



## OFFICIAL NOTICE AND AGENDA

of a meeting of a City Board, Commission, Department, Committee, Agency, Corporation, Quasi-Municipal Corporation, or Sub-unit thereof.

**Meeting:** CAPITAL IMPROVEMENTS AND STREET MAINTENANCE COMMITTEE

**Members:** Lisa Rasmussen (C), Sherry Abitz, Gary Gisselman, Karen Kellbach, Robert Mielke.

**Location:** Council Chambers, City Hall, 407 Grant Street.

**Date/Time:** Thursday, June 11, 2015, at 5:30 p.m.

- 
1. Approve minutes of the May 7 and May 21, 2015 meetings.
  2. Update on the current status of development of Talon Lane and possible action thereon.
  3. Update on the Thomas Street Project.
  4. Discussion and possible action on withdrawal of initial resolution to hold a public hearing to vacate Clark Street between South 3<sup>rd</sup> Avenue and South 4<sup>th</sup> Avenue.
  5. Discussion and possible action on a Stormwater Maintenance Agreement for Wausau Container at 8000 Highland Drive.
  6. Discussion and possible action on dedication of right-of-way and easement for 3385 Horseshoe Spring Road.
  7. Discussion and possible action on an easement to construct, reconstruct, maintain, inspect and/or repair a water main to supply irrigation for the Highway 52 Parkway Median.
  8. Discussion and possible action on granting an easement at 1901 Westwood Center Boulevard for construction of a parking lot.
  9. Discussion and possible action on installing signs for Wausau Main Street Inc. in City right-of-way.
  10. Discussion and possible action on Amendment to the Transportation Project Plat for STH 52, Project ID 6999-03-28.
  11. Discussion on budget costs for 2015 projects compared to actual costs.
  12. Update on 2015 Street Construction Projects.
  13. Update on 2016 Capital Improvement Projects.
  14. Presentation on street ratings.
  15. Future agenda items for consideration.

Adjourn.

*The next regular meeting is scheduled for July 9, 2015.*

LISA RASMUSSEN, Chairperson

---

THIS NOTICE POSTED AT CITY HALL AND FAXED TO CITY PAGES AND DAILY HERALD: June 5, 2015 at 9:00 a.m.

It is possible that members of and possibly a quorum of members of other committees of the Common Council may be in attendance at this meeting to gather information. No action will be taken by any such groups at this meeting other than the committee specifically referred to in this notice.

Upon reasonable notice, effort will be made to accommodate the needs of disabled individuals through appropriate aids and services. For information or to request this service, contact the City Clerk at (715) 261-6620.

Agenda distribution: Committee members, Council members, Assessor, Attorney, Clerk, Community Development, Engineering, Finance, Inspections, Mayor, Parks, Planning, Public Works, County Planning, Daily Herald, City Pages, Wausau School District, Wausau Area Events, Becher-Hoppe Associates, AECOM, CWE, REI, Glenn Speich, Judy Bayba, Scholfield Group, Evergreen Civil Engineering, Schoen Engineering Solutions, Clark Dietz, Inc.

## CAPITAL IMPROVEMENTS AND STREET MAINTENANCE COMMITTEE

---

Date of Meeting: May 7, 2015, at 5:30 p.m. in the Council Chambers of City Hall.

Members Present: Rasmussen, Gisselman, Kellbach, Mielke, Abitz

Also Present: Lindman, Jacobson, Lenz, Wesolowski, Gehin

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and received by the *Wausau Daily Herald* in the proper manner.

Noting the presence of a quorum, at approximately 5:30 p.m. Chairperson Rasmussen called the meeting to order.

### **Approve minutes of the April 9, 2015 meeting**

---

Mielke moved to approve the minutes of the previous meeting. Kellbach seconded and the motion carried unanimously 5-0.

### **Update on current status of development of Talon Lane and possible action thereon (Agreement for Dedication of Right-of-Way)**

---

This item was taken out of agenda order.

Almost two years ago, CISM approved the dedication of Talon Lane with the intention at some point it would become a street. City Attorney Anne Jacobson provided a memo outlining the background of this matter. The extension of Talon Lane began with an idea for a future subdivision. The dedication of the south portion of the right-of-way has been significantly delayed. This item is on the agenda to determine the current status between the parties and if the right-of-way dedication needs to be amended or if another method needs to be pursued to bring the project to fruition.

Dave Eckert stated he owns 80 acres on the northeast side that abuts the City by Talon Lane. In the last several years he has brought 7½ acres into the City. The two parcels are now generating \$41,000 in tax revenue for the City. He has beautiful acreage that topographically would accept sewer and water at the correct grades. He views the property as a 30 to 35 year parcel when looked at as a whole. He is ready to move forward on it and petitioned for the road approximately 1¾ years ago. Once approved, he immediately dedicated his north half of the road. The developer of the south half of the road, Schlindwein, was required to install sewer and water because of a pending deal that resulted in the sale of 2.06 acres for \$200,000. The sewer and water was installed per an agreement with the City where the City reserved the right to allow the developer to dedicate his side of the road when the Eckert's dedicated their side. He received the privilege of installing the sewer and water in the roadway so he could complete his deal. It is now eleven months since the Eckert's have dedicated their portion and there has been no success in moving this forward. He believes the City has sent letters and left messages for Schlindwein. In early March he sent emails requesting meeting dates but has had no response. It has been eleven months and nothing has happened. He has suggested to City administration that legal action should be taken to enforce the obligations of the agreement that Schlindwein has with the City. He feels it would be efficient to take it by eminent domain. He does not believe there would be eminent domain damages as Schlindwein agreed to deliver the roadway at no cost by warranty deed. Eckert added that he has been extensively involved in economic development activities in the community over the years. He has been president of the incubator, on the Community Development Authority, involved with McDEVCO, and has completed deals for the City to help economic development. Last summer after he dedicated he received an offer of \$45,000 an acre for the eight acres immediately north of the extended

roadway. He turned it down because he felt it would be impossible to develop the land for the City's benefit long term. He feels strongly the land over the long term should be in the City. In a sense it is their gift to the community.

Attorney Mella appeared on behalf of Schlindwein. He appreciates Eckert's patience with the process and apologized to City staff on his inability to arrange a meeting to this point. He has offered to meet tomorrow morning to discuss and hopefully resolve this situation. He understands the facts of this matter to be that the Eckert's initiated the process a couple of years ago to move forward with the dedication of a roadway along the southern portion of property he owns that adjoins additional property he owns where his homestead is located outside of the City of Wausau. He believes there are a couple of different options to redevelop the property into multiple lots. In 2007 Schlindwein signed an agreement with the City by which he agreed to convey a strip of land to the City. Following that agreement, he installed sewer and water in that strip of land to reach a lot that Schlindwein owns with the intention of providing sewer and water to a house that he wants to build for himself. It appears that Eckert would like this property dedicated at no cost to him with that sewer line installed at no cost to him so that he can tie into the sewer line and begin to utilize it for the development he would like to undertake on his property. Schlindwein presumed that Eckert would offer some compensation to tie into the line that Schlindwein paid for. This is where the sticking point lies. Additionally, he is not clear on the City policy in the event that this additional strip of land is conveyed by Schlindwein to the City as it goes to the point where Schlindwein's property would be adjoining the City of Wausau. Eckert has provided drawings showing a roadway constructed that does not go to the end of the sewer line. They all seem to cut across and create a subdivision. Schlindwein has no intension or desire to build a road back to his property at this time. His preference would be that if a street is ever constructed that it would go all the way back to his property and tie into an extension of 25<sup>th</sup> Street. Mella hopes something can be resolved with respect to the sewer and water line that was installed baring legal action. He will continue to try to get the parties together.

Rasmussen stated the goal is to move everyone forward. If continued negotiations among the parties can bring a conclusion to the matter there is no further action that this committee needs to take.

Joan Eckert indicated that when Dave Eckert sent an email in March the discussion was regarding options for compensation of the water and sewer line. At that time, the Eckerts asked for a list of costs and did not hear back. Rasmussen explained that the committee needs to know that the parties are committed to working this out. Joan Eckert is concerned that this will hit another impasse. Rasmussen indicated that Mella seems to be committed to bringing this matter to closure. The committee is in no position to try and stop parties from working out issues. The only option the committee would have is to amend the original agreement or legal action.

Dave Eckert feels they have been very patient with what he feels is a clear and unambiguous agreement. He believes the cost of the road needs to be shared fairly. He added that if Schlindwein does not want the entire road he is willing to discuss that. Eckert noted that because of the topography of the land, it makes better sense to bring the roadway up through their valley and not due east. This was confirmed by Joe Gehin at a meeting about a month ago. This would open up lots and would result in hooking up to 25<sup>th</sup> Street sooner.

Rasmussen again stated the goal is to get active discussion between all parties so it is not left as an unfinished item. Eckert asked that this remain on the agenda next month. Rasmussen is hopeful this will come to a conclusion, but will place it on the June agenda for an update. Gisselman questioned what the City's legal obligation is if this does not progress. Jacobson stated that the remedy has not been fully researched and would be something shared in closed session.

**Discussion and possible action regarding an easement for utility relocation and extension in the East Hangar Development Area**

This item was taken out of agenda order.

Rasmussen stated the relocation of utilities is proposed on the airport property to make hosting the Balloon Rally easier, develop the East Hangar Area, and easier for Koucereck to build a private hangar. A utility easement is necessary for the relocation.

Mielke moved to approve the easement for utility relocation and extension in the East Hangar Development Area contingent upon legal review and upon staff defining the exact coordinates and path of the line. Abitz seconded and the motion carried unanimously 5-0.

**Discussion and possible action on studying 1<sup>st</sup> and 3<sup>rd</sup> Avenues for conversion to two-way traffic**

Wesolowski explained that CISM previously authorized a study up to \$50,000. However, after consultation with the DOT and some stakeholders, the committee felt that the City may not need to go ahead with that study.

Mielke moved to not go forward with the study of 1<sup>st</sup> and 3<sup>rd</sup> Avenue for the conversion to two-way traffic.

Rasmussen indicated there was some discussion of this issue at Economic Development (ED). In terms of economic development, ED is less interested in traffic flow and vehicular issues than traffic calming and design. However, upon receipt of her feedback outlining stakeholder concerns, DOT concerns, and that the streets are connecting highways, the ED committee concluded that this could be reconsidered when the roads are scheduled for reconstruction. Lenz clarified that 1<sup>st</sup> Avenue is scheduled for reconstruction between Stewart Avenue and Thomas Street and STP Urban funds have been obtained. Lenz had the impression from the DOT that it is not off the table completely and there are certain advantages and disadvantages that need to be considered. Rasmussen thought that the area in question in terms of development in TID 8 and traffic calming was 1<sup>st</sup> and 3<sup>rd</sup> Avenues from Stewart Avenue to Bridge Street, which are not planned for reconstruction. She did know that funding was received for 1<sup>st</sup> Avenue from Stewart to Thomas in lieu of funding for the Thomas Street Project. Lenz explained that the part of 1<sup>st</sup> and 3<sup>rd</sup> Avenues that are connecting highways is north of Stewart Avenue. If Business Highway 51 is shifted off of one street and onto the other, it will no longer be a connecting highway and funding would be lost. There is an overall calculation where the DOT takes into consideration all the miles that we have on connecting highways and the City receives a percentage based on those miles.

Rasmussen asked if the committee agreed that at this point that \$50,000 should not be spent in the study but to consider it in the future if plans warrant it. Abitz added that the City would be responsible for railroad realignment and signage if there is any change in the roadways, which would be a large expense.

Mielke amended his motion to table the study indefinitely and address it again if plans come forward in the future. Gisselman seconded and the motion carried unanimously 5-0.

**Discussion and possible action regarding on-street parking in front of 1910 North 6<sup>th</sup> Street (Zillman's)**

Wesolowski stated 6<sup>th</sup> Street is STH 52, which is controlled by the DOT. If on-street parking is approved, the City would be required to pay for the reconstruction. The remainder of 6<sup>th</sup> Street does not have on-

street parking, so if approved, there would be only one block with parking. On-street parking is not something the DOT would like to see, but he can formally contact the DOT regarding feasibility and cost. Rasmussen is concerned it would set a precedent and any business along a connecting highway would want on-street parking. Rasmussen cannot see paying for the remaining life of the pavement and shifting traffic in an area where it currently flows. She added that more traffic will be using 6<sup>th</sup> Street heading for Athletic Park. Abitz noted that Parking & Traffic had the same concerns.

Kellbach moved to not pursue parking in front of 1910 North 6<sup>th</sup> Street. Abitz seconded and the motion carried 4-0 with Mielke abstaining.

### **Discussion and possible action on dedication of right-of-way and proposed easement for 3385 Horseshoe Spring Road**

Wesolowski explained that Horseshoe Spring Road is a unique situation where property owners on the opposite side of the road own property behind the wall for access to the backwaters of the river. Travis Dzwonkowski of 3385 Horseshoe Spring Road is requesting an easement to construct a gate in the wall, similar to what his neighbors have. Staff researched records and could not find easements for the existing gates in the wall. Also, staff found out that the right-of-way of Horseshoe Spring Road is not dedicated for this property. Therefore, the owner would first have to dedicate right-of-way to the City and then the City could grant him an easement for the gate.

Rasmussen questioned if the wall could structurally take the gate. Wesolowski stated a licensed and bonded contractor would have to complete the work and added that the wall is in need of repair in other places. Rasmussen questioned if there is any risk to the public in terms of entry into the water. Wesolowski indicated a hold harmless agreement would be included in the easement. Gisselman questioned when the wall was built. Wesolowski is unsure but would work with the property owner to have a better gate than the existing gates.

Gisselman moved to direct staff to continue to work with the property owner and bring back any necessary agreements. Mielke seconded and the motion carried unanimously 5-0.

### **Discussion and possible action on an initial resolution to hold a public hearing to vacate the alley abutting 215 East Thomas Street west to Emter Street**

Wesolowski stated the petition came from Lamont Thao, who is with the Elder Sanctuary. The Elder Sanctuary owns all the parcels except one along this portion of the alley. Jacobson stated there are two methods under State Statute 66.1003 that allow for discontinuance of a public way. One is by petition, which requires signatures of owners of all the lots that abut the public way and the owners of more than 1/3 of the frontage of the lots abutting the portion of the remainder of the public way. Therefore she feels this is not a sufficient petition as it does not contain enough signatures of effected owners. Additionally, unpaved alleys are treated differently than paved alleys. The alley abutting one parcel is gravel, but the majority of the alley is paved. Because there are not enough signatures and because we would like to keep it moving forward, the other method to discontinue a public way is initiation by the Council. A resolution can be introduced by declaring the public interest requires the vacation. This does not change the length of the process as a public hearing is still required. Rasmussen is not convinced it would serve the greater good for the public purpose as it is unknown if the petitioner has spoken to the other property owners. Abitz stated Hill's Service is on the other end of the alley. The house next to Hill's has a back garage, along with the property across the alley. She is concerned that they use the alley to get out during the winter. She questioned Mr. Kilian, a resident in the area, if he has noticed traffic using the alley. To which he responded he has seen some traffic. She is also concerned with the electrical poles. Rasmussen

noted a utility easement would have to be granted. Rasmussen asked for all abutting property owners to be noticed of the public hearing rather than a radius of the property. Wesolowski replied that all owners that abut the alley would be noticed.

Mielke moved to schedule a public hearing, notify abutting property owners of the hearing, and direct staff to work with the property owner to be sure he obtains a sufficient number of signatures. Abitz seconded.

Gisselman is hesitant since there was only one signature and he does not know why the petitioner wants to vacate the alley. Abitz assumes it is due to the amount of activity during events. Gehin stated Thao owns four lots on the south side of the alley. He started to improve the lots in 2013 by demoing two homes and placing gravel. Thao was proposing a parking lot on the four lots. The City requested that he pave and make drainage improvements by 2014. In 2014 he informed the City that he did not have the funds to make the improvements and he would move forward with the work in 2015.

Jacobson indicated staff can contact the petitioner, provide him with maps and inform him what he needs to do to bring a sufficient petition forward.

There being a motion and a second to schedule a public hearing, notify abutting property owners of the hearing, and direct staff to work with the property owner to be sure he obtains a sufficient number of signatures carried unanimously 5-0.

**Discussion and possible action on an initial resolution to hold a public hearing to vacate Clark Street between South 3<sup>rd</sup> Avenue and South 4<sup>th</sup> Avenue**

Rasmussen stated a proposal was submitted a few years ago for renovation of The Store and to change the layout of the site. However, the project fell through. The project is back in a different form and has been considered by ED and Finance. Part of the project is to vacate Clark Street between 3<sup>rd</sup> and 4<sup>th</sup> Avenues.

Jacobson indicated in fairness to Mr. Halverson who represents Ellis Stone, the City did accept a letter from him to serve as a petition. Once again the question arose if that was sufficient. A sufficient petition would include the signature of the Labor Temple and the appropriate number of signatures from affected property owners. It could also be determined that the public interest requires the vacation. Rasmussen explained a proposal has been approved by one committee and received a mixed result in the other. The proposal shows a substantial private and public investment into a redevelopment effort.

Randy Olmsted, 828 North 2<sup>nd</sup> Avenue, stated he is the agent for the Wausau Labor Temple. He is here to request that this does not go forward to public hearing. The Labor Temple has not had time to understand how the vacation would affect their business. They have a ballroom upstairs, a tavern downstairs and 13 office spaces. There is not an elevator and a lot of older people park on 4<sup>th</sup> Avenue. Part of Callon Street is closed for public parking. They need to understand how the vacation would affect the banquet as it is a vital part of their business. Additionally, they have not had a chance to speak with the other parties involved with this and have concerns with emergency access. The initial proposal from 2012 is different than today. They are proposing an apartment complex with only 16 parking spots, which could be an issue. Rasmussen stated approval of the public hearing does not approve the project. The public hearing is the key forum for all property owners and stakeholders to be heard. Additionally, if scheduling of a public hearing is approved, there is time before the hearing to get some questions answered.

Mielke questioned the timeline for the project. Halverson indicated a meeting was scheduled with the Labor Temple yesterday but unfortunately was canceled because of Olmsted's illness. They have always intended to go under the public purpose element primarily from a blight elimination perspective, adherence to the TIF 8 plan and level of investment. To obtain 1/3 petitioners from 2,650 feet from the termini of either end of the intersections is hundreds of households, which would be challenging. Their commitment to the Labor Temple is one where he feels they can address any of their concerns. Also, Henning has brought a misleading element of the site plan to their attention. The site plan shows the sidewalk nearly against the south wall of the Labor Temple, which is not their intent. The \$30,000 agreement that was in place to purchase the northern 33 feet of Clark Street would be on the table for discussion, making sure the emergency exit is not obstructed and that the Labor Temple would still have full egress from their property to the south through an easement. Emergency access and overflow parking concerns would be on the table for consideration. They intend to do anything within their power within the 40 days post Council approval to move forward. He feels that is plenty of time to work through the Labor Temple's concerns and with every good faith effort to not only accommodate them financially but operationally in terms of parking movement and access to their facility. They are ready to work with them to insure that they potentially come out of this in an even better situation than they were at starting.

Rasmussen stated if a public hearing is approved by Council, the hearing can be held no sooner than 40 days. This gives time for all to have conversations. Jacobson stated it is a five step process. If a public hearing is authorized tonight, on May 26 Council would set the public hearing with the public hearing occurring on July 9. The item would then be considered at Plan Commission on July 21 and final approval before Council on August 11.

Deb Ryan, 702 Elm Street, is representing the Westies Neighborhood Group. She feels part of what is being discussed are plans that assume they own all the land, which is not true. The assumptions are based on Schierl owning the land or the Labor Temple giving them the land. We do not know if that is going to happen. She has not seen anything that indicates why the street should be closed. She knows of neighbors in the affected area that think this is a poor reason to close the road. Schierl Tire should reduce the footprint so that Clark Street can remain open. If the housing development moves forward, 4<sup>th</sup> Avenue would be jammed with resident parking. The intersection of 4<sup>th</sup> Avenue and Callon Street is a blind intersection that would have increased traffic. She questioned what would happen if the Labor Temple does not agree and Schierl cannot obtain the property. Rasmussen stated there are many moving parts to this and there are no assumptions made but the proposal does indicate that Schierl would be acquiring that land. The public hearing process is the public vetting process for all of the concerns.

Paul Henning, 1906 East Hamilton Street, stated he is not agent for the Labor Temple but has pertinent information and knowledge as he has been in consultation with the Board of Directors. He fully supports Schierl Sales Corporation redevelopment on Stewart Avenue as it is a great location but it needs updating to bring it up to the high quality standards displayed by the other modern facilities doing business as The Store. However, he is disturbed by some of the components of the redevelop plan and the City processes that are required during approvals, and the procedure for the project. He feels it would be extremely premature to go to public hearing regarding the vacation. He stated going to a hearing often gives the citizens and the public the impression that both sides of the equation are fully on board. Often he sees a decision is made immediately upon the public hearing. The developer's plan assumes the entire vacated right-of-way is needed for the project and required for the small amount of parking delineated for the project. He feels Unified Development Districts require control of the land and a signature minimum blessing the project. Evidentially it was not required for this project as the Plan Commission not only entertained the general plan but also the precise implementation plan at the same meeting. He does not see how they could have looked at both the general and precise plans without the blessing of the land owner. It is his understanding that Finance has rejected the TIF access proposal. He believes with TIF's

this project would have to meet the “but for” component. As it stands now, Council would have to flip the Finance Committee decision to recommend rejecting the proposal. Rasmussen explained that the item will come forward to Council on a negative recommendation from the Finance Committee and the full Council does not flip the recommendation but rather look at the proposal and vote. The plan did pass in ED so it will go to Council with a mixed review. Henning stated transparency can be achieved by looking at the Economic Development minutes. To this date the Finance Committee minutes are not available. He requested the minutes one week ago today and was assured they would be out. He indicated how important it is to know what happened at the meetings as important decisions are being made. Henning stated if the “but for” component is valid, no TIF proposal acceptance by the City equals no project. If there is no project then the developer would need to reconfigure the plan and the TIF proposal. If that is required there is no need to continue with the vacation process as it gives the wrong impression. Another important item is that there is no agreement between the developer and the Labor Temple as of this moment. There are very serious fiscal consequences to the Labor Temple, which requires a serious evaluation by their Board. The Labor Temple could conceivably lose a lot of their on-street parking and it could negatively impact their banquet facility. If the Labor Temple does not decide to part with the land in the development plan, the plan would require modification. This is all incumbent upon securing the land, which has not been done to date. If they don’t part with the land then one-half of the right-of-way that they are entitled to becomes an asset. At that point that asset comes with serious modification in the form of design for parking modifications, excavating, curb and gutter, paving, and landscaping. They would be forced to spend money on modifications they may not want or need right now, especially if the TIF component is not met. Rasmussen explained that the conclusion at the ED Committee was the “but for” test was met and that was the reason the plan was approved. To which Henning stated that is all dependent upon acquisition of the north half of the right-of-way. Rasmussen indicated if that does not take place the plan would then be subject to modification or it is possible the plan could fall through, but without this process they cannot begin. She added with 40 days following Council approval, the public hearing would be in July. If it is held off another month or two it will be into the fall season. Henning stated vacation before all the factors are clear puts the Labor Temple at a disadvantage in negotiations with the developer. The control of the land required for the development should have been locked down before the general development and precise implementation plans were presented to the City. He feels vacation is merely a formality that does not affect the timeline of the project. He noted that since it is obviously recommended by Wesolowski, Lenz and Mayor Tipple, it can be resurrected quickly when all the other hurdles are overcome. Rasmussen indicated the statutory requirement for the 40 day timeline is not going to be reset. That process has to be followed whether everyone is on board or not. Henning stated it creates an aura of distrust when a general development plan and a precise implementation plan are considered at the same meeting. He feels there are many unanswered parts and a public hearing would be inappropriate and cause additional hardships for the Labor Temple. He believes there is little downside to postponing the public hearing.

Lenz stated in addition to the plan being considered by ED and Finance, it was considered by Plan Commission. Plan Commission is composed of citizen representation, staff and Council members. The general plan was approved for the project. During precise plan consideration, there was discussion regarding the street vacation and it was decided that it should be brought back when some of the issues are worked out. Therefore, the precise plan at this point is on hold. He added that it is not uncommon to see both the general and precise plans on the same agenda. It is allowed for the petitioner to bring forward both plans separately or together. Henning indicated that at Plan Commission it was stated the items on the precise implementation plan will be taken care of by staff. That erases the clear transparency the citizens of Wausau deserve. He feels it is inappropriate to say nothing about signatures and control of the land, which should have been a prerequisite.

Mielke stated in the interest of full disclosure, openness, and transparency, his father is on the Labor Council Board. He questioned if he should abstain from the vote. Jacobson does not have all the facts and would have to review the matter. He noted that he has not been lobbied for a vote.

At this time Abitz had to leave the meeting.

Ardin Mielke, 901 South 10<sup>th</sup> Street, stated he is the next in command behind Olmsted on the Executive Council for the Labor Temple. Rasmussen questioned if he felt issues could be worked out between now and July. He is not certain a decision can be obtained by then. Rasmussen believes a good faith effort should be made on both sides to address the issues. Rasmussen asked Halverson if he felt if a meeting could be convened between now and July to address the stakeholders concerns. Halverson replied yes as they were prepared to meet with the Labor Temple yesterday. Discussion followed on tabling the item or scheduling a special CISM meeting.

Ryan stated the Labor Temple may say no and the entire plan is based upon an assumption. She feels that is a poor assumption. Rasmussen takes offense to the fact that Ryan is judging the decision of this committee as a foregone conclusion. They plan to make a fair decision and follow the process.

