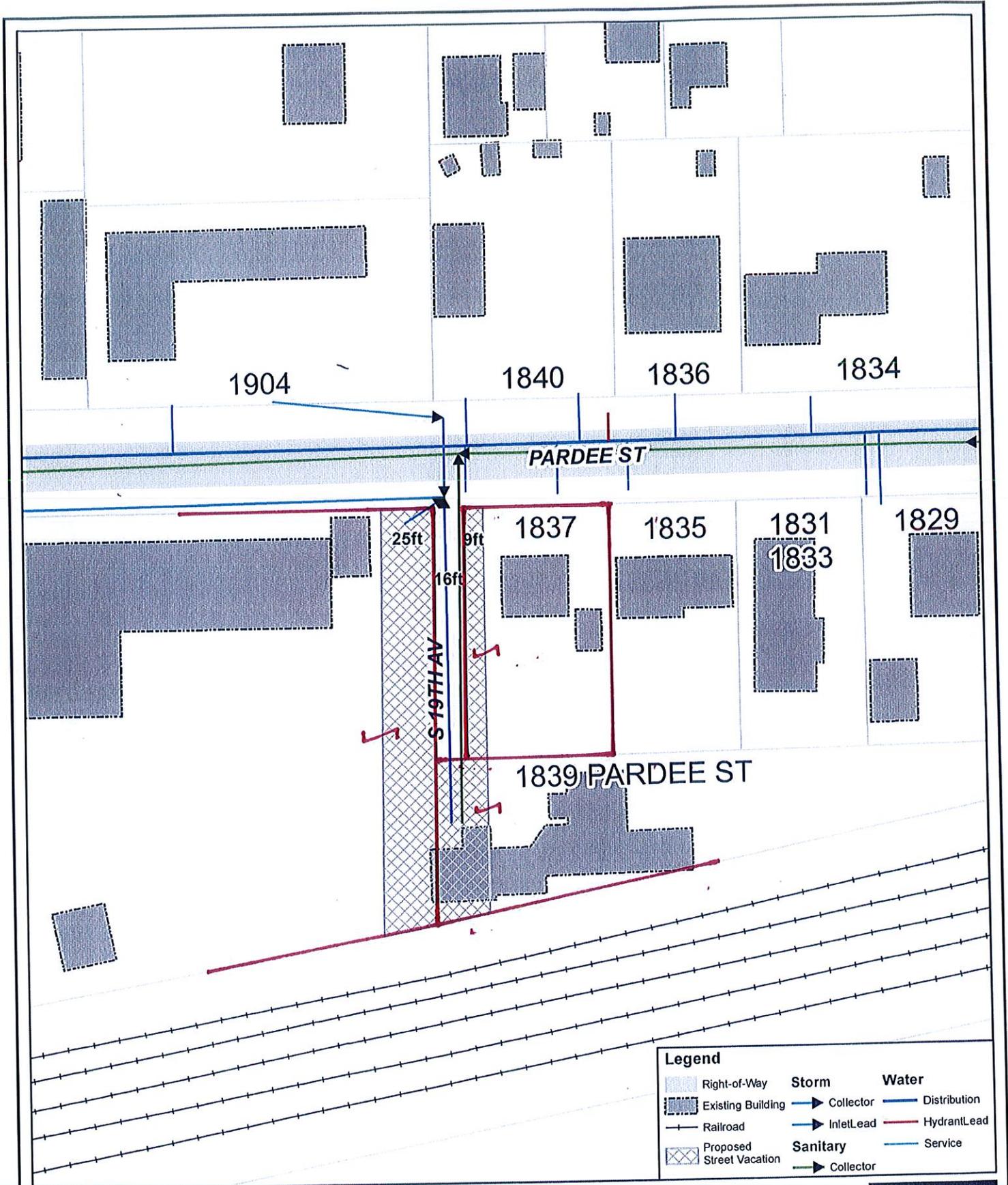
**FISCAL IMPACT**

The vacated portions of the right-of-way will become part of the parcels and part of the taxable parcel.

**STAFF RECOMMENDATION**

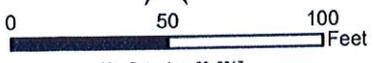
Staff recommends approving the vacation of the right of way as shown in Option A as presented at the public hearing for the reasons outlined above.