Olmsted respects that the developer is under a timeline. The Labor Temple received a letter in the mail and the developer had to know this was going to begin prior to them receiving that letter. It is important to the Labor Temple to evaluate how the project will affect their business. He feels they are being forced into making a quick decision. He does not want to set back a good project and the Stahmer Clinic property is an eyesore; however, they need to understand how it will affect them.

Halverson stands ready to discuss concerns immediately. The concern that they had embarking on the project in the first place is the way in which the project unfolded the first time. There were concerns and procedural steps that needed to be undertaken at that point which they wanted to make sure there was a chance to take care of initially by listening to the concerns that were expressed previously, applying those changes to the plan, and moving forward as systematically as they could with Planning, Engineering, ED and Finance. There will probably be 13 to 14 different action items that this development proposal will require. The first time, Schierl had arrangements made with the Labor Temple. It was his intension to get through several of the other steps first to be able to know there was momentum building for the development. They are concerned with the asphalt plants closing on November 15 for this timeline let alone any delay. It will be late August or early September before they will be able to pull a permit for any portion of the project. Which means construction could not begin until mid-September. They need a minimum of 90 days to construct only the convenience store, which would be at a very accelerated pace. They are not trying to engage in anything but invest \$3.7 million in the City of Wausau while taking care of the concerns of the Labor Temple.

Gisselman moved to table this item to a special CISM meeting on May 21 at 3:30 p.m. Kellbach seconded and the motion carried 3-0 with Mielke abstaining.

Jacobson questioned if Halverson needs to obtain signatures for a petition or if this would be initiated by the governing body because of public interest. The committee does see the public merit and Halverson does not need to obtain signatures but rather devote his time to working with the stakeholders. Gisselman requested the Fire Department be present at the next meeting to address emergency concerns.

### **Update on the Thomas Street Project**

---

Wesolowski stated that Bruce Gerland from AECOM was unable to attend tonight as the meeting was moved up a week and he had a previous commitment. At the last CISM meeting, Gerland was requested to contact the property owners at 15<sup>th</sup> Avenue. Gerland did contact the owner of the northwest corner property and AECOM will move forward with alternate one based upon staff's review and discussion with the property owner. Alternate one aligns the intersection but minimizes the impact to the Webko property. Gerland will provide an update next month.

### **2015 Street Construction Project of 2<sup>nd</sup> Avenue and Clark Street: Discuss public hearing results and make recommendation**

---

Arden Emmerich, 453 Grand Avenue, Schofield, stated he is a real estate investor. He is on the Economic Development Committee for Main Street Wausau, with his specific assignment being the near west side development. He inquired on how proceeding with reconstruction of 2<sup>nd</sup> Avenue fits into the Near West Side Master Plan and the purpose of the TID 8 plan. The purpose and creation of TID 8 is to offer capacity in order to implement the recommendations outlined in the Near West Side Master Plan and to leverage that with Wausau's Main Street Program. The Near West Side Master Plan focuses on full block solutions. He has been waiting for a larger plan for the area. The larger area, the commercial center of the City's Near West Side, covers roughly 10 City blocks. Local stakeholders view Clark Street and the Main Street Neighborhood as a commercial street. The development of the street needs to fit that commercial need. He questioned whether the plan as presented fits the commercial street requirements. The planned improvements are expected to create a unique identity for the Near West Side and bring economic revitalization for the area. He believes the Near West Side Master Plan should focus on the plan for the entire area, which he has not seen. He attended the Board of Public Works hearing on Monday regarding special assessments for the street project. That was the first time he heard the plan was that far along. He has been waiting for the comprehensive plan. He has tried to move economic development forward for the west side for the last couple of years. He has been put off and told it was in the hands of the DNR due to environmental concerns. He did not know there was clearance by the DNR to proceed. He is a stakeholder in the west side and in the TIF presentation it was said that Clark Street east of 2<sup>nd</sup> Avenue is a highly visible front door to the community. The triangular area adjacent to Stewart Avenue should be developed into an attractive public space with parking to support business and special events. The area is a blighted and underutilized. He owns the piece of land this is referring to and no one has ever talked to him about the TIF proposal. If the street project goes forward, the potential of the TIF 8 plan is limited.

Rasmussen stated there has been some stagnation in TID 8 in terms of private sector investment. A number of the stakeholders have indicated the City should move forward with improvements first before private investments are made. It was then decided to look at streetscaping and rebuilding of 2<sup>nd</sup> Avenue and Clark Street, relighting the area, reducing the hardscape, adding green elements, and increase walkability of the area. The City was stalled while waiting for DNR reports, but that situation is now resolving itself. Additionally, the private sector did not want to invest money on improvements and then have the street under construction for several months. She feels the streetscaping plan does fit within the master plan.

Lenz indicated the Near West Side Master Plan has a variety of recommendations, some of which are streetscaping improvements and transportation improvements. The larger plan is just an area wide streetscaping plan and does not delve into private development. The Near West Side Master Plan is being used as a guiding master plan. One of the recommendations of the plan was to look at streetscaping improvements for not only 2<sup>nd</sup> and Clark Street, but the area around those streets and how to connect it to

the river, and make the area a more walkable Main Street area. We do not have control of the private parcels. There have been ideas for the triangular area from both the City and stakeholders, but ultimately it is not the City's property. The City can see how it fits into the area and have recommendations but it is not the City's plan to develop that parcel or any other private property. The City can set the stage with street improvements and connections to the riverfront. Rasmussen sees the project as a combination of three years of work. It started out a number of years ago by walking the area with stakeholders and residents. Stakeholder opinions were gathered regarding what they wanted to see more and less of. From that feedback the streetscaping plan was created by GRAEF. There was not wide spread opposition to the project at the public hearing, but rather questions raised that can be addressed by staff.

Gisselman moved to approve the project and move forward for the 2015 construction season. Kellbach seconded and the motion carried 3-1 with Mielke opposing.

### **Update on the status of the McClellan Street project continued from the 2014 season and discussion of 2015 street project expectations**

Rasmussen indicated that last year there were a number of projects that extended into late October and one into November. With the closing of the asphalt plant and unexpected early snow, the City was left with unfinished leaf pickup and unfinished streets.

Gehin was pleased to announce that McClellan Street and Scott Street were completed today. The final layer of pavement was placed on Monday and a small amount of pavement was placed today on LaSalle. Rasmussen questioned if liquidated damages would be considered by the Board of Public Works due to the project extending to this year. Gehin replied that a retainage will be held for landscaping but he does not see a need to go beyond that. He feels the contractor did an outstanding job getting the work done this spring in a timely fashion. Before work started this spring, he had a meeting with the contractor and noted items that were defective. The contractor made all the repairs at no cost to the City. The work on Curling Way and Kent Street is on schedule to be completed next week. The final layer of asphalt will be placed on Kent Street next week. Last year the pavement was intentionally left off the south half of Curling Way because of poor soils and the want to watch the settlement. The road held up fine and the first layer of asphalt was placed on Wednesday. The final layer should be placed in the middle to end of next week on both Kent Street and Curling Way. Some landscaping work needs to be completed on Curling Way and then the project will be completed. Preconstruction meetings have been held for a couple of 2015 projects. It was made clear that the contractor needs to stick to the working days and completion date of the contract or possibly face liquidated damages if weather is not a factor. Rasmussen was looking for clear communication from the beginning so the contractor does not ask for extensions. If the contractor is overbooked it is their business practice and not the fault of the City. She feels poor or late work should not earn the same pay as on-time, quality work. Once it does and continues to, contractors take deadlines less seriously. She feels staff restored some credibility last year by going forward with liquidated damages. She questioned how staff felt about contract extensions past October 31. She feels after that the only thing that should be dug up is an unforeseen emergency. Staff agrees and on this year's projects there is not a completion date that extends beyond October 30; however, there will be a late start on 2<sup>nd</sup> Avenue. Rasmussen understands that the delay of 2<sup>nd</sup> Avenue is the City's fault. She feels the project managers should not have to be in the field listening to angry residents on a daily basis because a project is late. Wesolowski added that staff has kept the projects smaller this year. Originally 7<sup>th</sup> Street, Crocker Street, Grant Street and 11<sup>th</sup> Street were to be one project. However, it has been split into two.

**Approve petition for annexation – Luczaj, 1707 East Hamilton Street (080-2908-304-0996, Town of Wausau)**

Rasmussen stated that staff recommends approval of the annexation. Mielke moved to approve the annexation for Luczaj at 1707 East Hamilton Street. Kellbach seconded and the motion carried unanimously 4-0.

**Future agenda items for consideration**

Gisselman asked about unfinished 2014 projects in relation to carryovers of funds. Rasmussen indicated there was discussion on dollar value of unfinished work and how much of that was infrastructure. There were a lot of capital projects that were being carried over, but not all projects were street projects. One of the projects that was mentioned was the U/K project as there was concern that cost of the project has gone up. She would like to take a look at the road projects that are in progress and see where they are at in terms of cost and completion. Gisselman questioned which projects from 2014 have been held over for payment in 2015. Gehin indicated that a final invoice has not been received for Kent, Scott, McClellan and Curling Way. Wesolowski indicated that the extension of 80<sup>th</sup> Avenue was carried over from 2014. Rasmussen asked staff to compile a spreadsheet for next month showing the original project cost, what has been spent to date, and what is yet to be billed. The concern on the Council floor was due to the total carryover resolution being approximately \$8 million for all capital projects. She would like to why any 2014 projects are over and by how much. Lindman indicated that moving forward in 2015 the projects will be tracked throughout the year based upon budget and actual costs.

Mielke thanked Lindman and Wesolowski for working on a couple of issues and noted that the residents are happy.

**Adjourn**

Gisselman moved to adjourn the meeting. Mielke seconded and the motion carried unanimously 4-0. Meeting adjourned at approximately 7:45 p.m.

## CAPITAL IMPROVEMENTS AND STREET MAINTENANCE COMMITTEE

---

Date of Meeting: May 21, 2015, at 3:30 p.m. in the Council Chambers of City Hall.

Members Present: Rasmussen, Gisselman, Kellbach, Mielke, Abitz

Also Present: Lindman, Kujawa, Jacobson, Lenz, Wesolowski, Gehin

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and received by the *Wausau Daily Herald* in the proper manner.

Noting the presence of a quorum, at approximately 3:30 p.m. Chairperson Rasmussen called the meeting to order.

### **Discussion and possible action on an initial resolution to hold a public hearing to vacate Clark Street between South 3<sup>rd</sup> Avenue and South 4<sup>th</sup> Avenue**

---

Rasmussen recalled that at the last CISM meeting action was deferred on this item to allow time for the developer to meet with the Labor Temple to try to resolve concerns. She noted that this agenda item is only regarding scheduling a public hearing on the street vacation and not about the merits, funding, or validity of the project.

Randy Olmsted, representing the Labor Temple, thanked the committee for holding a special meeting. Some of the Labor Temple board members met with Fritz Schierl and Andrew Halverson on May 18. A number of issues were discussed and yesterday they received a correspondence from Schierl. Last night some of the board members and Labor Temple staff met and further discussions were held today. The direction given from the board members is that the Labor Temple is not in favor of the vacation of Clark Street. They appreciate the fact that Schierl and Halverson met with them regarding the project. However, looking at it from a business standpoint, they feel the addition of an apartment complex will interfere with their overall business.

Andrew Halverson, Ellis Stone, stated this is a diversion from where the meeting was left on May 18, which he thought was quite successful. In essence the conceptual agreement with the principles in the room, which was not a complete reflection of the entire board, was that they were going to be supportive of the vacation. Schierl would retain exclusive use of the diagonal parking on the south side of the vacated Clark Street for use of the residential component of the development. The Labor Temple would retain ownership of the vacated northern 33 feet of Clark Street. Schierl would have use of the six diagonal spaces that are created north of Clark Street, which would retain as ownership of Labor Temple but would be in essence one of the main parking elements for the northern entrance to the proposed quick serve restaurant located in the northern half of the new convenience store. Ultimately, that was the letter that was sent, which summarized the overall principles of the meeting. They would certainly want to continue the process and would want to continue to have dialogue with the Labor Temple on other elements and solutions. He hopes the committee agrees and forwards a resolution to the Common Council. Halverson again stated that the decision from the Labor Temple today is not where they left the meeting on Monday.

Mielke questioned what the holding point is. Olmsted stated there were a lot of options discussed. The Labor Temple brought up a lot of concerns in the meeting. There was not a quorum of board members present at the meeting to hold a vote. They indicated to Schierl and Halverson that the board would meet for a decision. They are concerned with additional traffic on 4<sup>th</sup> Avenue. Additionally, with increased traffic they are concerned that the City may be approached about no parking along the west side of 4<sup>th</sup> Avenue. This would eliminate some of their parking for their banquet facility. They only have four handicap parking stalls and are concerned that residents of the apartment complex will use those spots.

They talked about asking the City if angle parking could be created to increase parking on 4<sup>th</sup> Avenue. They spoke with Schierl about purchasing the corner lot at Callon and 4<sup>th</sup> Avenue with the intent to demolish the building and creating a parking lot for better access. In the letter they received, it indicated the Labor Temple would retain position of the vacated Clark Street, which realistically already belongs to them. They would receive nothing additional other than owning something they already have.

Rasmussen reminded the committee that this is a discussion to authorize a public hearing and it is not the committee's role to negotiate a deal between two private parties.

Olmsted again stated he was given the direction from the Board of Directors that the Labor Temple is not in favor. Rasmussen believes perhaps there are alternative options and many things yet to be talked about. This is only step one of a street vacation on whether a public hearing should be held or not. The public hearing is the opportunity for everyone affected to offer their comments. Then a decision is made based upon comments received at the public hearing. At any point in the process the committee can still vote no. Scheduling a public hearing is not a green light for the project, but creates movement between the parties to continue discussions. If scheduling of a public hearing is approved today, the action also goes to Council. The public hearing can occur no sooner than 40 days from Council action. It will be July before a public hearing is held.

Mielke moved to approve an initial resolution to hold a public hearing to vacate Clark Street between South 3<sup>rd</sup> Avenue and South 4<sup>th</sup> Avenue. Kellbach seconded.

Gisselman questioned how the Fire Department would react to the potential vacation in regards to the proposed apartment complex, convenience store and Labor Temple. Kujawa indicated the vacation of Clark Street would not affect their ability to serve those entities as far as fire service or EMS. Schierl will have to design the parking lot to allow sufficient access to all structures. The vacation itself would not be an issue for the Fire Department.

There being a motion and a second, motion to approve an initial resolution to hold a public hearing to vacate Clark Street between South 3<sup>rd</sup> Avenue and South 4<sup>th</sup> Avenue carried unanimously 5-0.

## **Adjourn**

---

Mielke moved to adjourn the meeting. Kellbach seconded and the motion carried unanimously 5-0. Meeting adjourned at approximately 3:45 p.m.

Agenda Item No.

2

*STAFF REPORT TO CISM COMMITTEE - June 11, 2015*

**AGENDA ITEM**

Update on the current status of development of Talon Lane and possible action thereon

**BACKGROUND**

This item was discussed at the May CISM meeting and was requested an update be brought to the committee. Staff will provide CISM a brief summary of recent meetings and future meetings.

**FISCAL IMPACT**

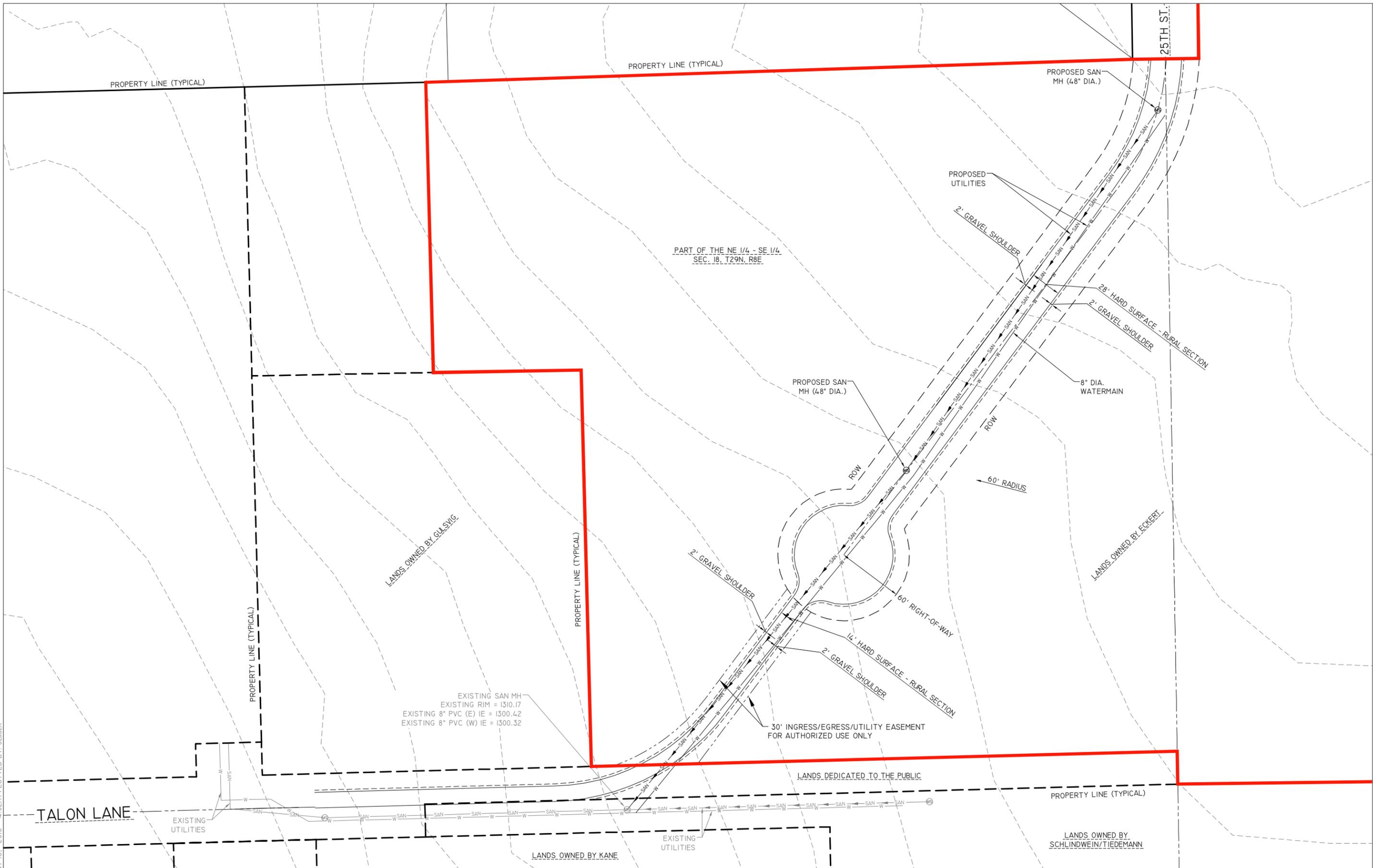
None at this time.

**STAFF RECOMMENDATION**

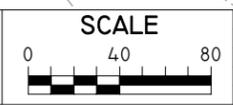
None.

Staff contact: Allen Wesolowski 715-261-6762

DRAWING FILE: P:\4700-4799\4750B\_ECKERT\DWG\SURVEY\4750 PROPERTY EXHIBIT ROAD UTILITY AGREEMENT.DWG LAYOUT: 1X17(HALF SCALE)  
 PLOTTED: MAY 18, 2015 - 4:02PM PLOTTED BY: JESSER



**REI Engineering, INC.**  
 4080 N. 20TH AVENUE  
 WAUSAU, WISCONSIN 54401  
 PHONE: 715.675.9784 FAX: 715.675.4060  
 EMAIL: MAIL@REIENGINEERING.COM



DATE	REVISION	BY	CHK'D
5-18-2015	RELOCATED CUL DE SAC, ADDED EASEMENT	JLR	TAR
5-13-2015	RELOCATED PAVEMENT AND UTILITIES	JLR	TAR

DESIGNED BY:	CHECKED BY:
SURVEYED BY:	APPROVED BY:
DRAWN BY: JLR	DATE: 5-13-2015

**ROAD/UTILITY AGREEMENT**  
 ECKERT - WAUSAU, WI

REI No. **4750B**  
 SHEET **1** OF **1**

Agenda Item No.

3

*STAFF REPORT TO CISM COMMITTEE – June 11, 2015*

**AGENDA ITEM**

Update on the Thomas Street project

**BACKGROUND**

AECOM continues to move ahead in design with the chosen alternative for Thomas Street. CISM requested an update at each meeting. Bruce Gerland from AECOM will be present at the meeting to lead the discussion. Attachments are included for discussion

**FISCAL IMPACT**

None at this time, the item is for informational/scheduling purposes.

**STAFF RECOMMENDATION**

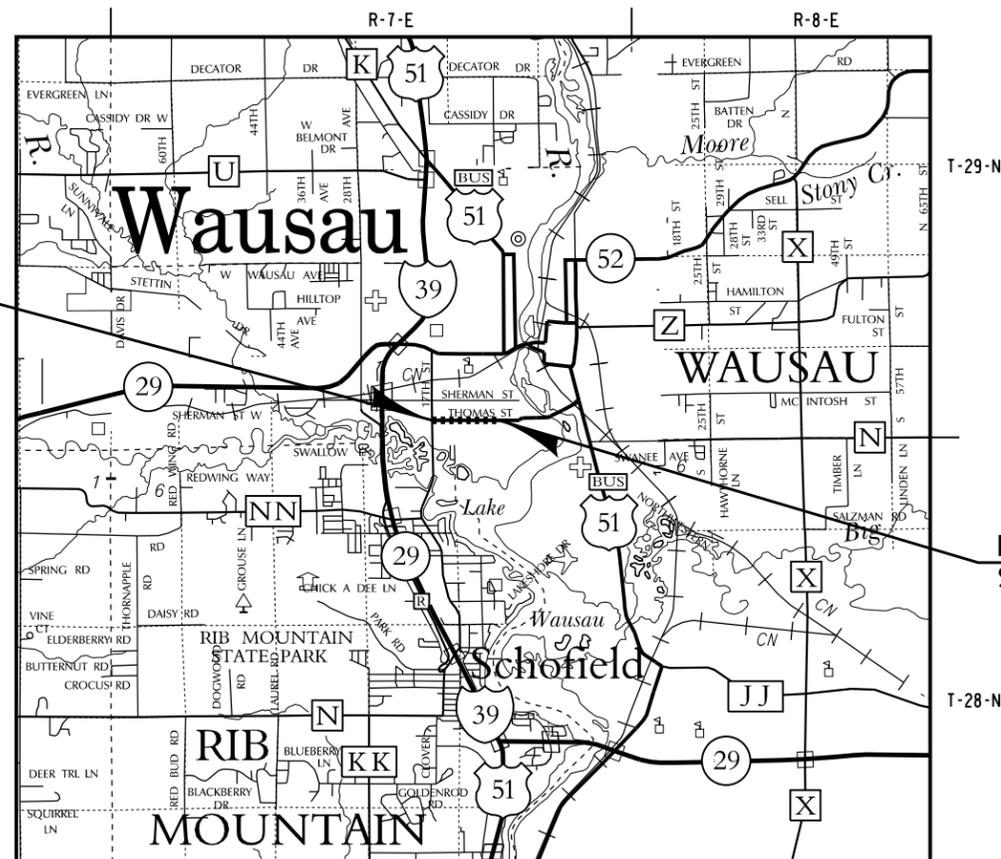
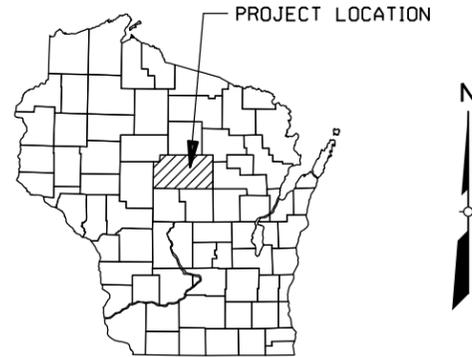
None

Staff contact: Allen Wesolowski 715-261-6762

# THOMAS STREET 17TH AVENUE TO 4TH AVENUE

## CITY OF WAUSAU MARATHON COUNTY XXXX 2015

-- PRELIMINARY --  
JUNE 4, 2015



LOCATION MAP

### LEGEND

- EXISTING POWER POLE
- EXISTING TREE
- EXISTING FENCE
- EXISTING GRAVEL
- EXISTING ELECTRIC
- EXISTING TELEPHONE
- EXISTING TELEPHONE
- EXISTING SIGNAL CONTROL CABLE
- EXISTING PEDESTAL
- EXISTING DITCH
- EXISTING TOP OR TOE OF SLOPE
- EXISTING WOODS
- EXISTING WATER VALVE
- EXISTING MANHOLE
- EXISTING SIGN
- WETLANDS
- PROPOSED RESIDENTIAL ACQUISITION (SEE PLAN AND PROFILE)
- PROPOSED COMMERCIAL ACQUISITION (SEE PLAN AND PROFILE)
- HISTORIC BOUNDARY (SEE PLAN AND PROFILE)

### STANDARD DETAIL DRAWING INDEX

08E09 SILT FENCE  
08E14 TRACKING PAD

### INDEX

DRAWING NO.	SHEET NO.	DESCRIPTION
C-1	1	GENERAL NOTES AND UTILITIES
C-2 - C-2	2	TYPICAL SECTIONS
C - C	-	CONSTRUCTION DETAILS
C - C	-	TRAFFIC SIGNAL PLAN
C - C	-	PLAN AND PROFILE

**DIGGERS HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

PREPARED FOR

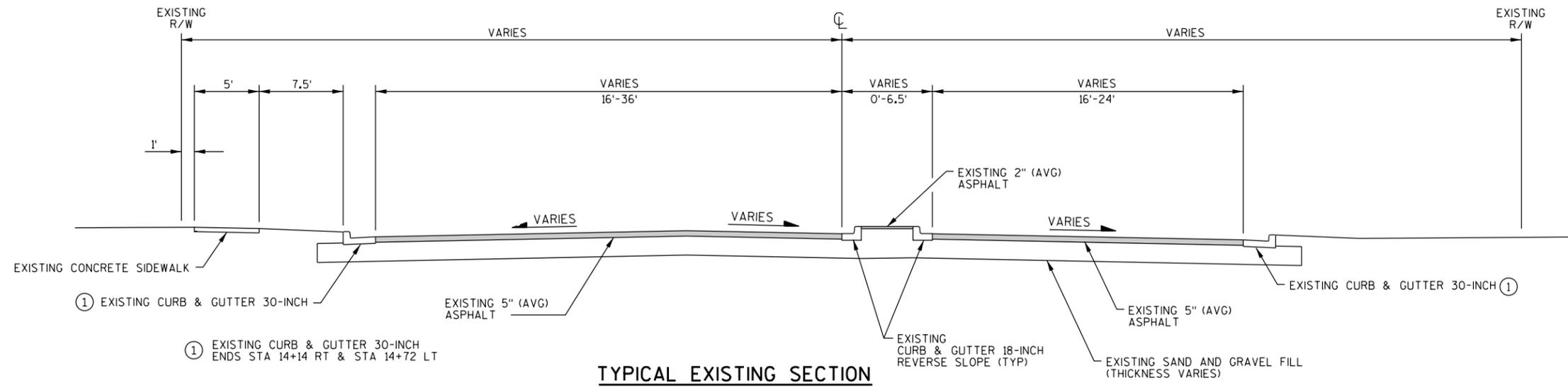
**CITY OF WAUSAU**

407 GRANT STREET  
WAUSAU, WI 54403  
715-261-6740

PREPARED BY

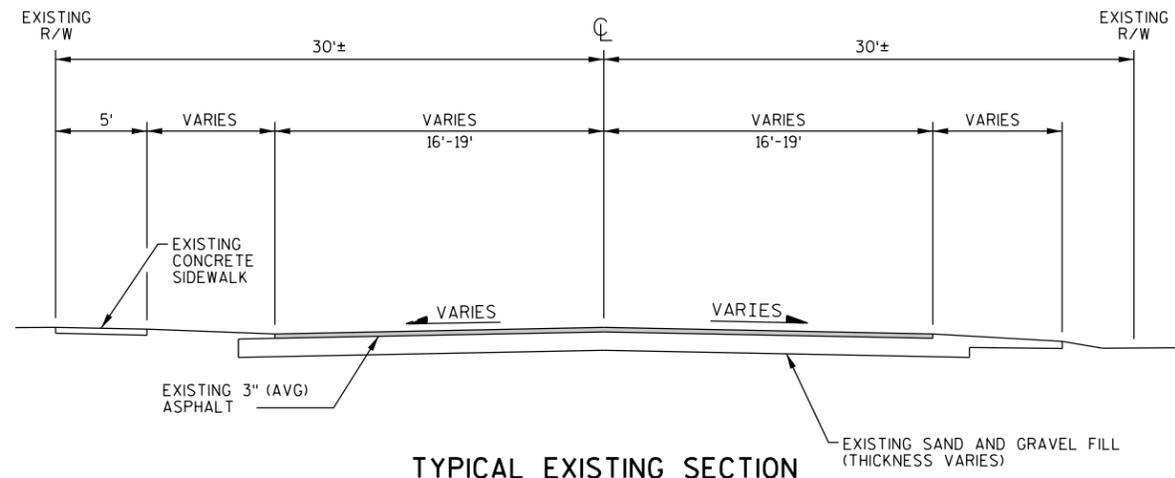
**AECOM**

200 Indiana Avenue  
Stevens Point, WI 54481  
T 715.341.8110 F 715.341.7390  
WWW.AECOM.COM



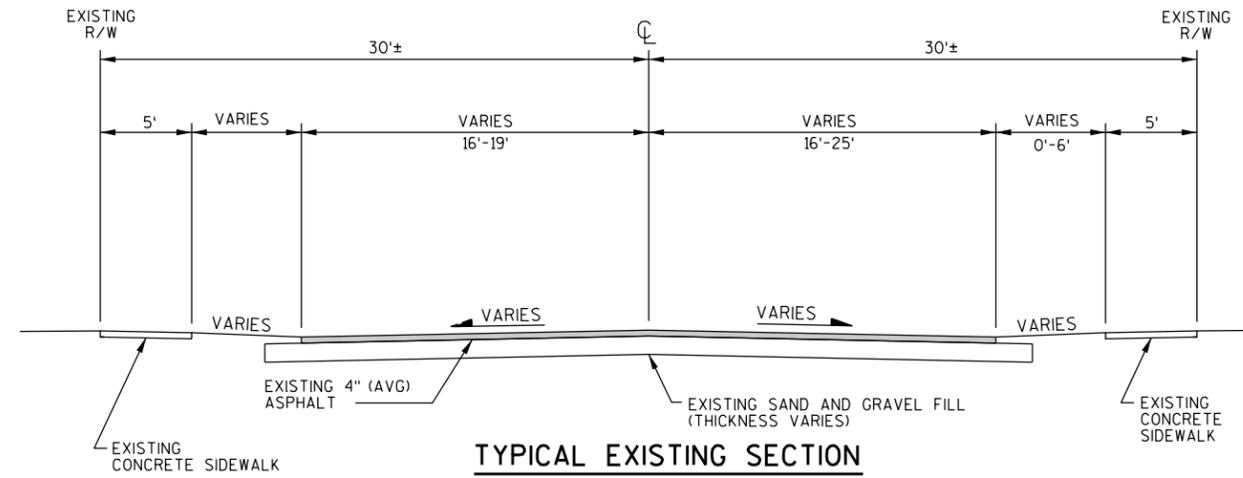
**TYPICAL EXISTING SECTION**

THOMAS STREET  
STA 10+00 - STA 15+50



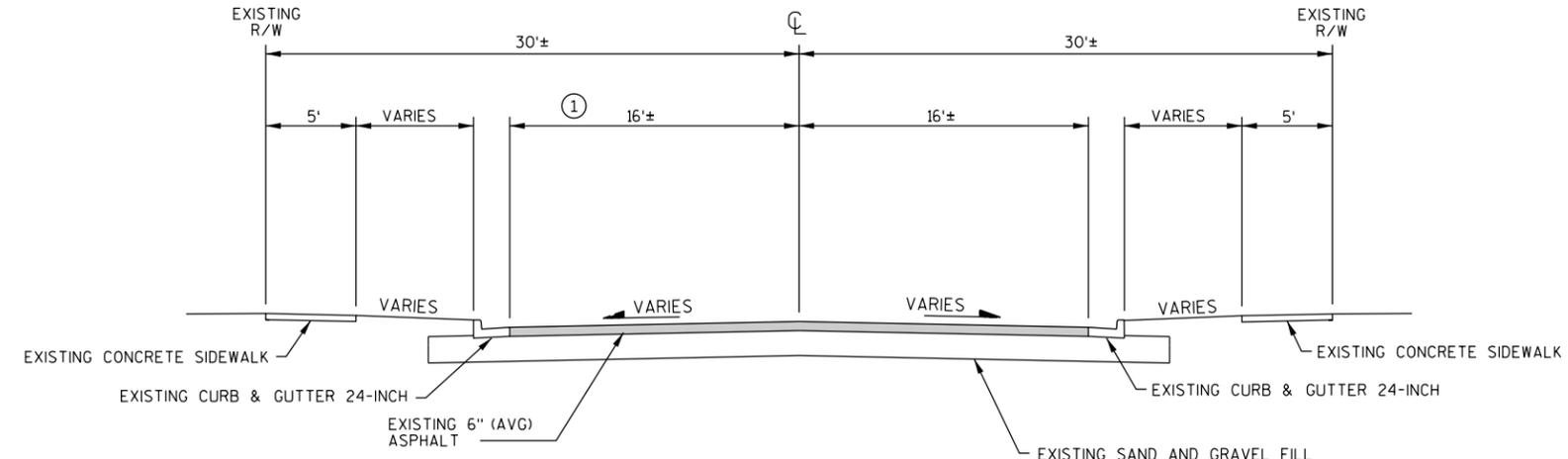
**TYPICAL EXISTING SECTION**

THOMAS STREET  
STA 15+50 - STA 16+50  
STA 18+15 - STA 22+80



**TYPICAL EXISTING SECTION**

THOMAS STREET  
STA 16+50 - STA 18+15  
STA 22+80 - STA 25+00



**TYPICAL EXISTING SECTION**

THOMAS STREET  
STA 25+00 - STA 49+00

① STA 49+00 - STA 49+85  
PAVEMENT VARIES FROM 16'-20'

TYPICAL SECTIONS

NO.	DATE	BY	CHK	DRN	DESCRIPTION

**AECOM**

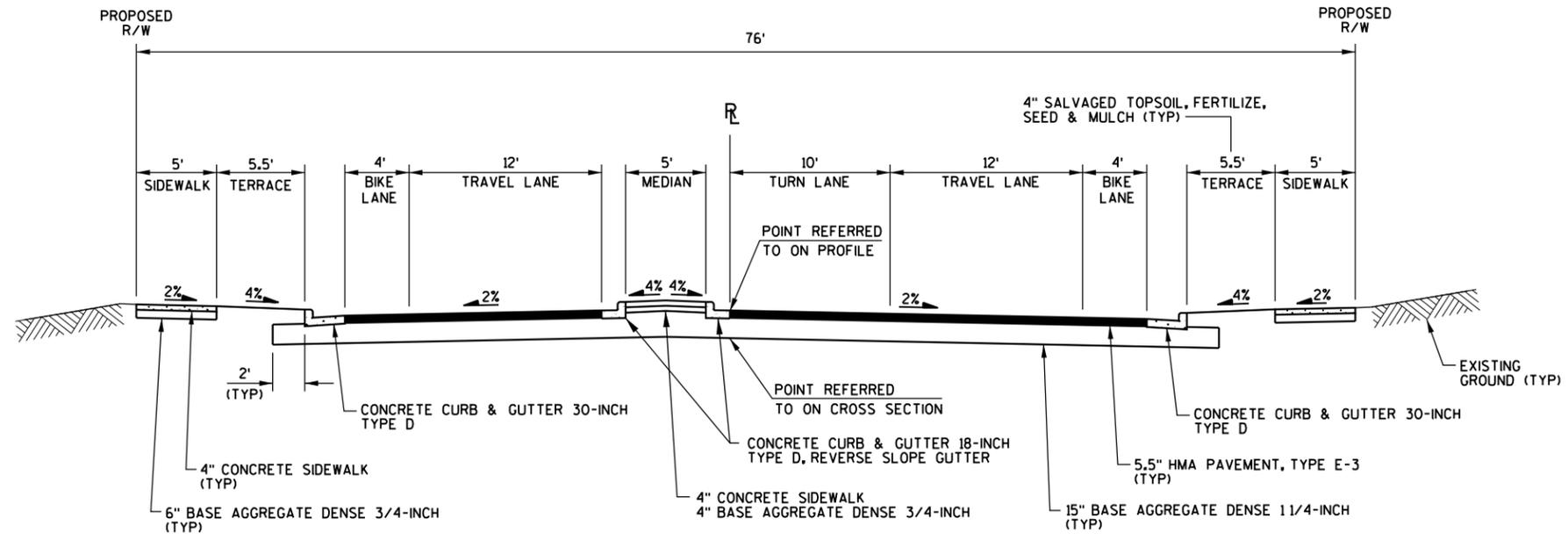
**CITY OF WAUSAU  
THOMAS ST (17TH AVE TO 4TH AVE)  
WAUSAU, WISCONSIN**

TYPICAL SECTIONS

PROJECT START DATE (M/Y)	XXXX 2015
PROJECT NO.	99979
FILENAME	\$[getvar, "dwgname"]
SHEET NO.	XX-Y-Z
DRAWING NO.	000

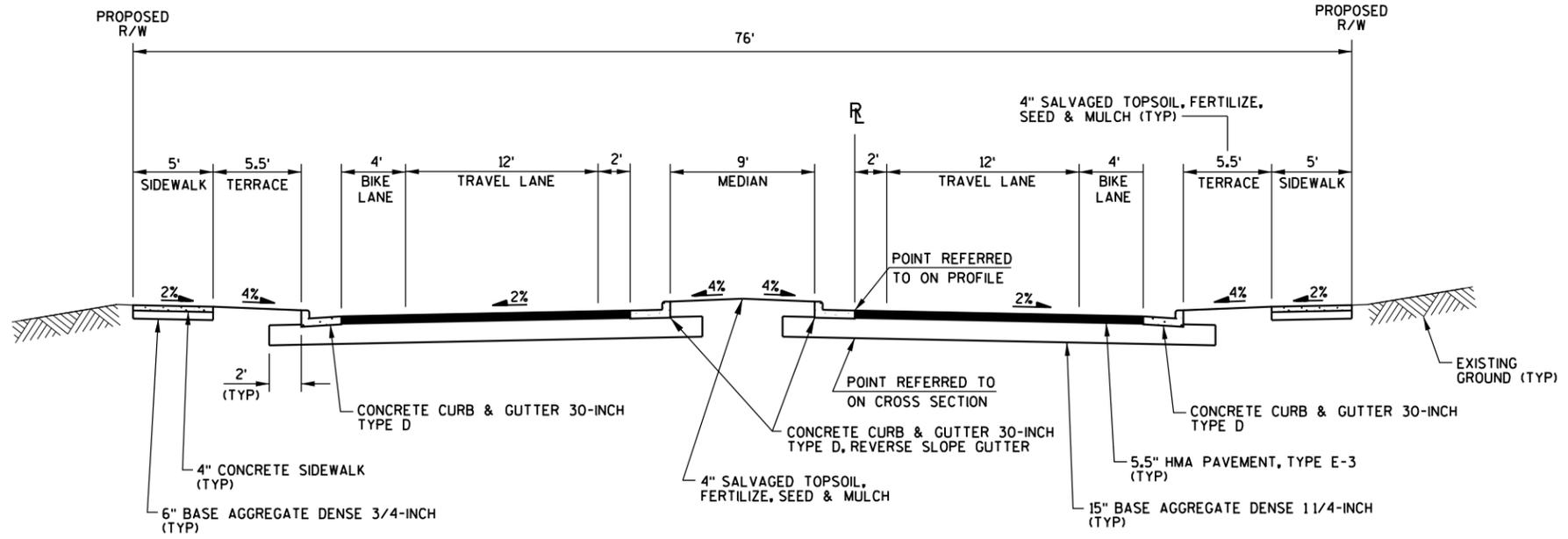
FILE NAME: L:\Work\Projects\99979\grd\020301.ts.dgn

FILE NAME: L:\Work\Projects\99979\grd\020305.tsdgn



**TYPICAL FINISHED SECTION**

THOMAS STREET  
STA XX+XX - STA XX+XX



**TYPICAL FINISHED SECTION**

THOMAS STREET  
STA XX+XX - STA XX+XX

NO.	DESCRIPTION	REV	CHK	DATE (M/D/Y)

DRN BY: ...  
DES BY: ...  
CHK BY: ...  
APP BY: ...

VERIFY SCALE IF PLAN SHEET IS REDUCED

1"=10'

**AECOM**

CITY OF WAUSAU  
THOMAS ST (17TH AVE TO 4TH AVE)  
WAUSAU, WISCONSIN

TYPICAL SECTIONS

PROJECT START DATE (M/Y)	XXXX 2015
PROJECT NO.	99979
FILENAME	\$[getvar, "dwgname"]
SHEET NO.	XX-Y-Z
DRAWING NO.	000

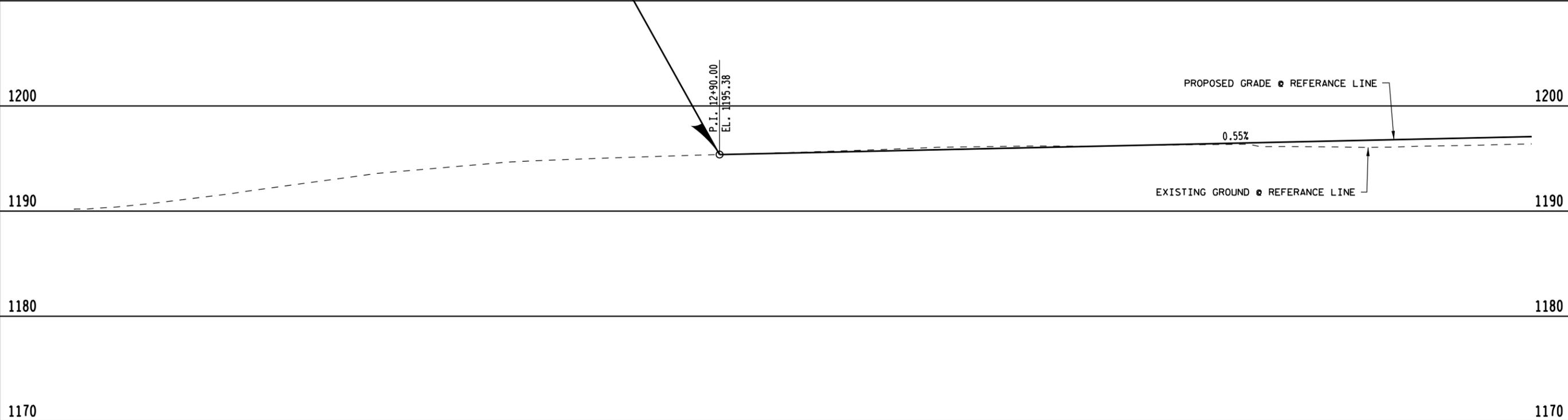
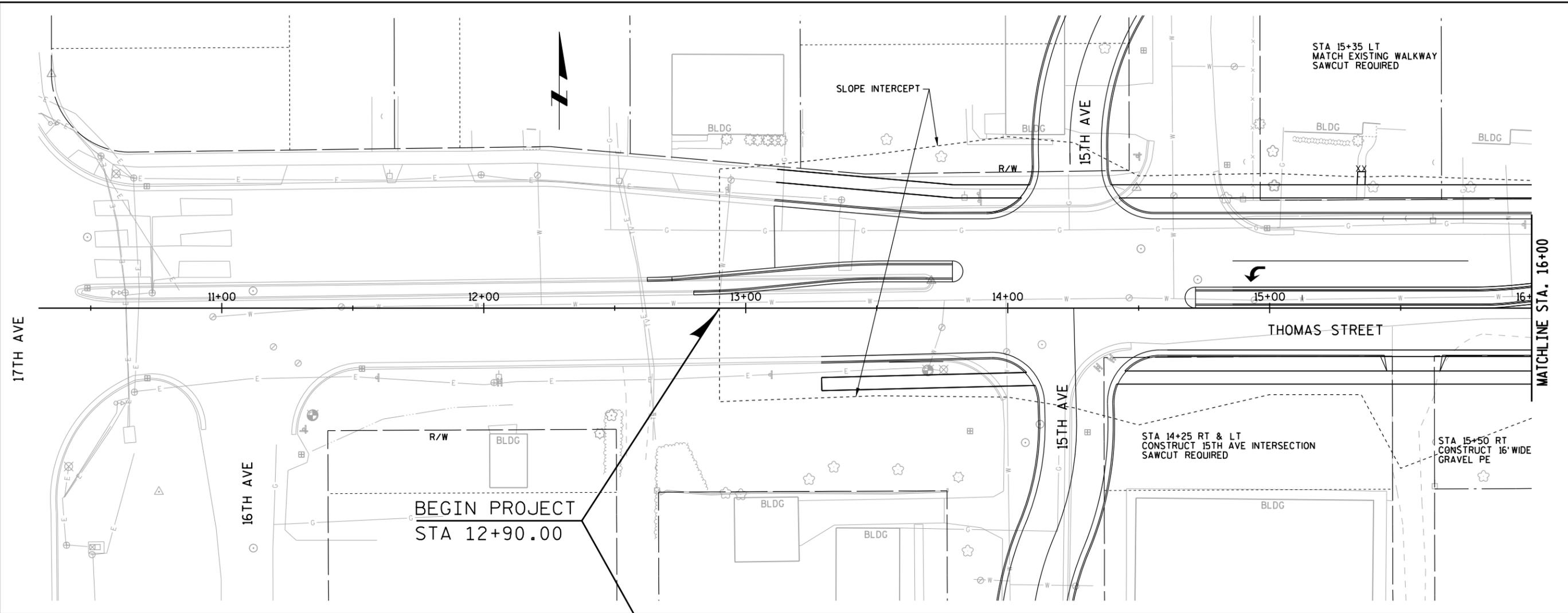






Plotted By: \$(getvar, "logname")  
 Plot File Date Created: \$(edtime, 0, MON)\$(getvar, "ctab")  
 Layout-Sheet Name: \$(upper, \$(getvar, "ctab"))  
 Filename: \$(upper, \$(getvar, "dwgprefix"))\$(getvar, "dwgname")

FILE NAME: L:\Work\Projects\99979\grd\050101\_pp.dgn



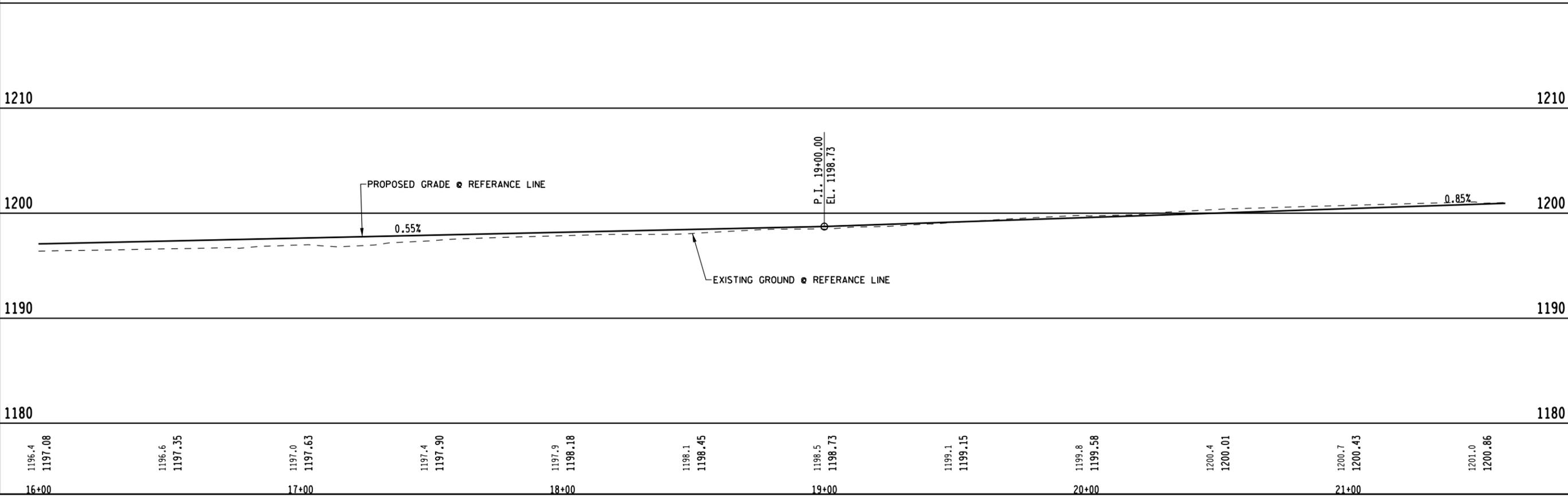
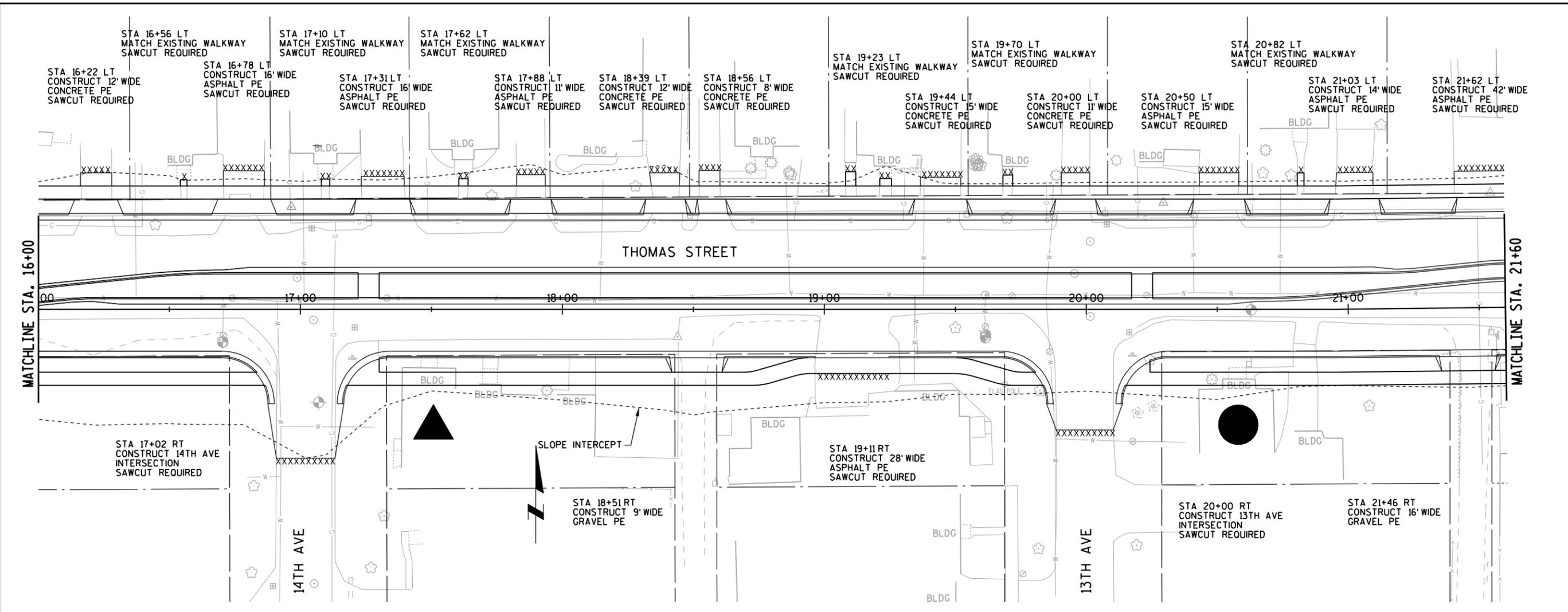
DRN BY:	DES BY:	CHK BY:	APP BY:	REV	DESCRIPTION	DRN	CHK	DATE (MDY)