Staff contact: Allen Wesolowski 715-261-6762

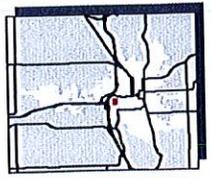


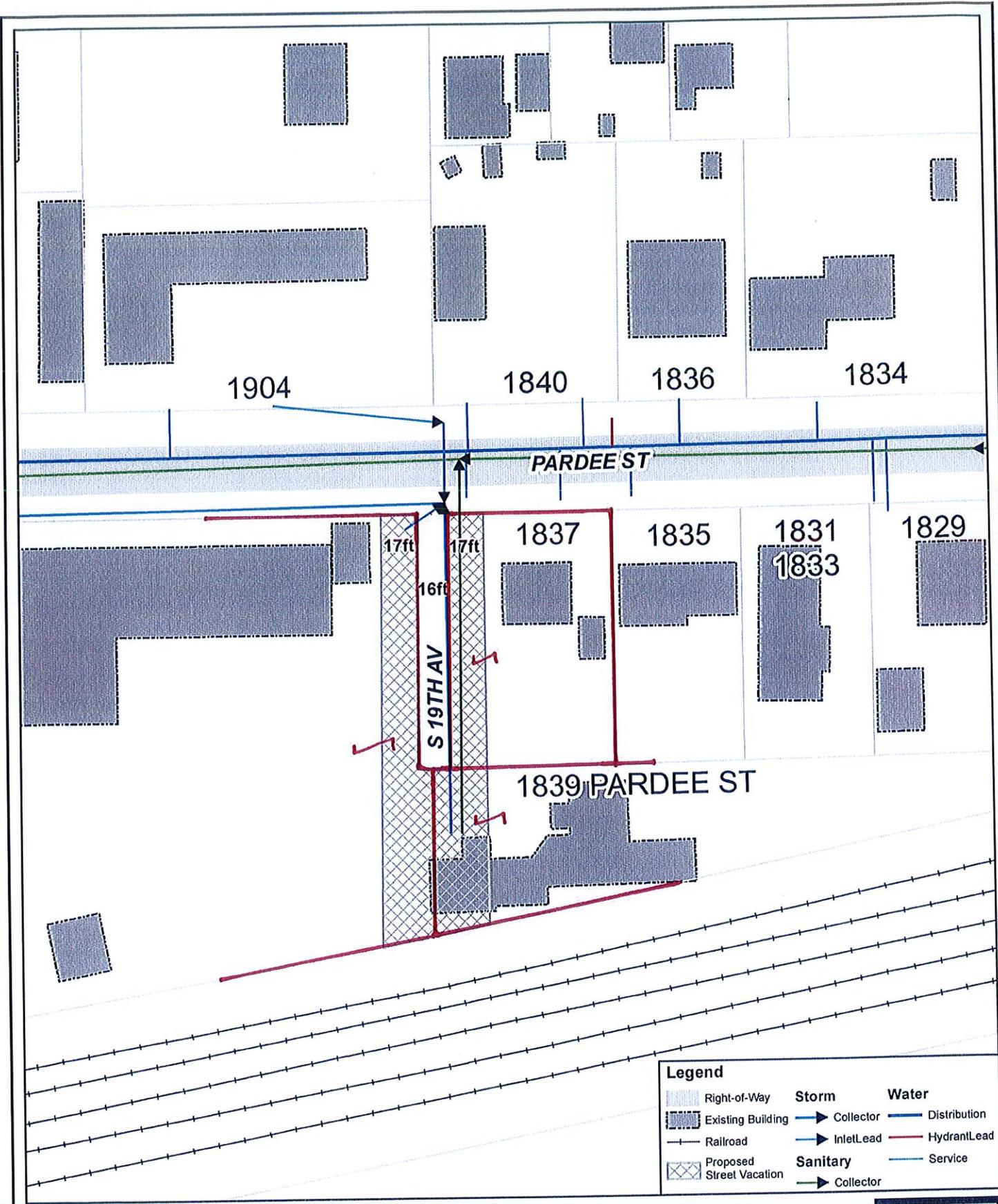
**CITY OF WAUSAU**  
 Marathon County, Wisconsin  
**Option A**

Legend		Storm	Water
	Right-of-Way		
	Existing Building		
	Railroad		
	Proposed Street Vacation		
		<b>Sanitary</b>	
		Collector	Service
			HydrantLead

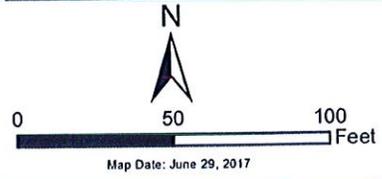


Map Date: June 29, 2017

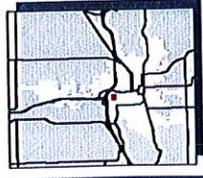




Legend		
	Right-of-Way	
	Existing Building	
	Railroad	
	Proposed Street Vacation	
	Storm Collector	
	Storm Inlet/Lead	
	Sanitary Collector	
	Water Distribution	
	Water Hydrant/Lead	
	Water Service	



**CITY OF WAUSAU**  
 Marathon County, Wisconsin  
**Option B**



<b>AGENDA ITEM</b>
Discussion and possible action on the dedication of right-of-way north of Highland Drive and east of County Road O
<b>BACKGROUND</b>
Dedication of this right-of-way will provide a corridor to access to the west industrial park expansion. See the attached map. City staff has been working with Becher Hoppe to configure the roadway to best serve this area.
<b>FISCAL IMPACT</b>
The dedication of the right-of-way would be the first step in developing this portion of the industrial park, allowing for the construction of the roadway and future development.
<b>STAFF RECOMMENDATION</b>
Staff recommends approving the dedication of the right-of-way as shown in the attachment. This proposed dedication of right of way would also go to Plan Commission for consideration.
Staff contact: Allen Wesolowski 715-261-6762

# CERTIFIED SURVEY MAP

PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, AND PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, AND  
PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 6 EAST;  
ALL IN THE CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.

FOR  
CITY OF WAUSAU

### LEGEND

- BERNTSEN STEEL NAIL MARKER FOUND
- 1" (1.3" O.D.) IRON PIPE FOUND
- 3/4" x 18" IRON ROD (1.50 LBS/FT) SET
- 1 1/4" x 18" IRON ROD (3.65 LBS/FT) SET
- ▲ RR SPIKE FOUND
- ( ) RECORDED AS