**AECOM**

**CITY OF WAUSAU**  
**THOMAS ST (17TH AVE TO 4TH AVE)**  
**WAUSAU, WISCONSIN**  
 THOMAS STREET  
 PLAN AND PROFILE

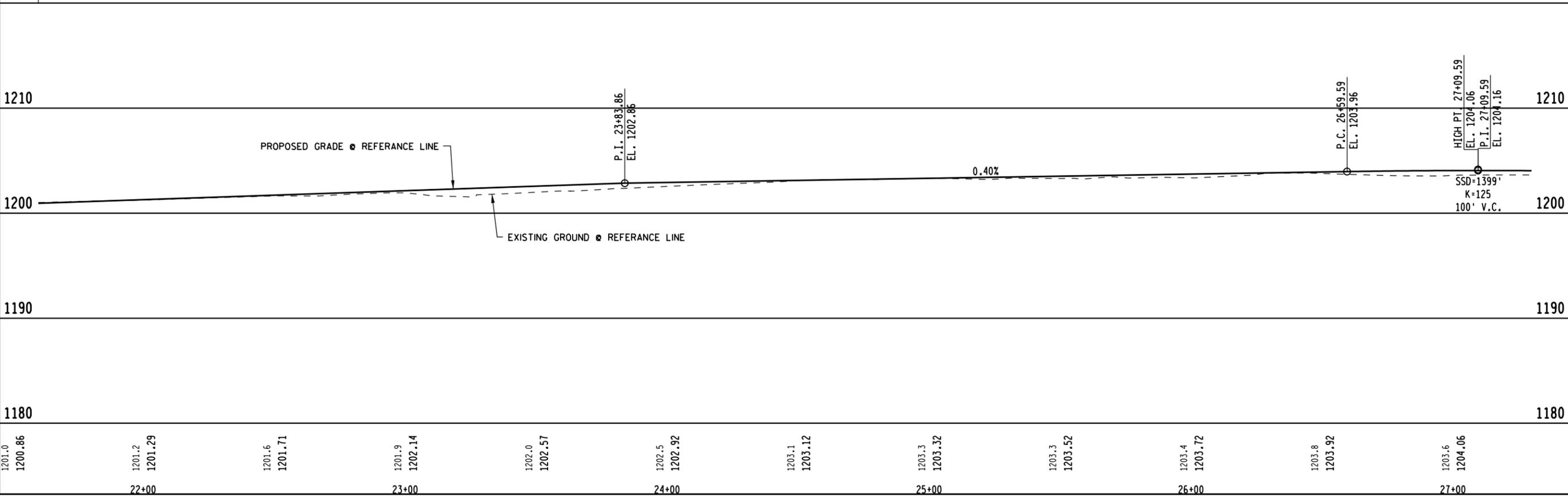
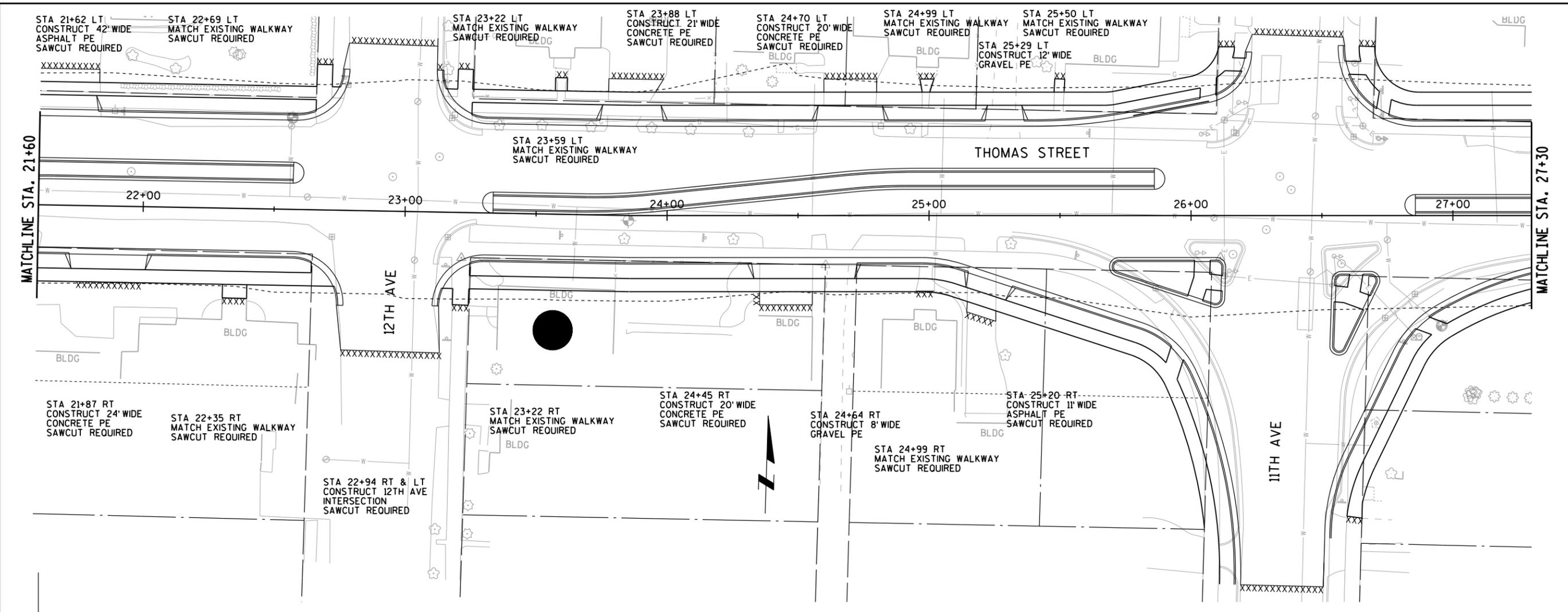
PROJECT START DATE (M/Y)	XXXX 2015
PROJECT NO.	99979
FILENAME	\$(getvar, "dwgname")
SHEET NO.	XX-Y-Z
DRAWING NO.	000

Plotted By: \$(getvar, "logname")  
 Plot File Date Created: \$(edtime, 0, MON, \$(getvar, "ctab"), AM / PM)  
 Layout - Sheet Name: \$(upper, \$(getvar, "ctab"))  
 Filename: \$(upper, \$(getvar, "dwgprefix"), \$(getvar, "dwgname"))  
 FILE NAME: L:\Work\Projects\99979\grd\050102.ppt.dgn



<p style="text-align: center;"><b>AECOM</b></p>		<p>PROJECT START DATE (M/Y)</p> <p>XXXX 2015</p>
		<p>PROJECT NO.</p> <p>99979</p>
<p>CITY OF WAUSAU          THOMAS ST (17TH AVE TO 4TH AVE)          WAUSAU, WISCONSIN</p>		<p>FILENAME</p> <p>\$(getvar, "dwgname")</p>
<p>THOMAS STREET          PLAN AND PROFILE</p>		<p>SHEET NO.</p> <p>XX-Y-Z</p>
<p>DRAWING NO.</p> <p>000</p>		<p>DATE (MDY)</p>

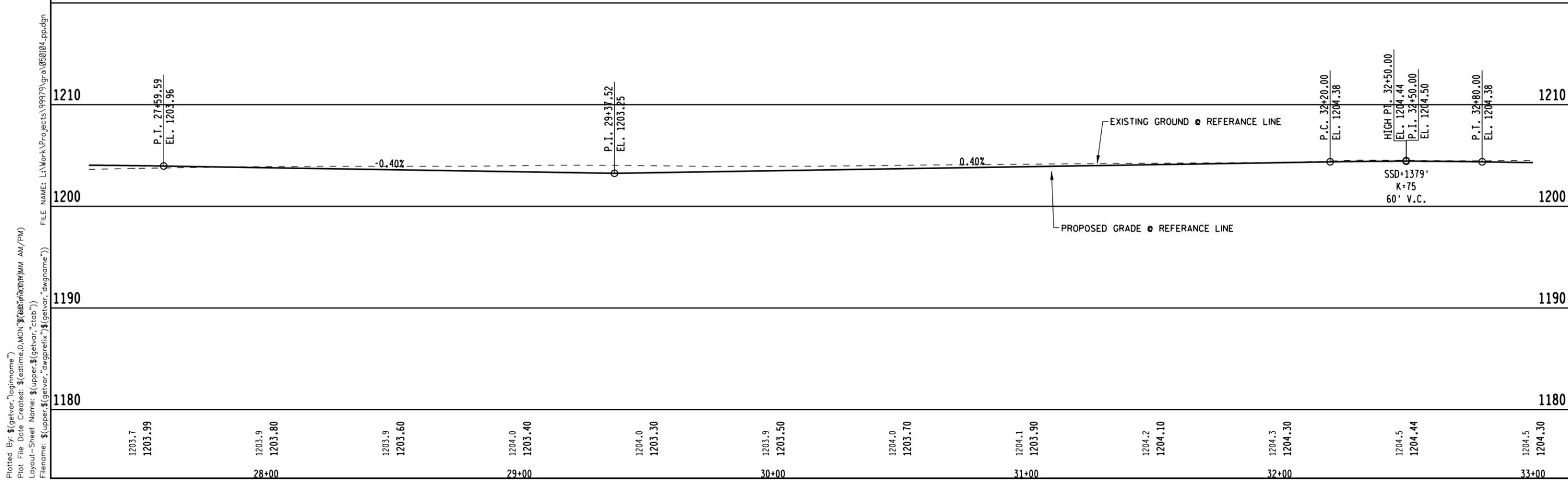
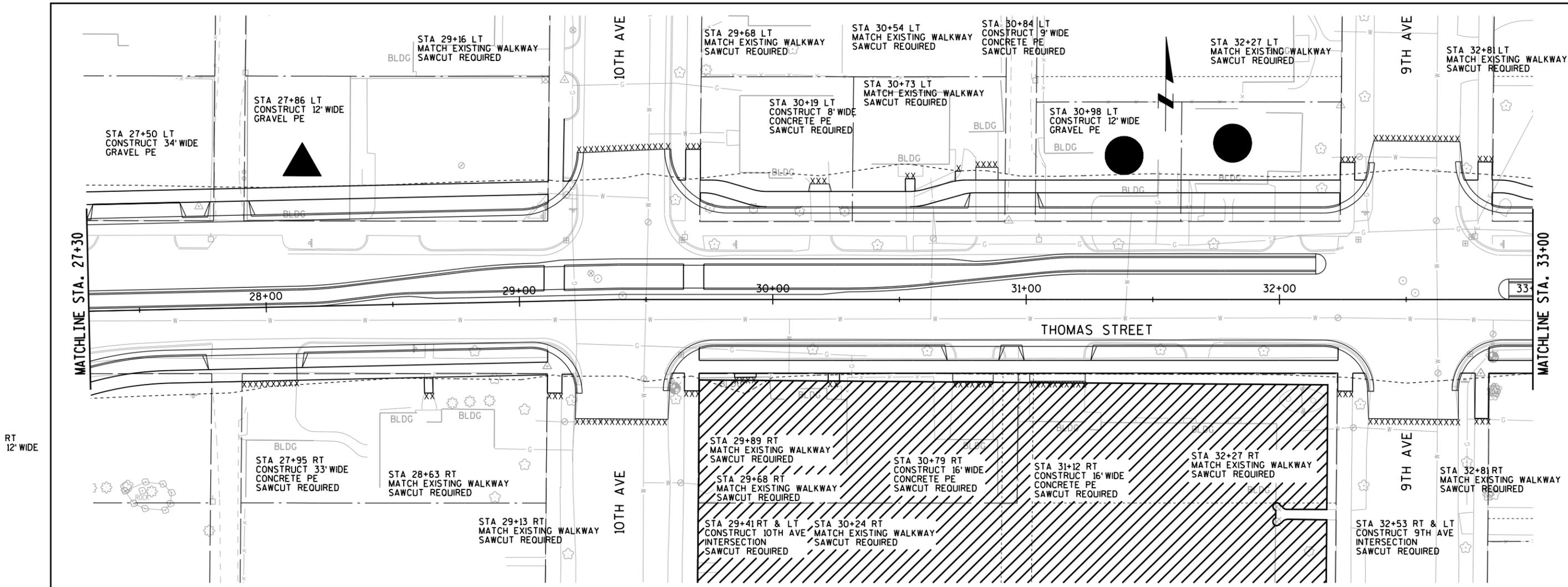
Plotted By: \$(getvar, "logname")  
 Plot File Date Created: \$(edtime, 0, MON) \$(getvar, "ctab") AM / PM  
 Layout - Sheet Name: \$(upper, \$(getvar, "ctab"))  
 Filename: \$(upper, \$(getvar, "dwgprefix")) \$(getvar, "dwgname")



DRN BY:	DES BY:	CHK BY:	APP BY:	REV	DESCRIPTION	DRN	CHK	DATE (MM/YY)

<b>AECOM</b>	
CITY OF WAUSAU THOMAS ST (17TH AVE TO 4TH AVE) WAUSAU, WISCONSIN	
THOMAS STREET PLAN AND PROFILE	
PROJECT START DATE (M/Y)	XXXX 2015
PROJECT NO.	99979
FILENAME	\$(getvar, "dwgname")
SHEET NO.	XX-Y-Z
DRAWING NO.	000



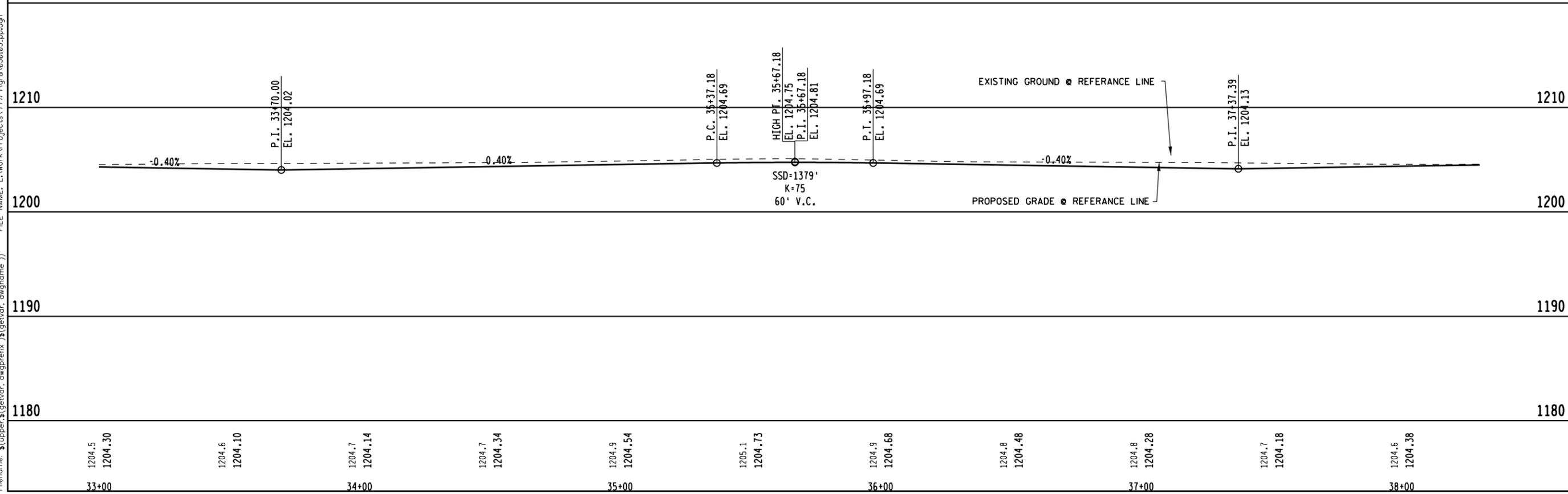
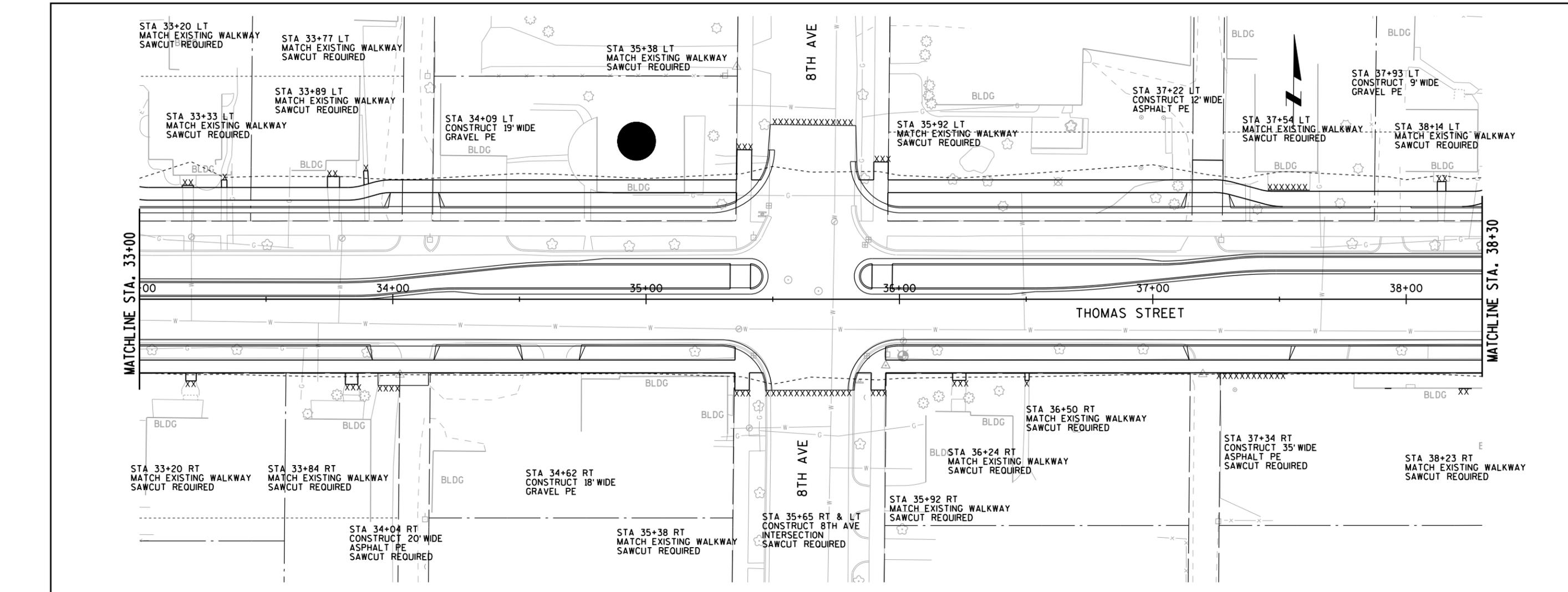
Plotted By: \$(getvar, 'logname')  
 Plot File Date Created: \$(edtime, 0, MON, \$(getvar, 'ctab'), AM / PM)  
 Layout - Sheet Name: \$(upper, \$(getvar, 'ctab'))  
 Filename: \$(upper, \$(getvar, 'dwgprefix'))\$(getvar, 'dwgname')

FILE NAME: L:\Work\Projects\99979\grd\050104.ppt.dgn

DRN BY:	DES BY:	CHK BY:	APP BY:	REV	DESCRIPTION	DRN	CHK	DATE (M/D/Y)

**AECOM**

<b>CITY OF WAUSAU</b>	
<b>THOMAS ST (17TH AVE TO 4TH AVE)</b>	
<b>WAUSAU, WISCONSIN</b>	
THOMAS STREET PLAN AND PROFILE	
PROJECT START DATE (M/Y)	XXXX 2015
PROJECT NO.	99979
FILENAME	\$(getvar, 'dwgname')
SHEET NO.	XX-Y-Z
DRAWING NO.	000

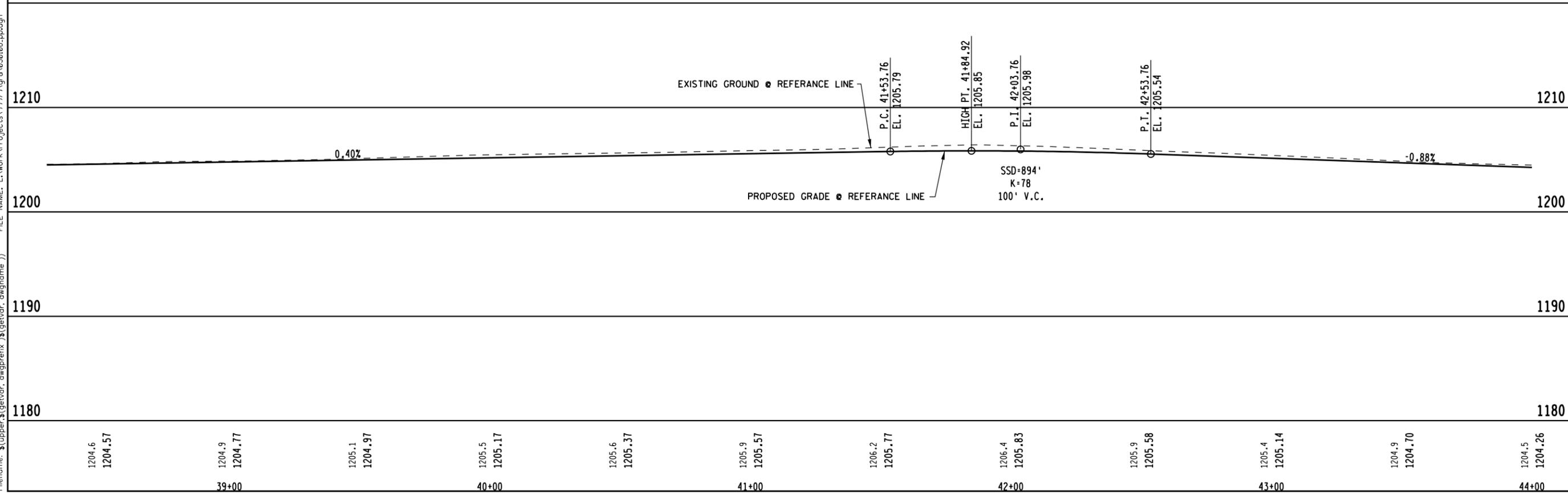
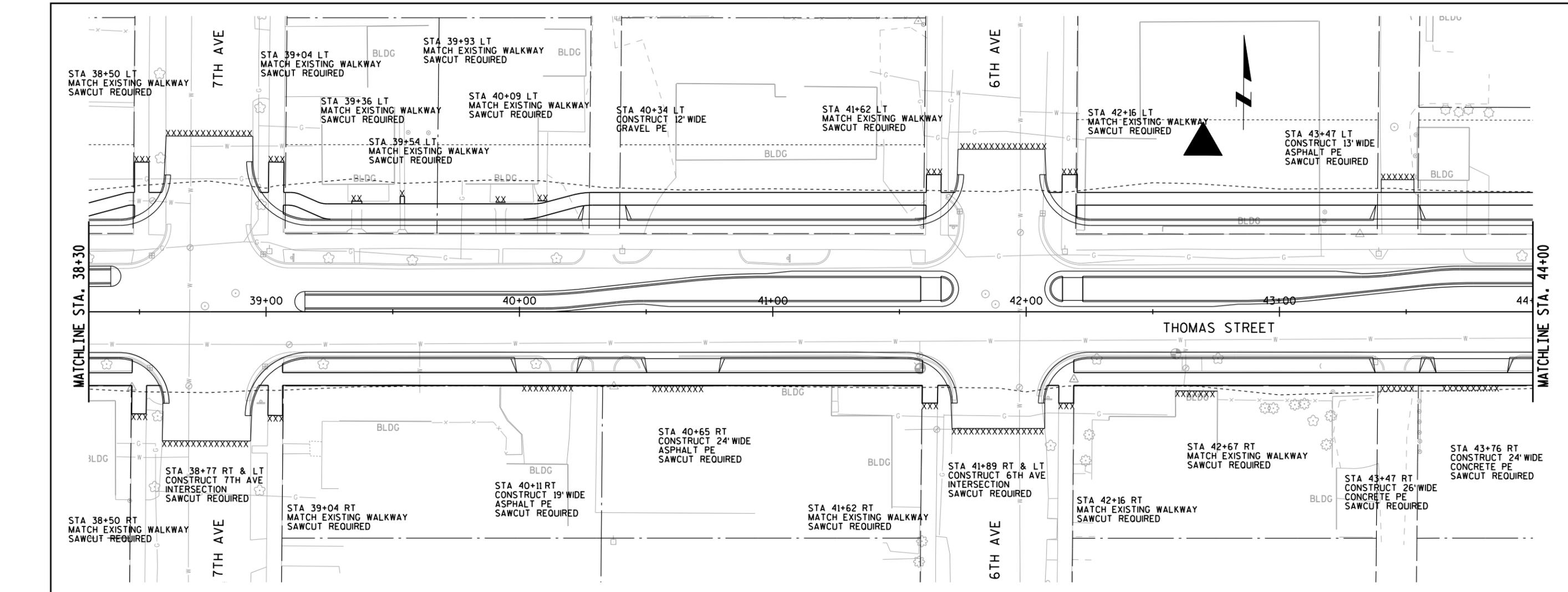


Plotted By: \$(getvar, "logname")  
 Plot File Date Created: \$(edtime, 0, MON, \$(getvar, "ctab"), AM/PM)  
 Layout-Sheet Name: \$(upper, \$(getvar, "ctab"))  
 Filename: \$(upper, \$(getvar, "dwgprefix"), \$(getvar, "dwgname"))  
 FILE NAME: L:\Work\Projects\99979\grd\050105.ppt.dgn

DRN BY:	DES BY:	CHK BY:	APP BY:	REV	DESCRIPTION	DRN	CHK	DATE (M/D/Y)

**AECOM**

<b>CITY OF WAUSAU</b>	
<b>THOMAS ST (17TH AVE TO 4TH AVE)</b>	
<b>WAUSAU, WISCONSIN</b>	
THOMAS STREET PLAN AND PROFILE	
PROJECT START DATE (M/Y)	XXXX 2015
PROJECT NO.	99979
FILENAME	\$(getvar, "dwgname")
SHEET NO.	XX-Y-Z
DRAWING NO.	000

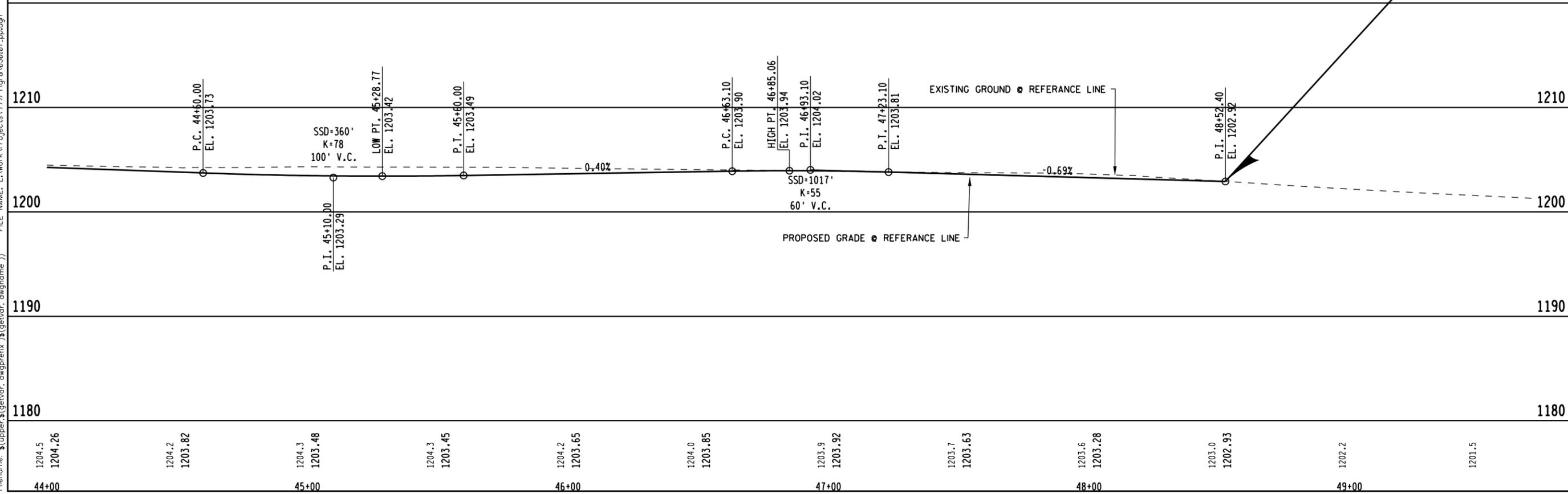
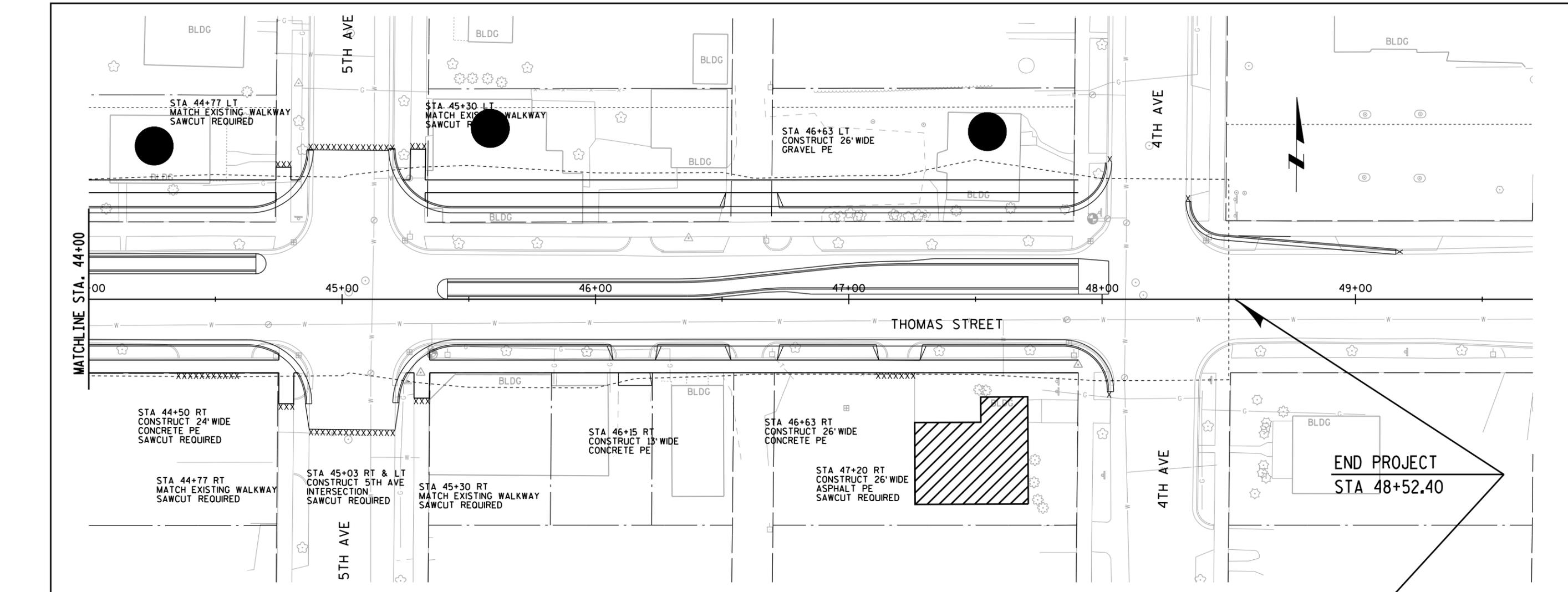


Plotted By: \$(getvar, "logname")  
 Plot File Date Created: \$(edtime, 0, MON, \$(getvar, "ctab"), AM / PM)  
 Layout - Sheet Name: \$(upper, \$(getvar, "ctab"))  
 Filename: \$(upper, \$(getvar, "dwgprefix"), \$(getvar, "dwgname"))  
 FILE NAME: L:\Work\Projects\99979\grd\0510106.ppd.dgn

DRN BY:	DES BY:	CHK BY:	APP BY:	REV	DESCRIPTION	DRN	CHK	DATE (M/D/Y)



CITY OF WAUSAU THOMAS ST (17TH AVE TO 4TH AVE) WAUSAU, WISCONSIN	
THOMAS STREET PLAN AND PROFILE	
PROJECT START DATE (M/Y)	XXXX 2015
PROJECT NO.	99979
FILENAME	\$(getvar, "dwgname")
SHEET NO.	XX-Y-Z
DRAWING NO.	000



Plotted By: \$(getvar, "logname")  
 Plot File Date Created: \$(edtime, 0, MON, \$(getvar, "ctab"), AM / PM)  
 Layout-Sheet Name: \$(upper, \$(getvar, "ctab"))  
 Filename: \$(upper, \$(getvar, "dgnprefix"), \$(getvar, "dgnname"))  
 FILE NAME: L:\Work\Projects\99979\grd\050107.ppdgn

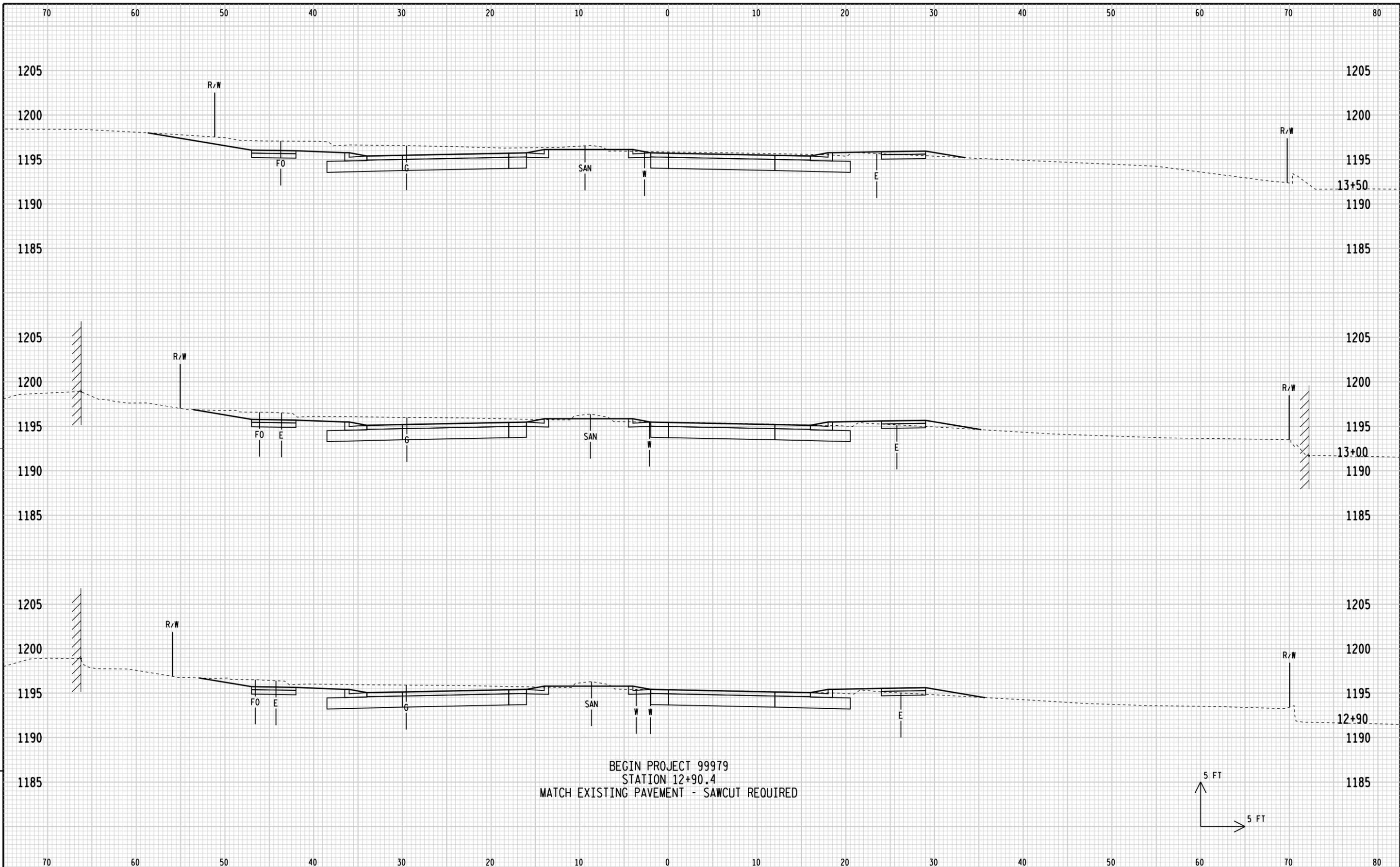
1204.5 1204.26	1204.2 1203.82	1204.3 1203.48	1204.3 1203.45	1204.2 1203.65	1204.0 1203.85	1203.9 1203.92	1203.7 1203.63	1203.6 1203.28	1203.0 1202.93	1202.2	1201.5
44+00		45+00		46+00		47+00		48+00		49+00	

DRN BY:	DES BY:	CHK BY:	APP BY:	REV	DESCRIPTION

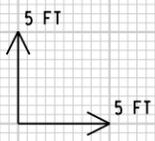
**AECOM**

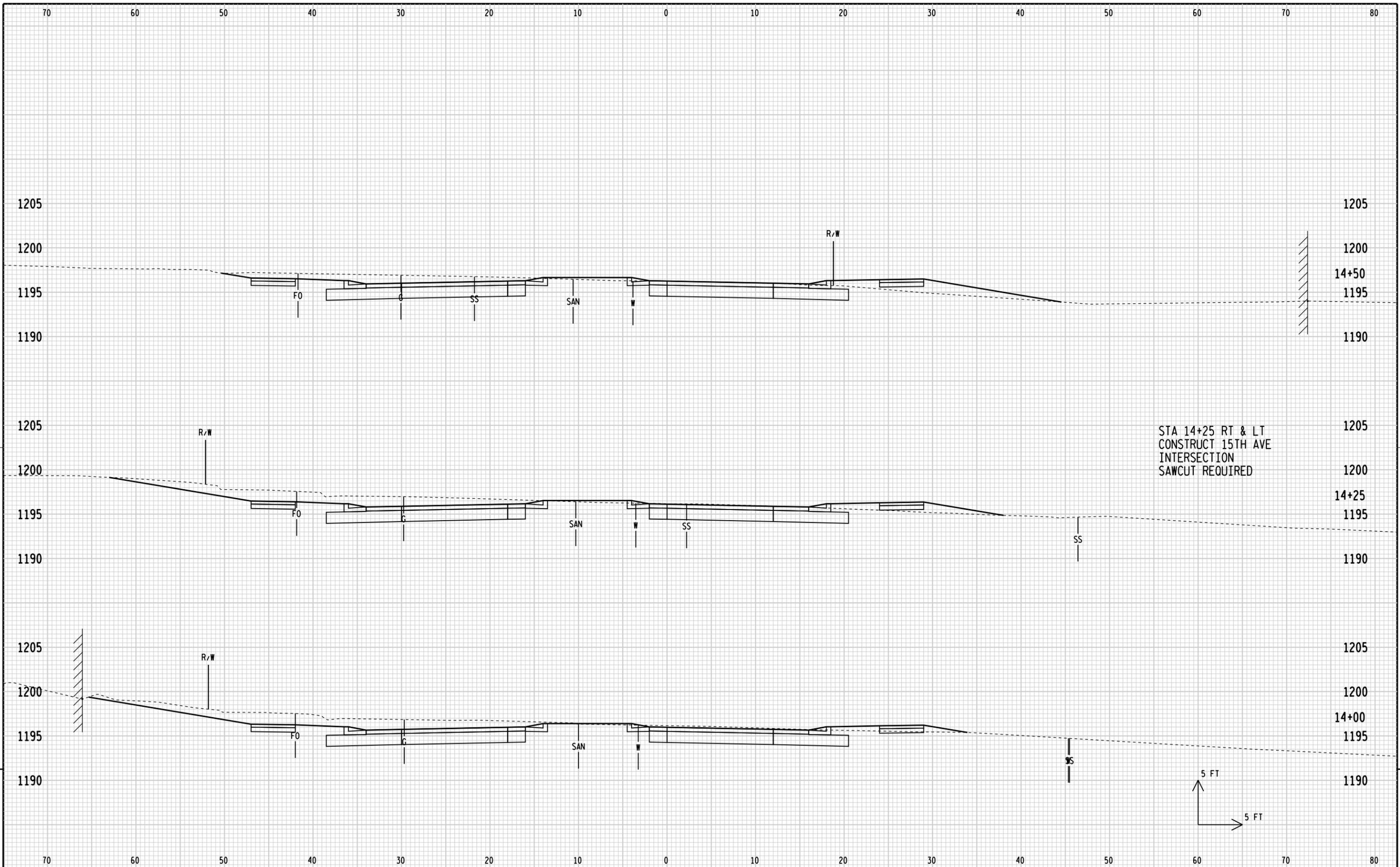
CITY OF WAUSAU THOMAS ST (17TH AVE TO 4TH AVE) WAUSAU, WISCONSIN	
THOMAS STREET PLAN AND PROFILE	
PROJECT START DATE (M/Y)	XXXX 2015
PROJECT NO.	99979
FILENAME	\$(getvar, "dgnname")
SHEET NO.	XX-Y-Z
DRAWING NO.	000



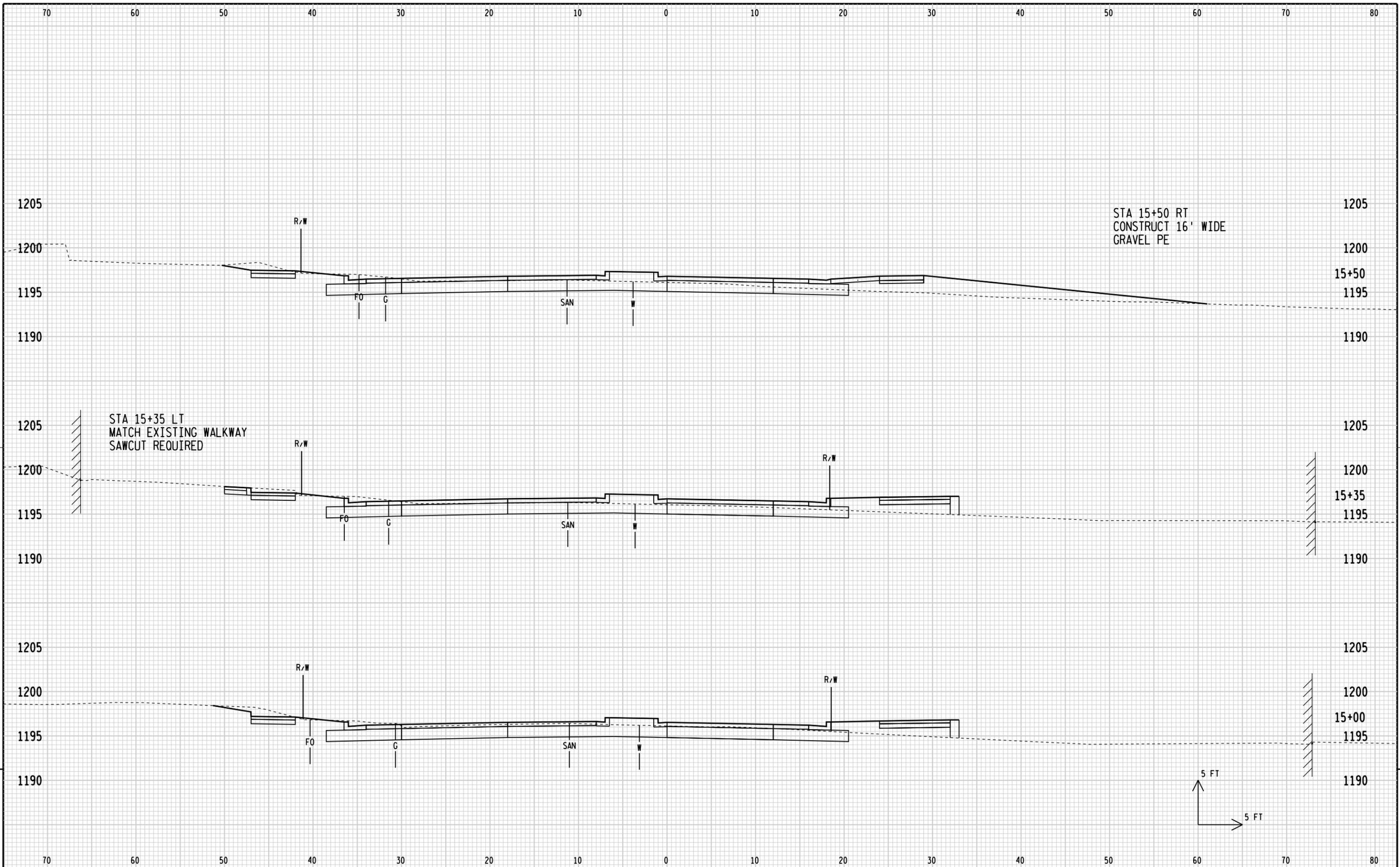


BEGIN PROJECT 99979  
 STATION 12+90.4  
 MATCH EXISTING PAVEMENT - SAWCUT REQUIRED





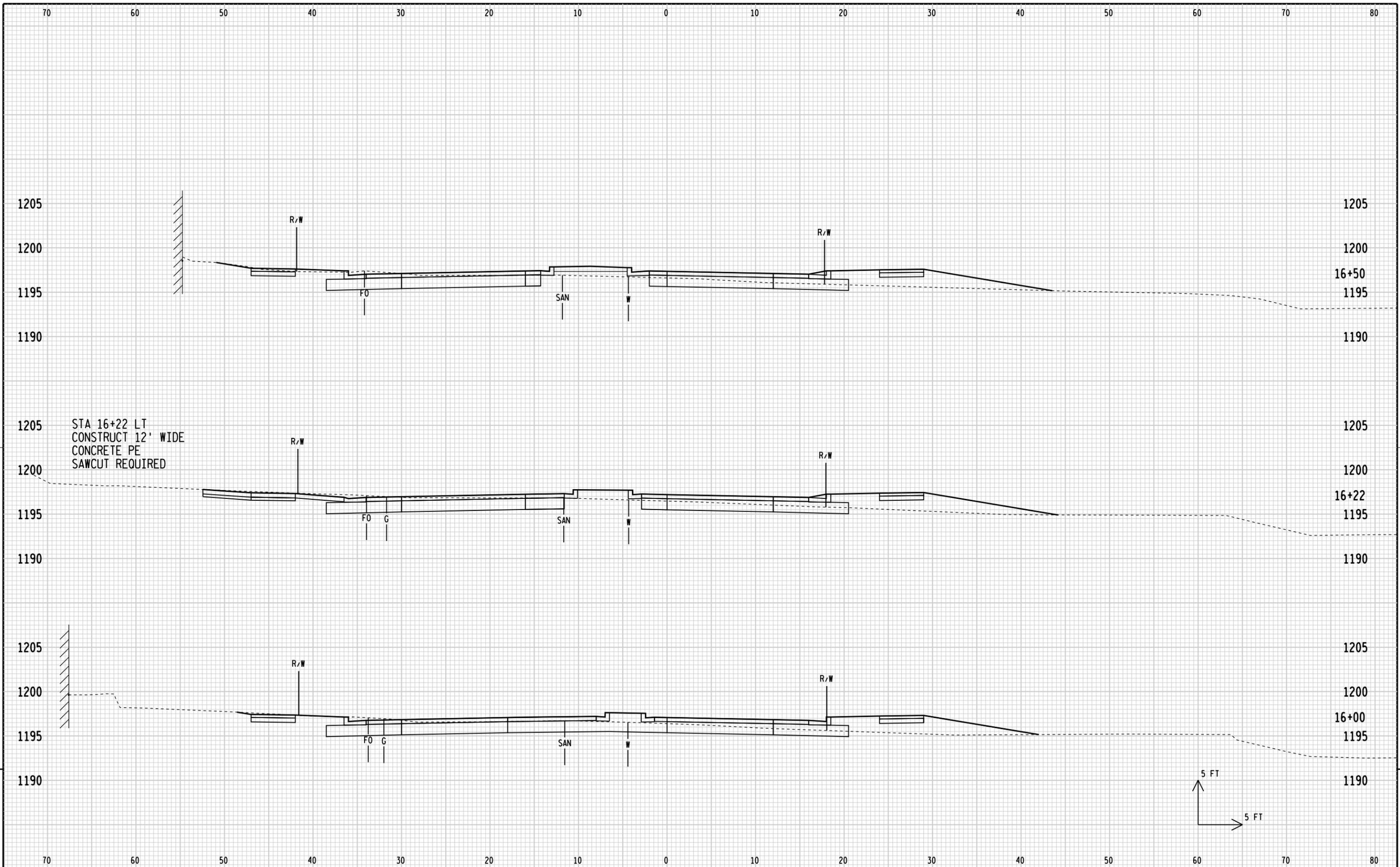
AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
SHEET			<b>E</b>



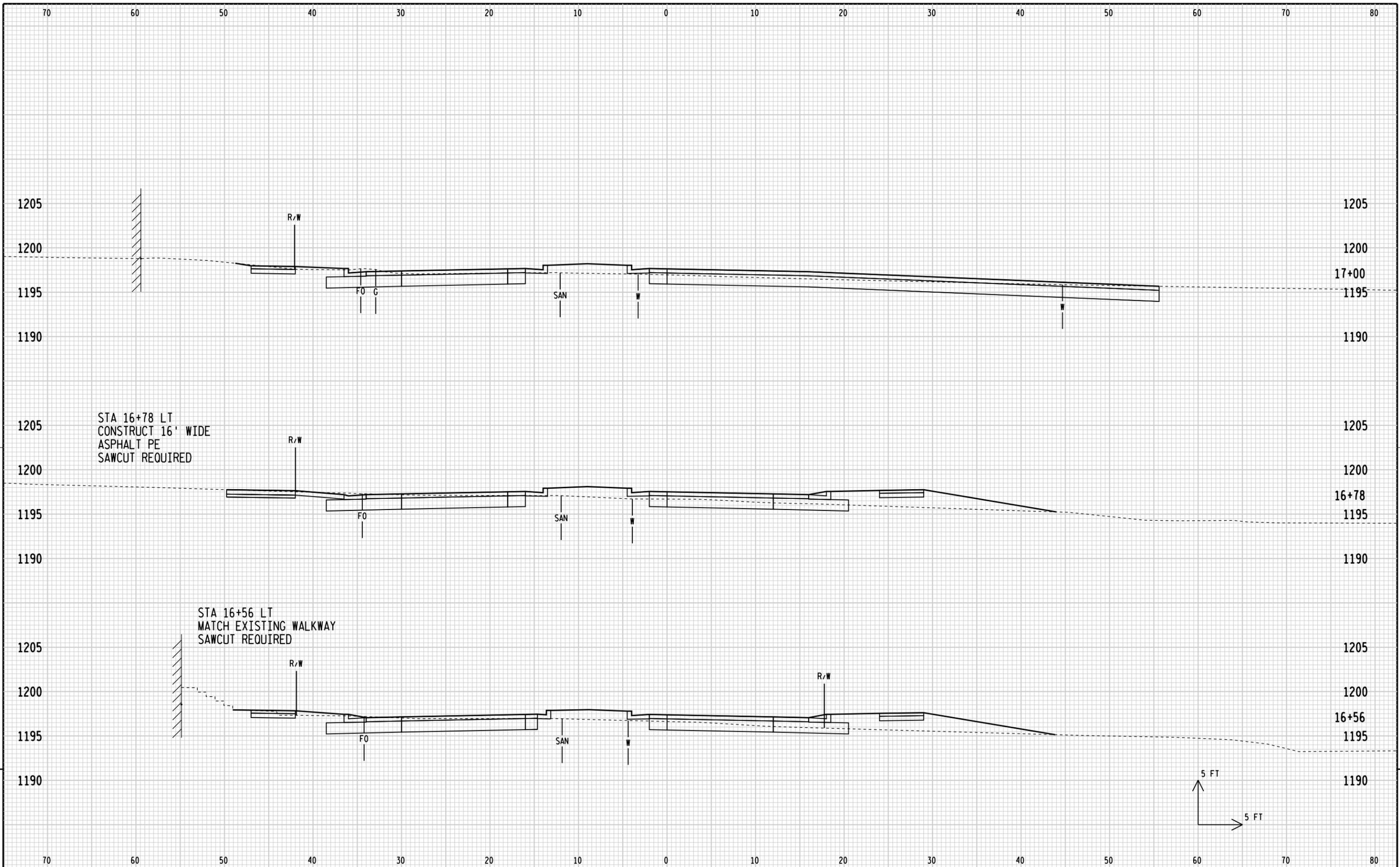
STA 15+50 RT  
CONSTRUCT 16' WIDE  
GRAVEL PE

STA 15+35 LT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

AECOM PROJECT NUMBER: 99979 | HWY: THOMAS STREET | COUNTY: MARATHON | CROSS SECTIONS: THOMAS STREET | SHEET | E

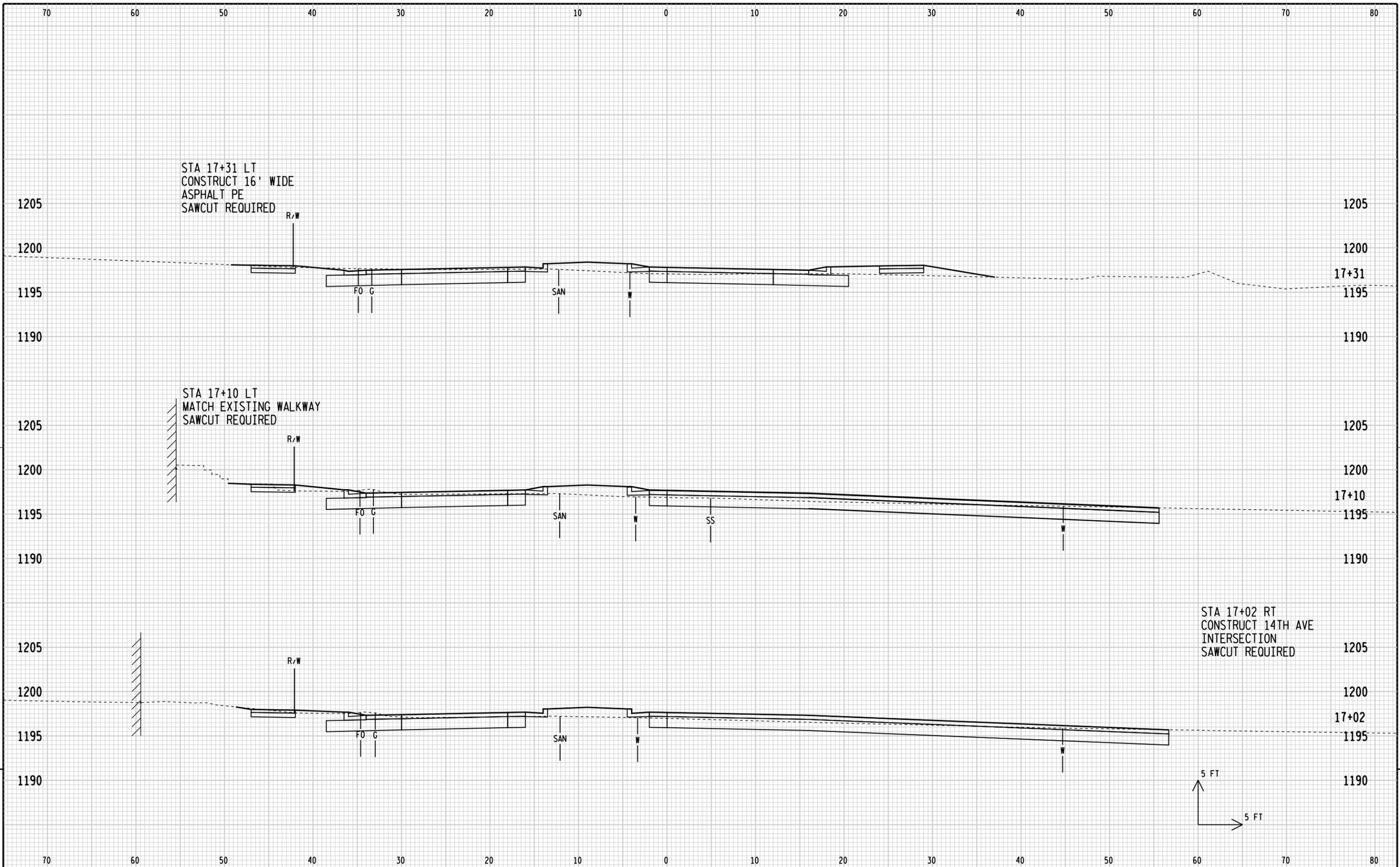


AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
SHEET			<b>E</b>



STA 16+78 LT  
CONSTRUCT 16' WIDE  
ASPHALT PE  
SAWCUT REQUIRED

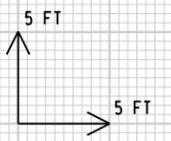
STA 16+56 LT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED



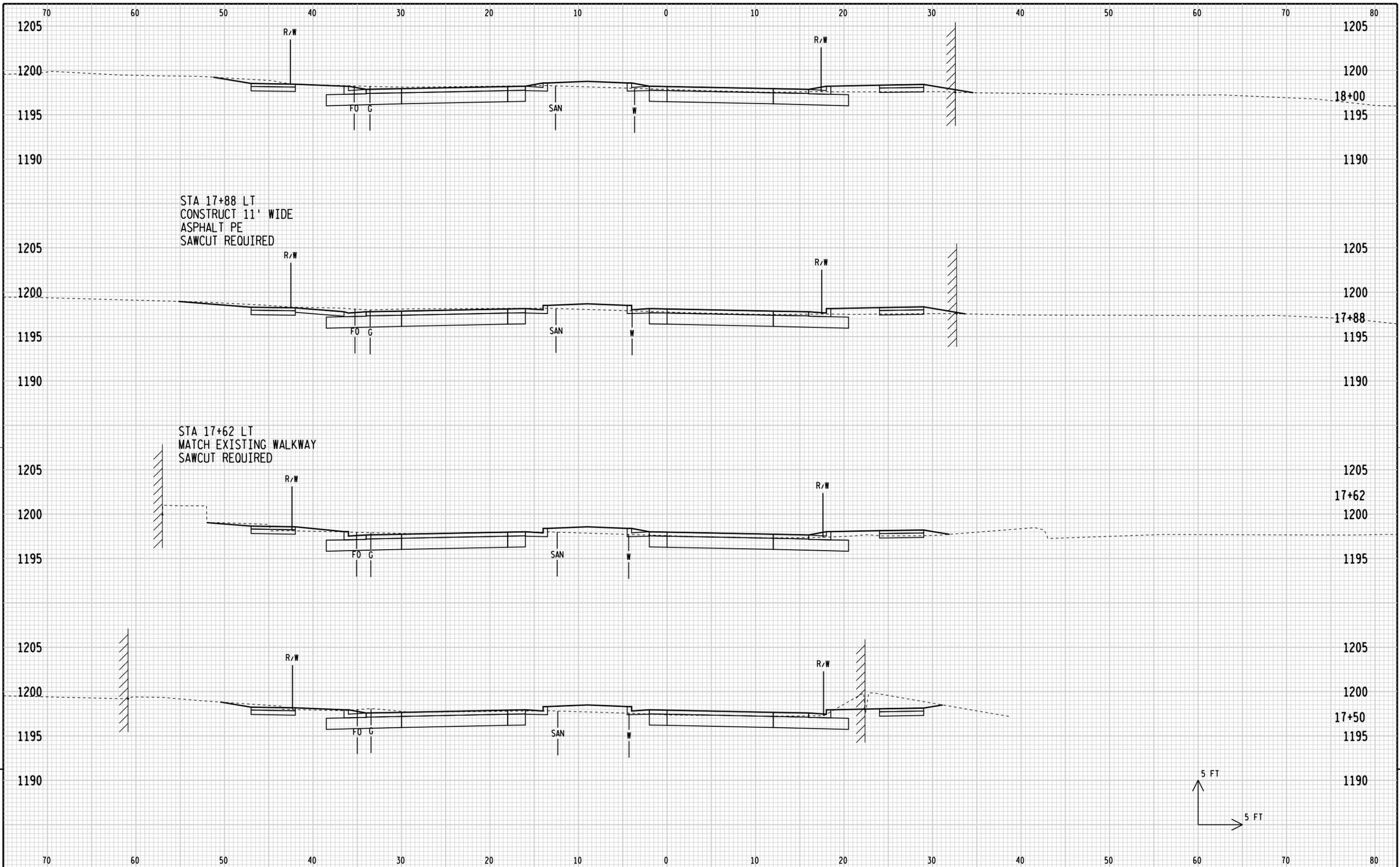
STA 17+31 LT  
 CONSTRUCT 16' WIDE  
 ASPHALT PE  
 SAWCUT REQUIRED

STA 17+10 LT  
 MATCH EXISTING WALKWAY  
 SAWCUT REQUIRED

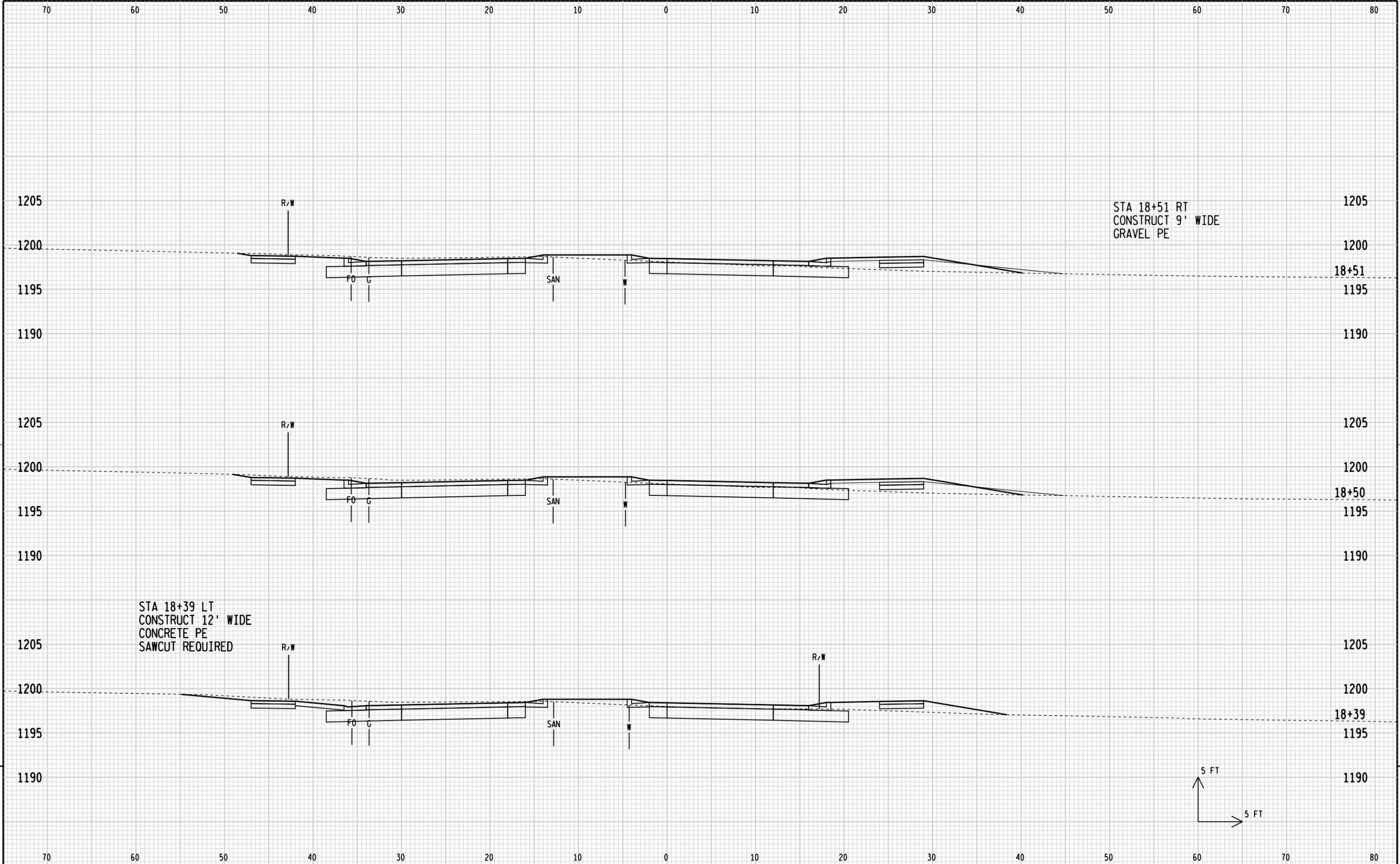
STA 17+02 RT  
 CONSTRUCT 14TH AVE  
 INTERSECTION  
 SAWCUT REQUIRED



AECOM PROJECT NUMBER: 99979      HWY: THOMAS STREET      COUNTY: MARATHON      CROSS SECTIONS: THOMAS STREET      SHEET      E



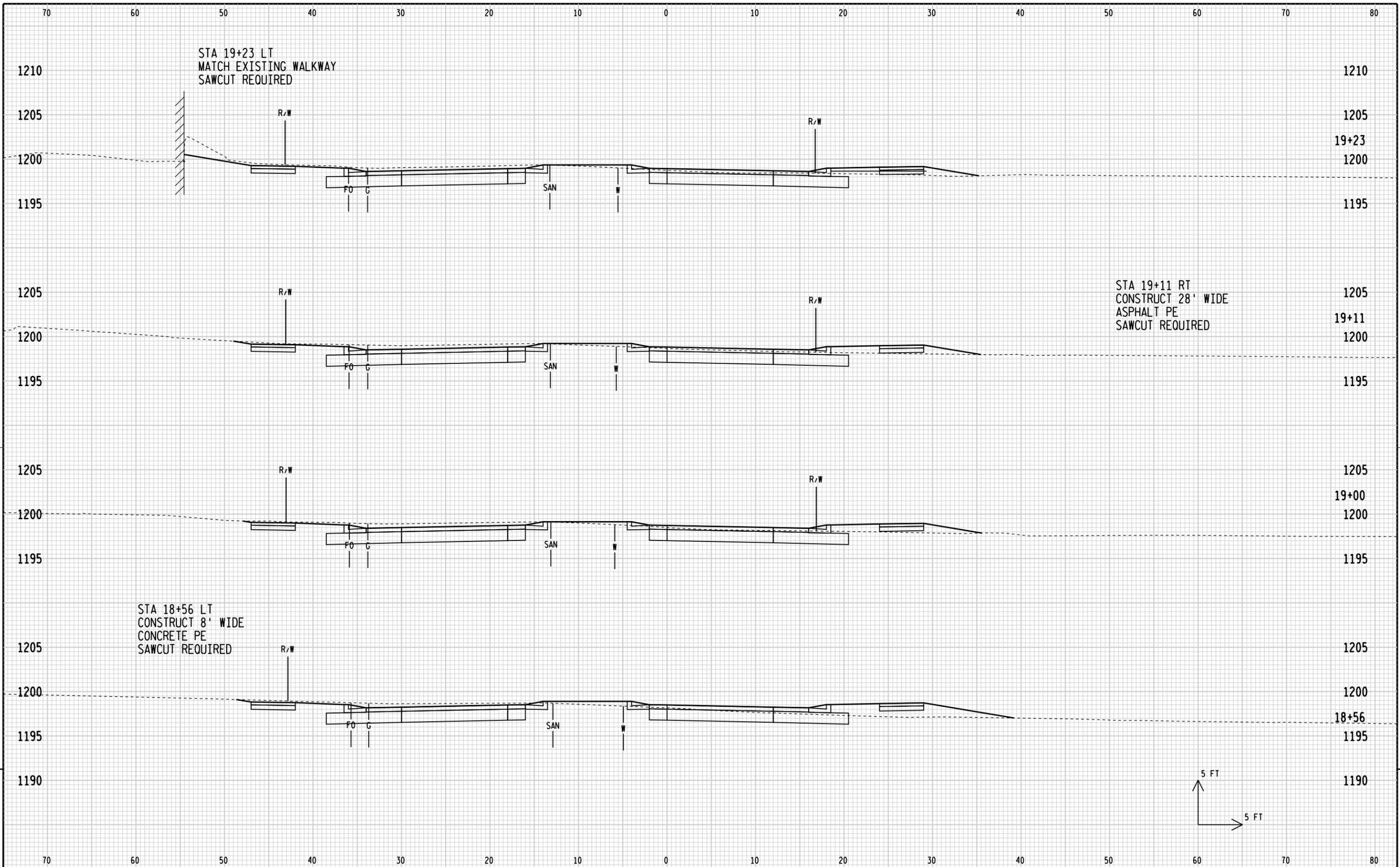
AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
			SHEET <b>9</b>



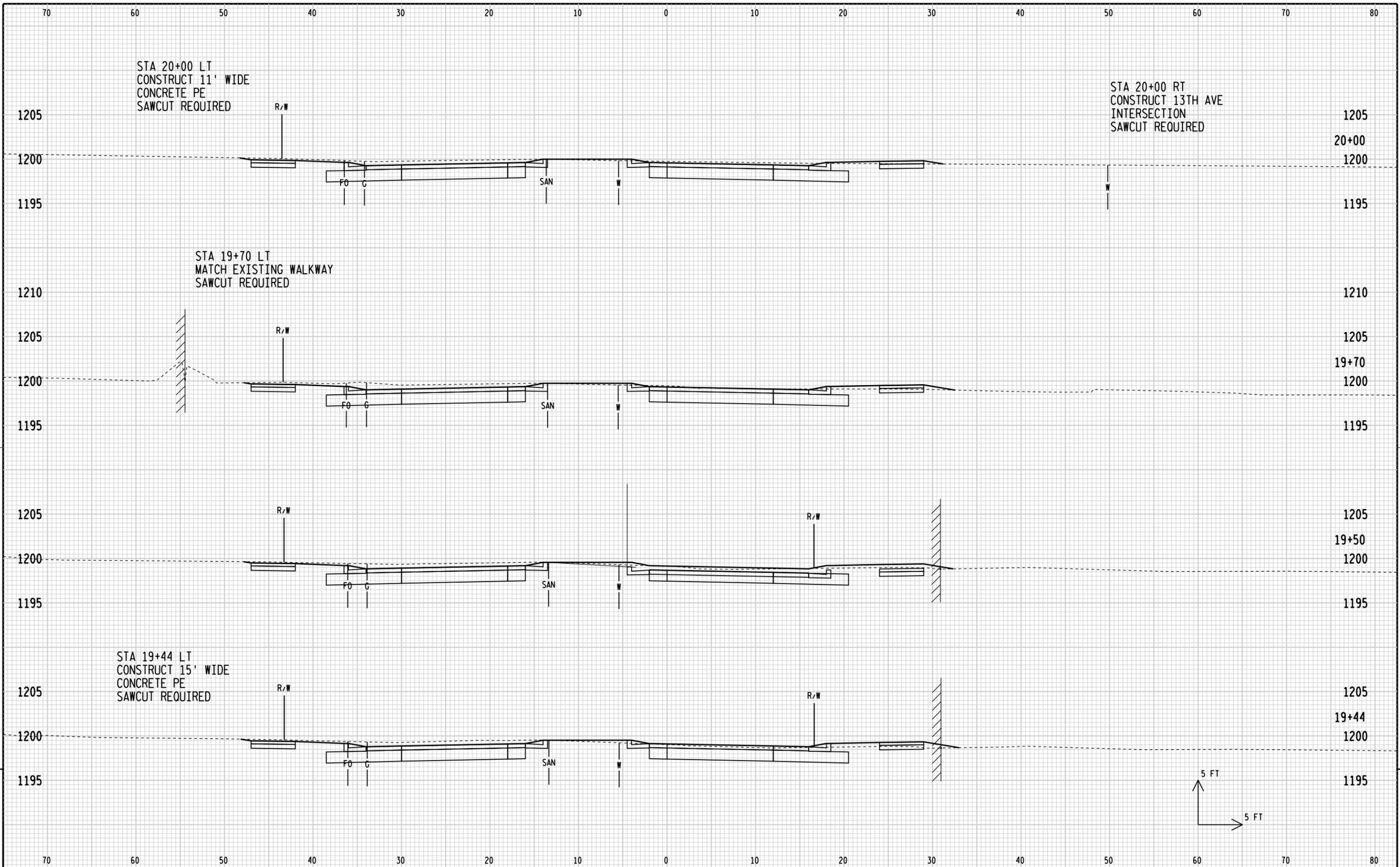
STA 18+51 RT  
 CONSTRUCT 9' WIDE  
 GRAVEL PE

STA 18+39 LT  
 CONSTRUCT 12' WIDE  
 CONCRETE PE  
 SAWCUT REQUIRED

AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---

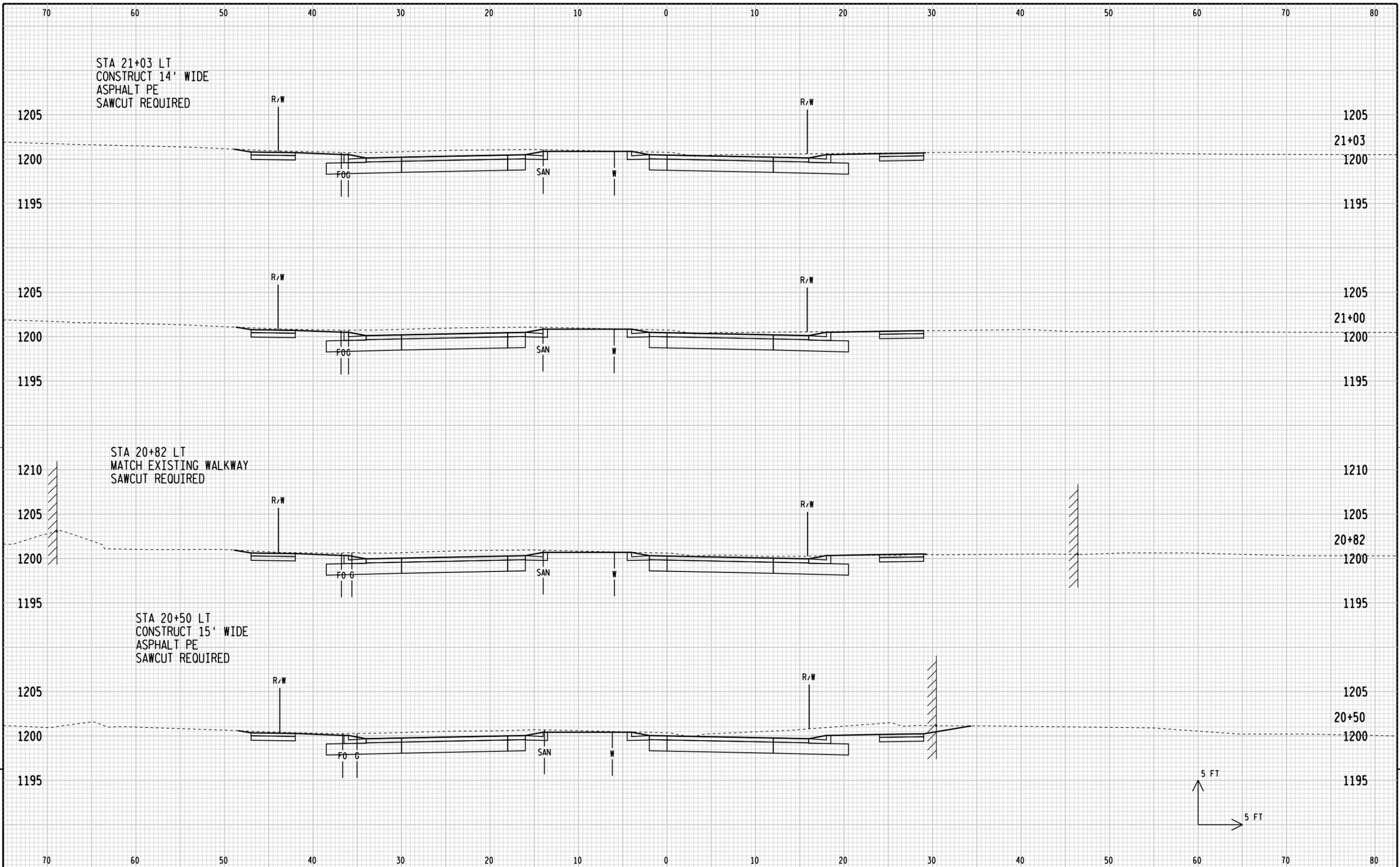


AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
			SHEET <b>9</b>

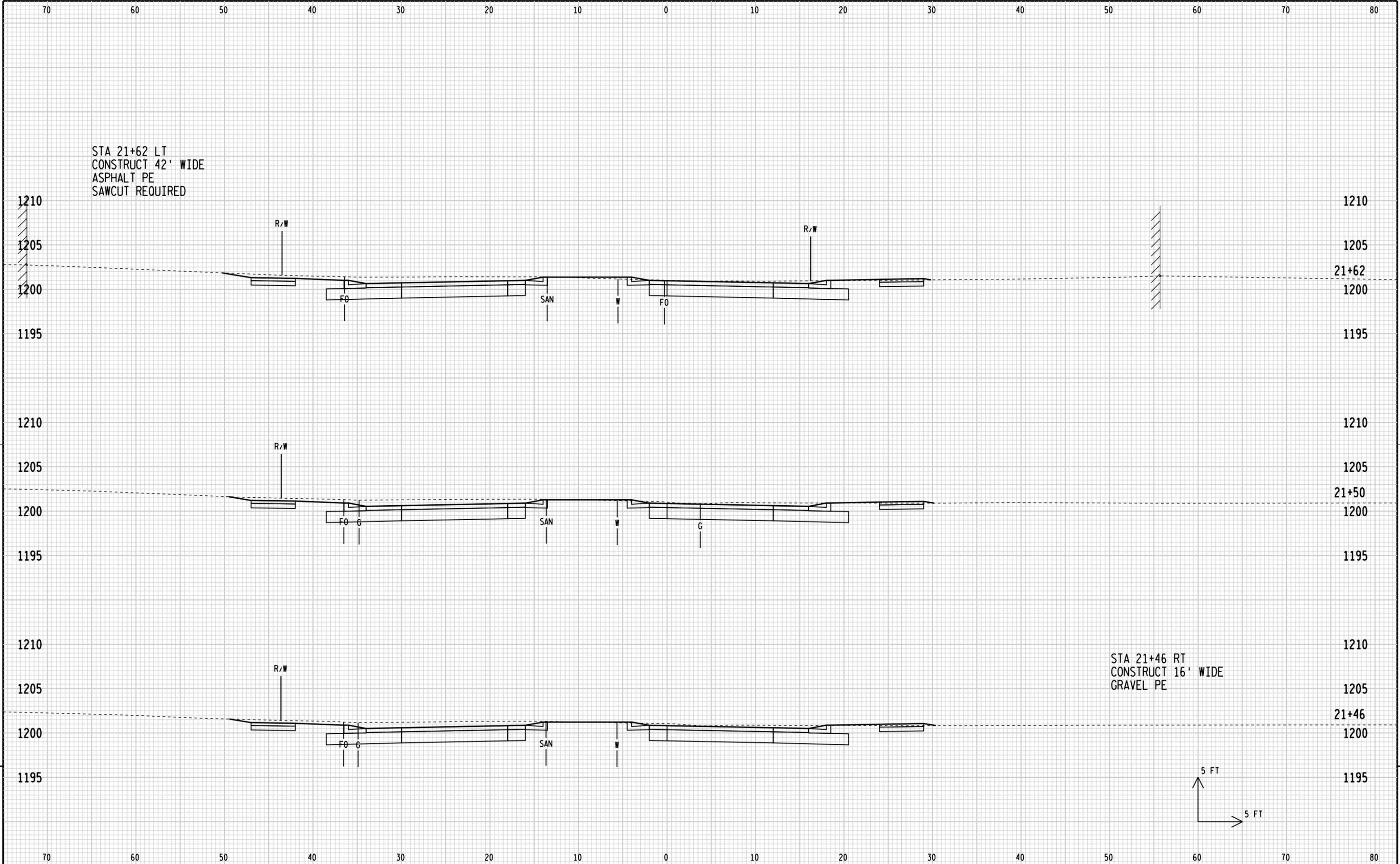


9

AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
SHEET			<b>E</b>

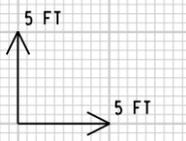


AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---

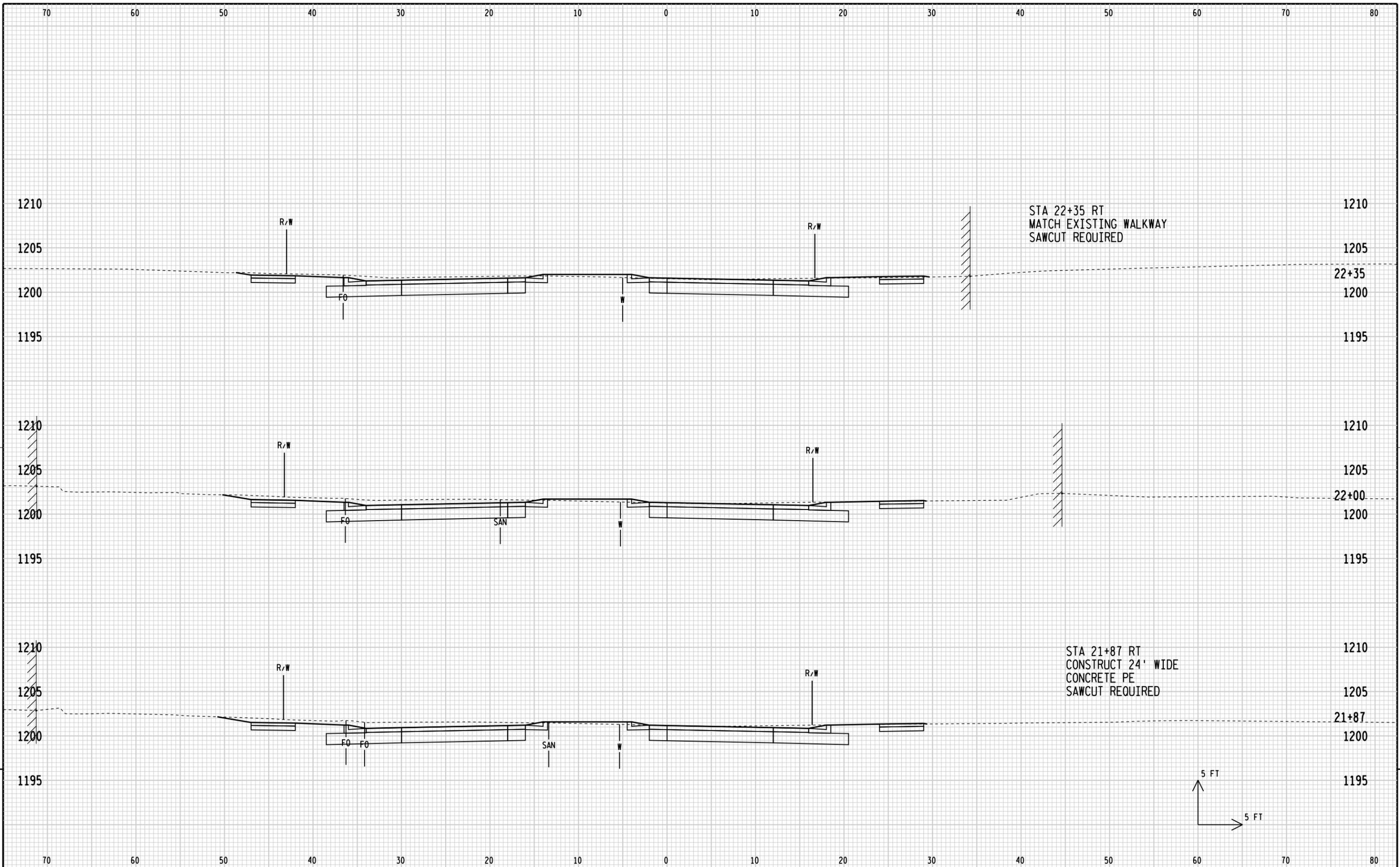


9

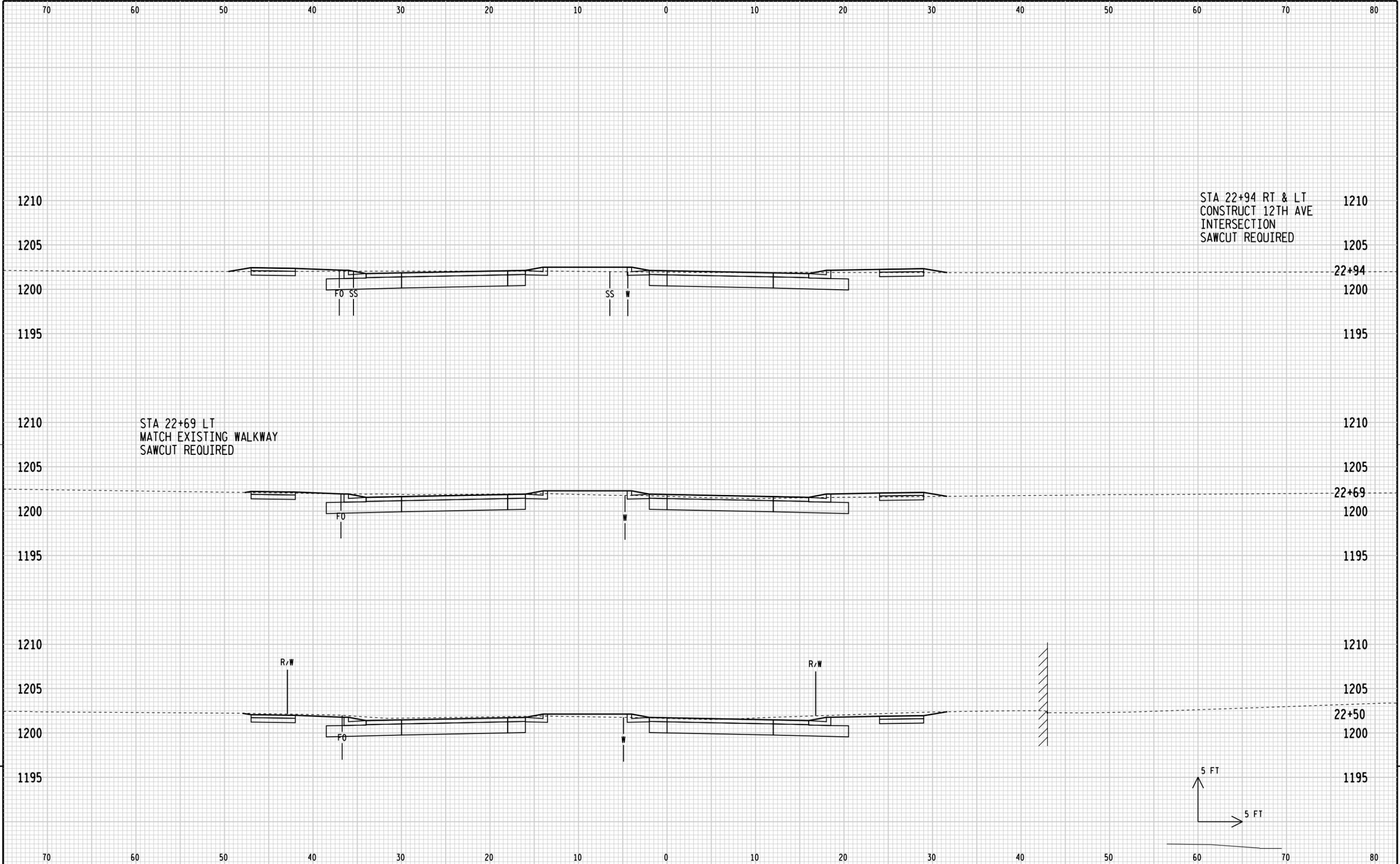
9



AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
SHEET			<b>E</b>

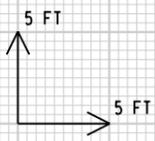


STA 22+94 RT & LT  
 CONSTRUCT 12TH AVE  
 INTERSECTION  
 SAWCUT REQUIRED

STA 22+69 LT  
 MATCH EXISTING WALKWAY  
 SAWCUT REQUIRED

R/W

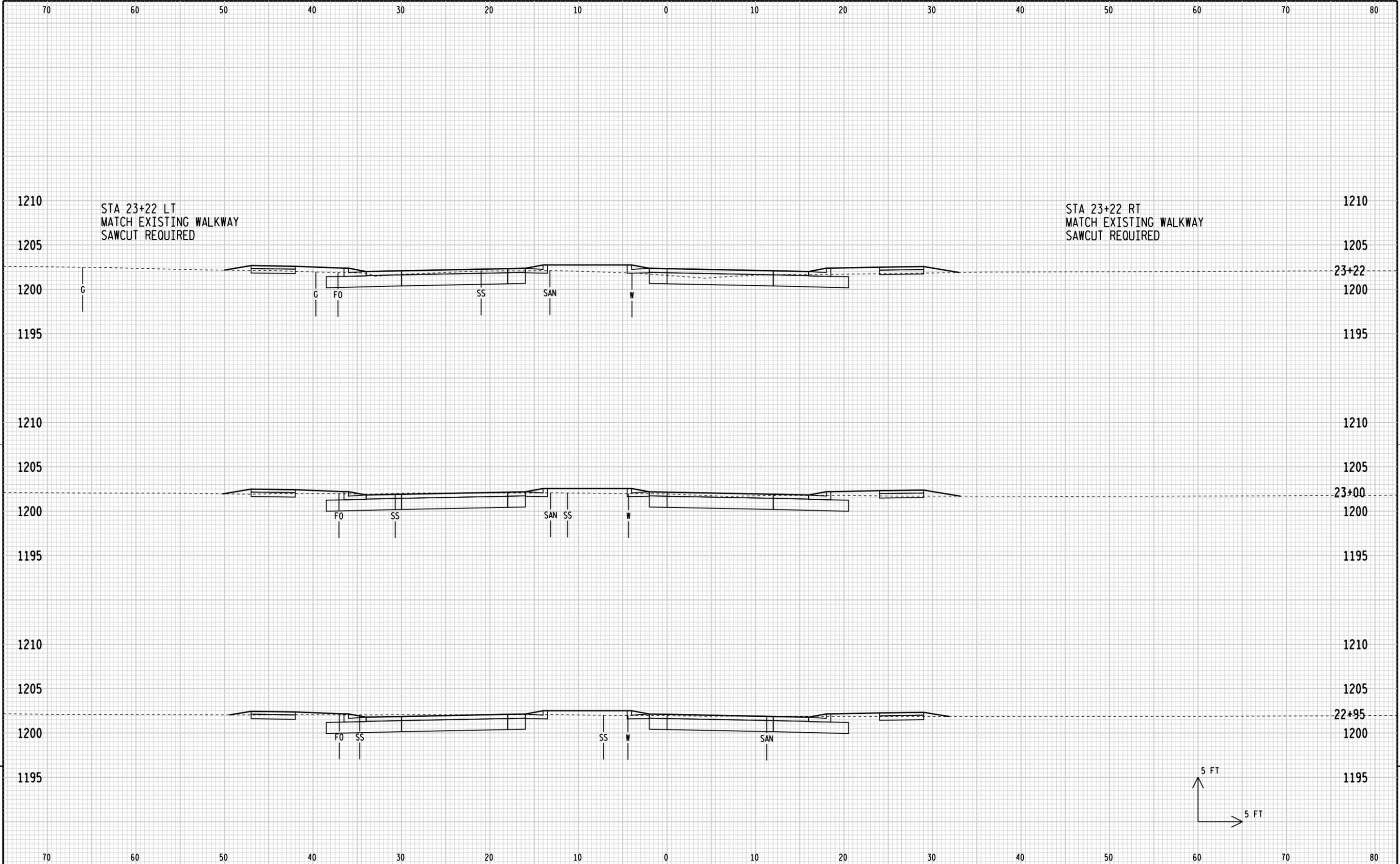
R/W



9

9

80



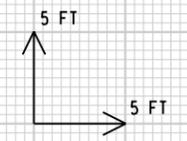
STA 23+22 LT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

STA 23+22 RT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

G FO SS SAN W

FO SS SAN SS W

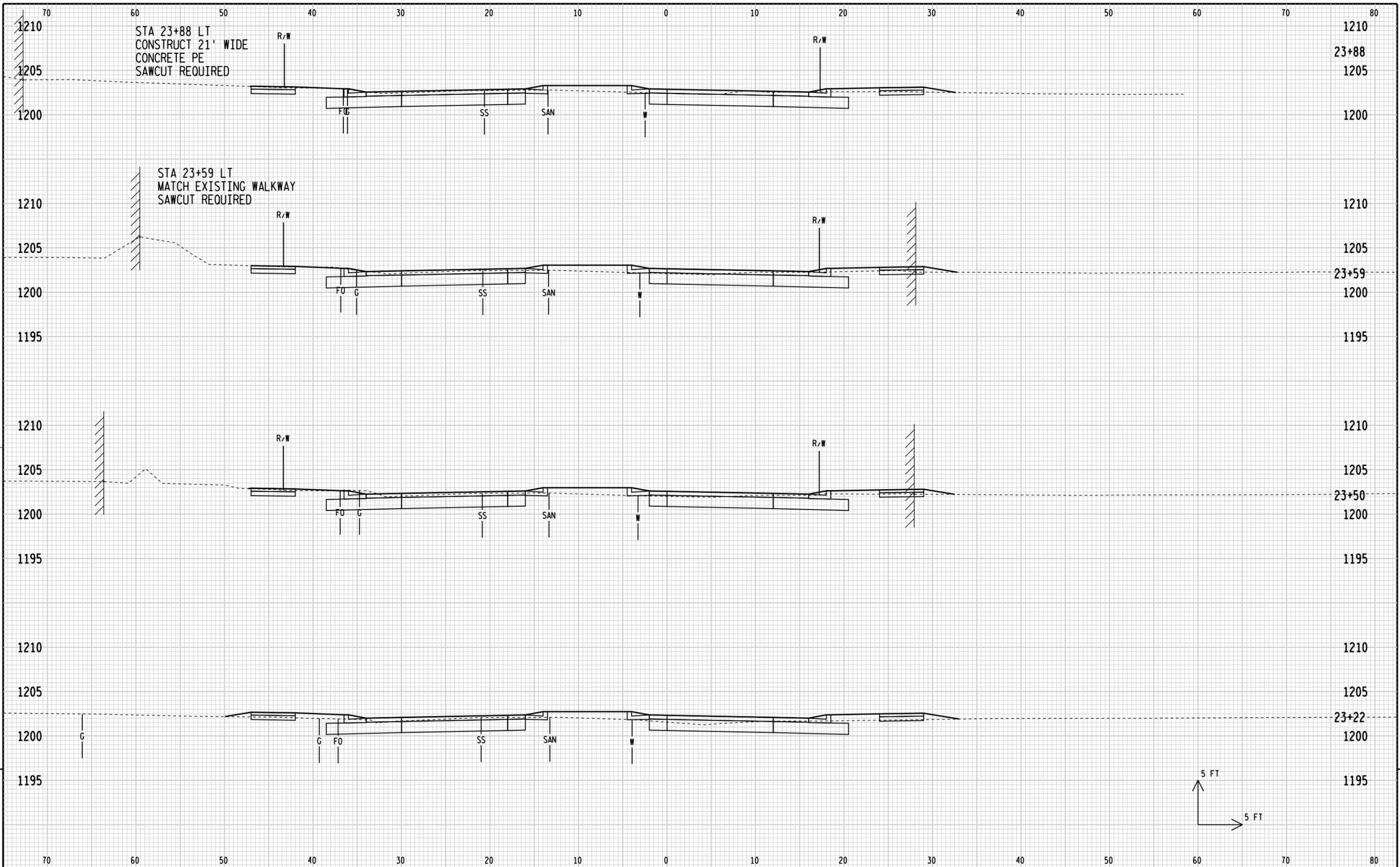
FO SS SS W SAN



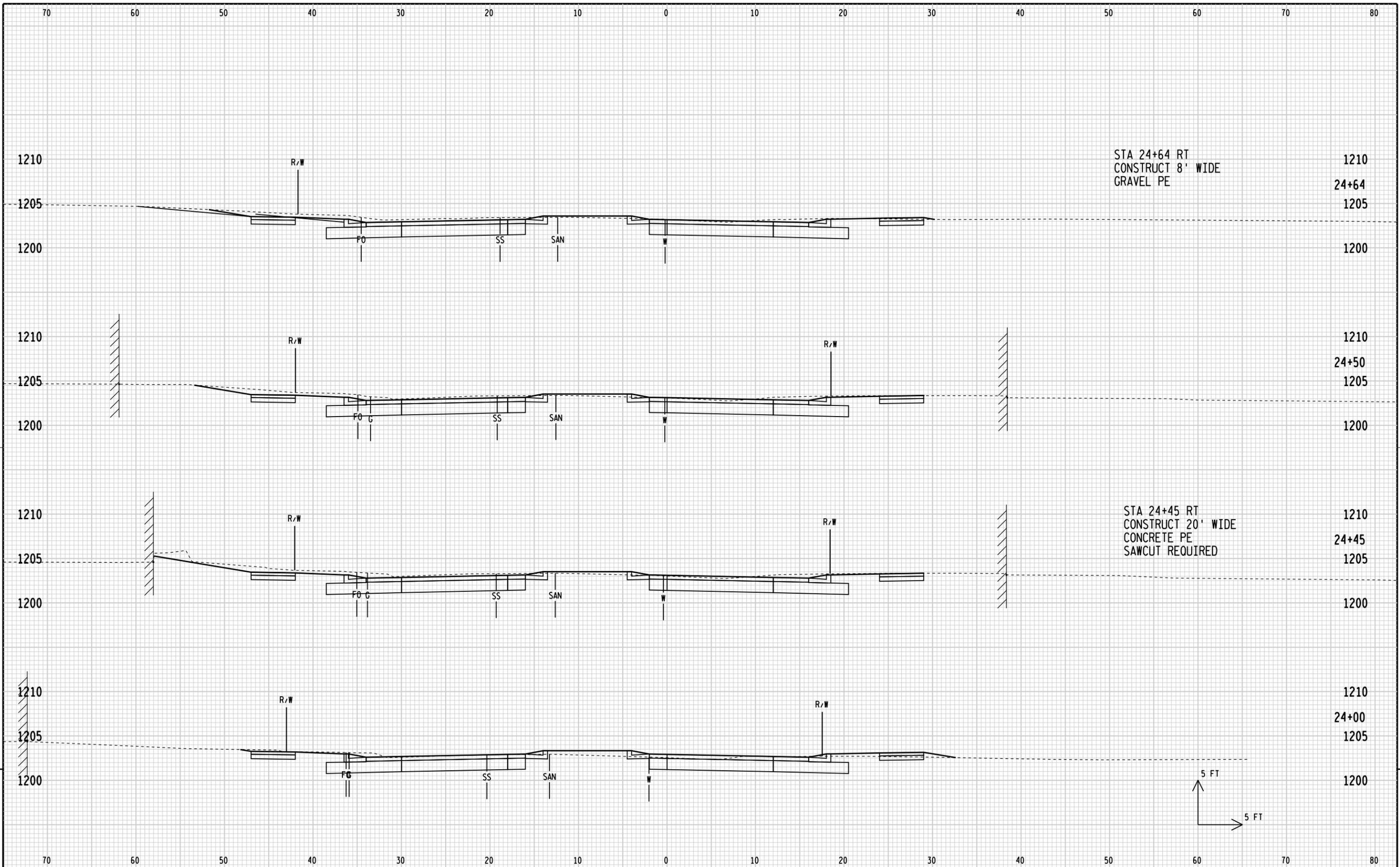
9

9

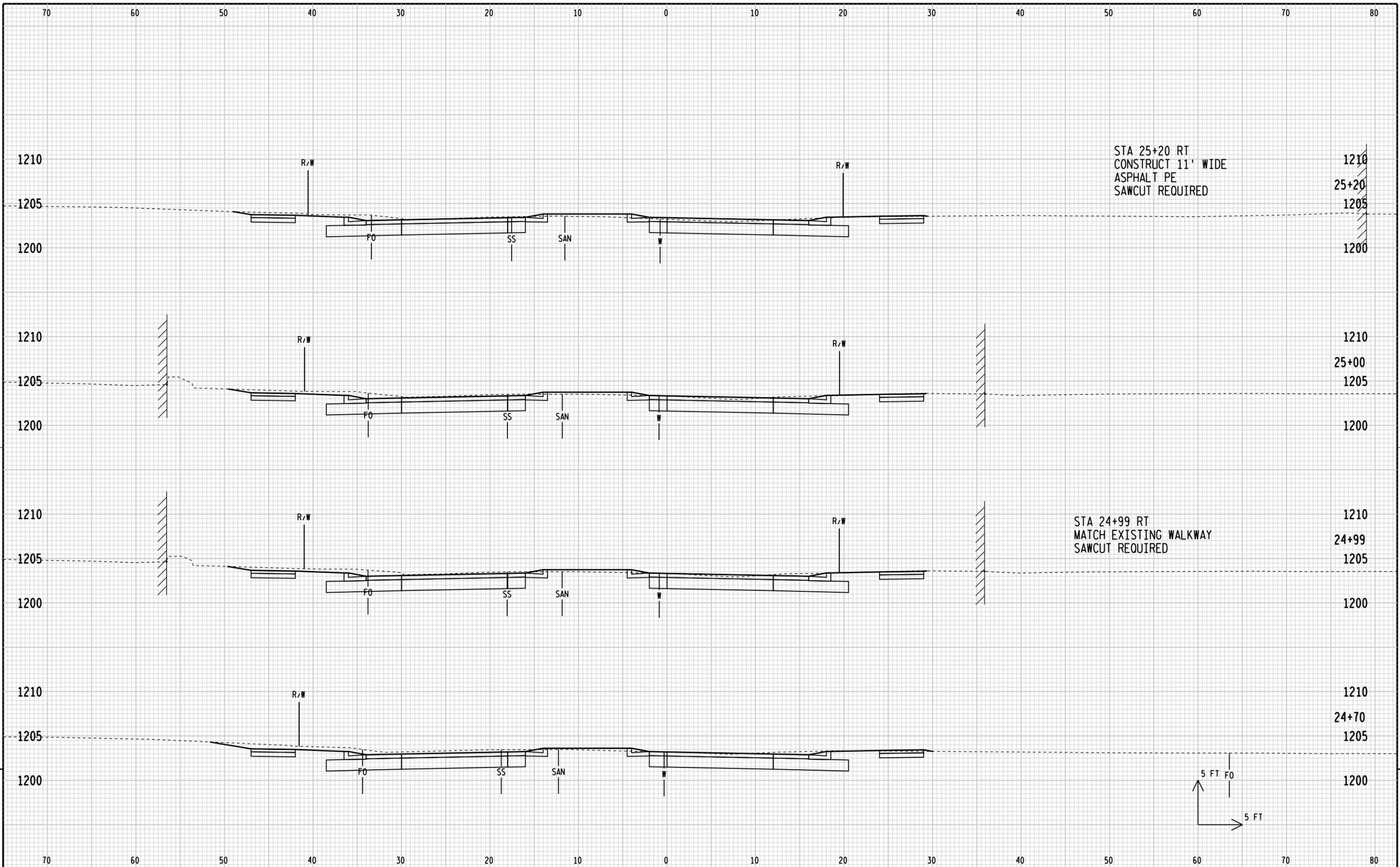
AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



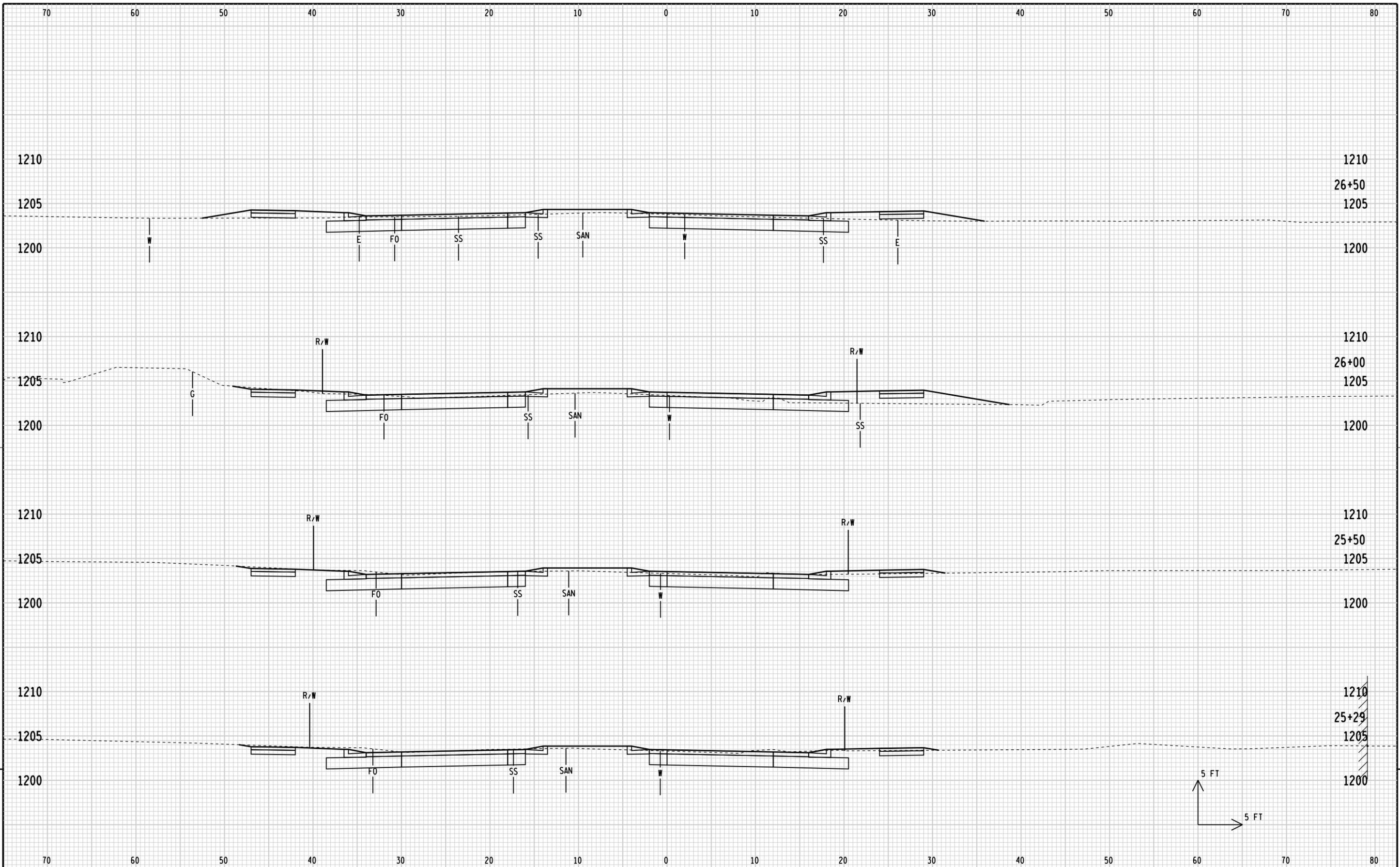
AECOM PROJECT NUMBER:99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
SHEET			<b>9</b>



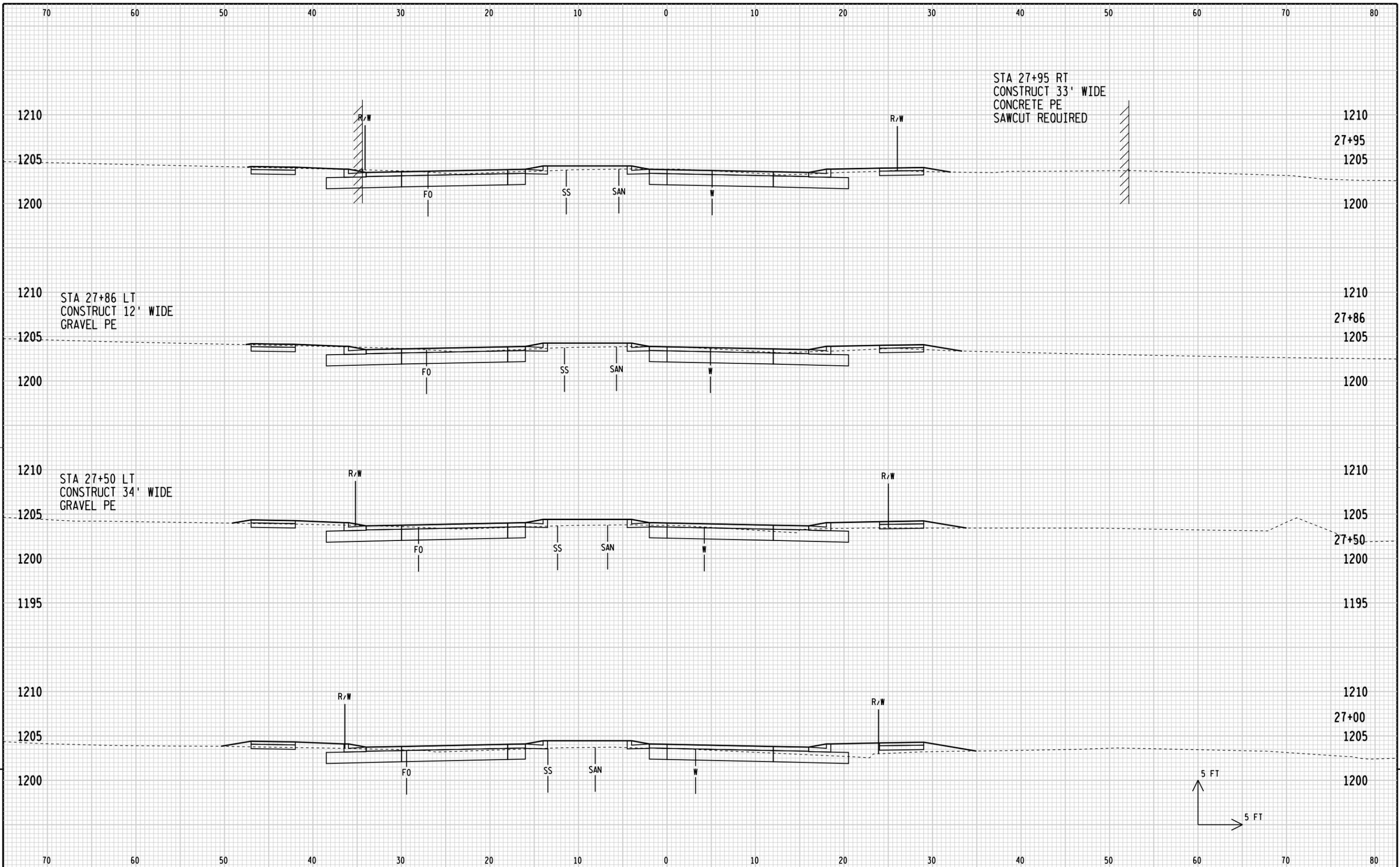
AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
SHEET			<b>E</b>



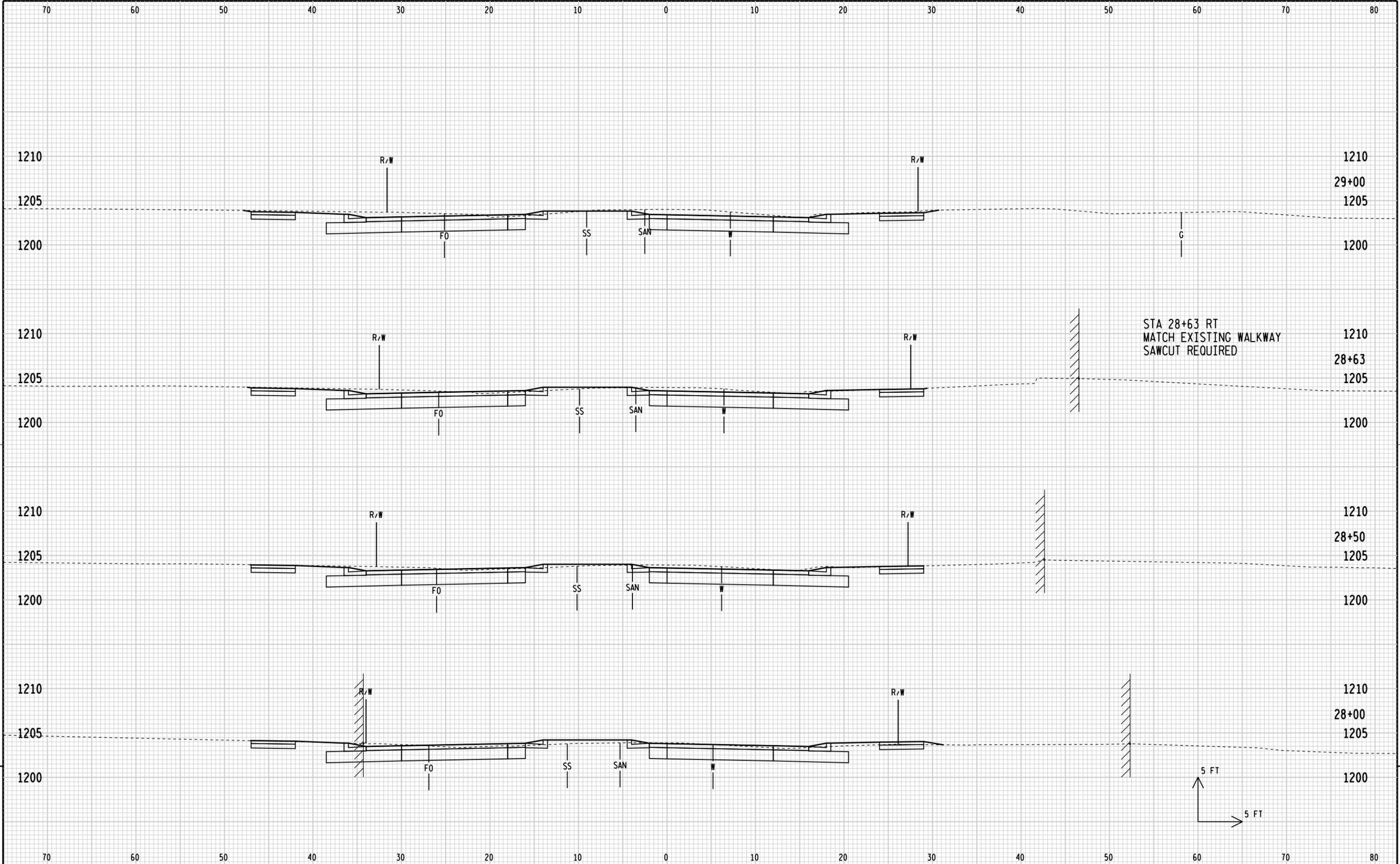
AECOM PROJECT NUMBER: 99979 | HWY: THOMAS STREET | COUNTY: MARATHON | CROSS SECTIONS: THOMAS STREET | SHEET | E



AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



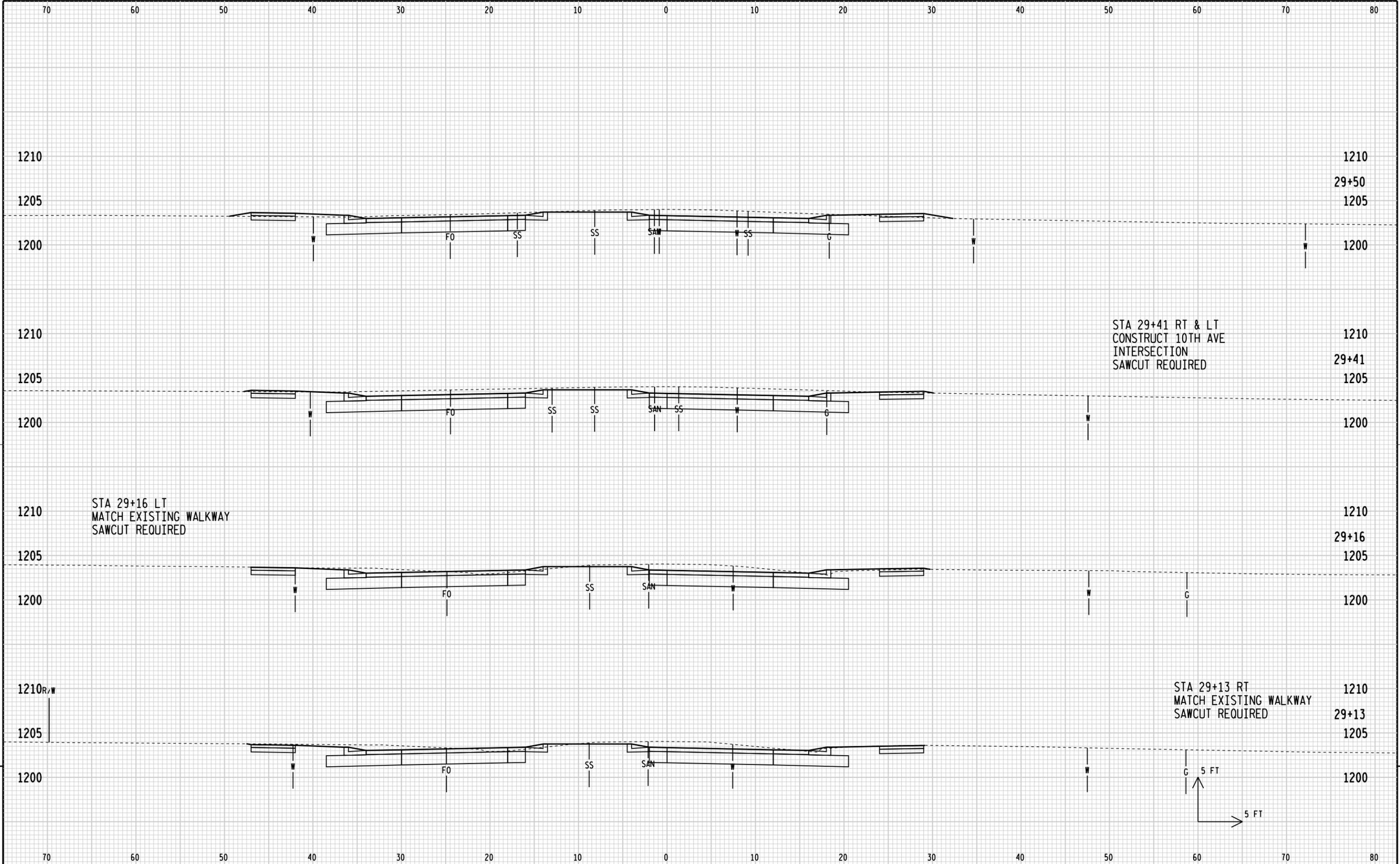
AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
SHEET			<b>E</b>



9

9

AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



STA 29+41 RT & LT  
 CONSTRUCT 10TH AVE  
 INTERSECTION  
 SAWCUT REQUIRED

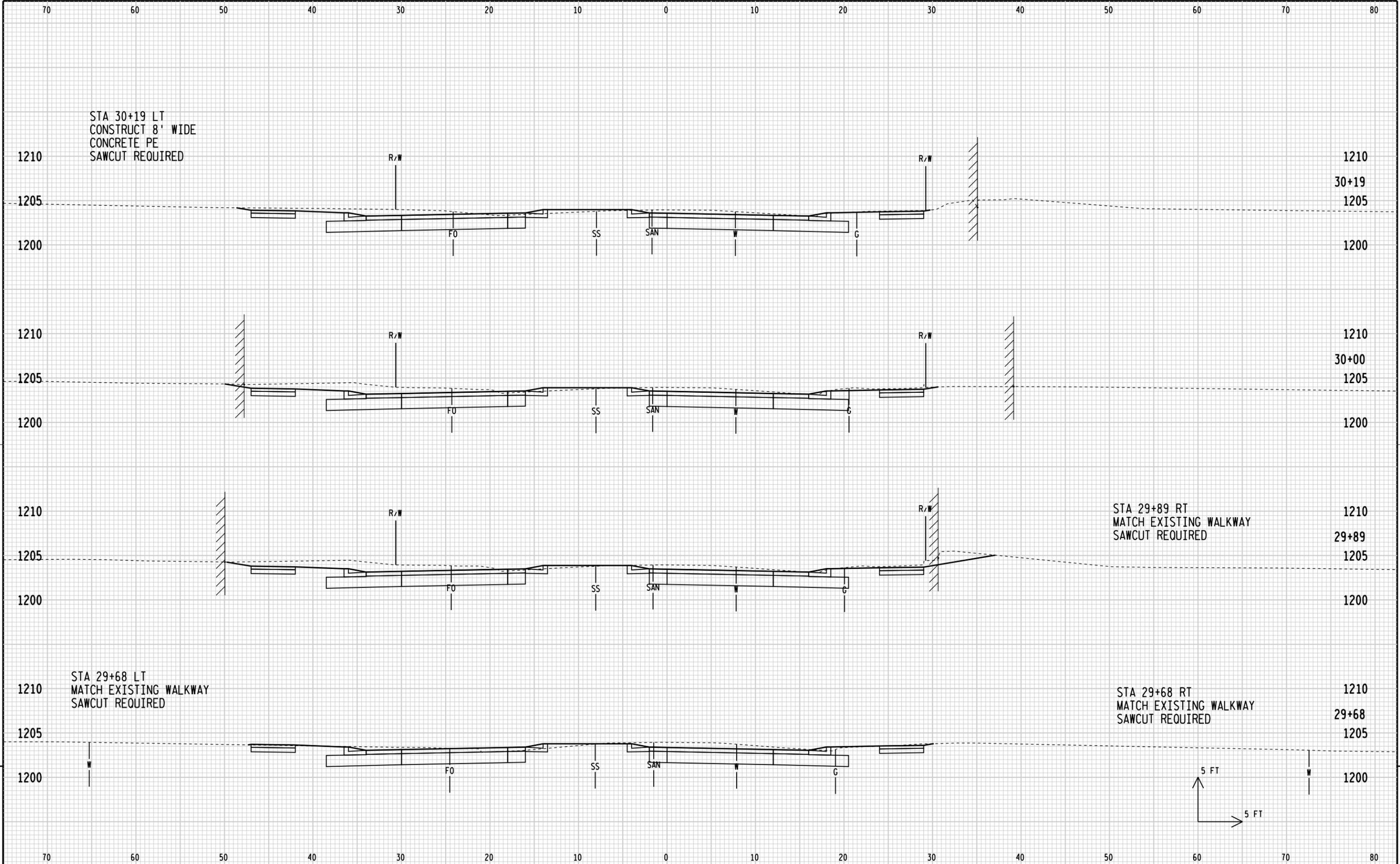
STA 29+16 LT  
 MATCH EXISTING WALKWAY  
 SAWCUT REQUIRED

STA 29+13 RT  
 MATCH EXISTING WALKWAY  
 SAWCUT REQUIRED

9

9

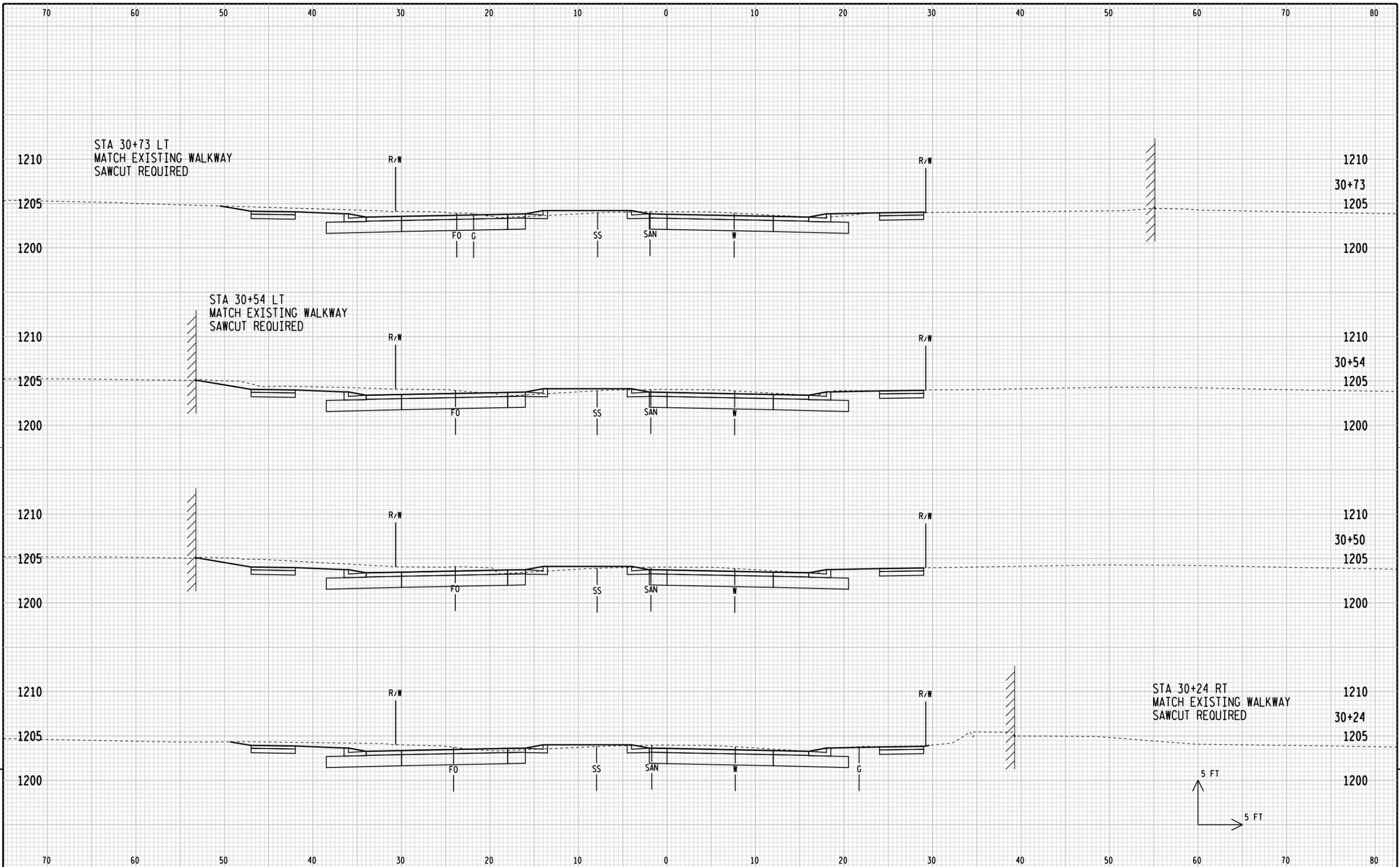
80



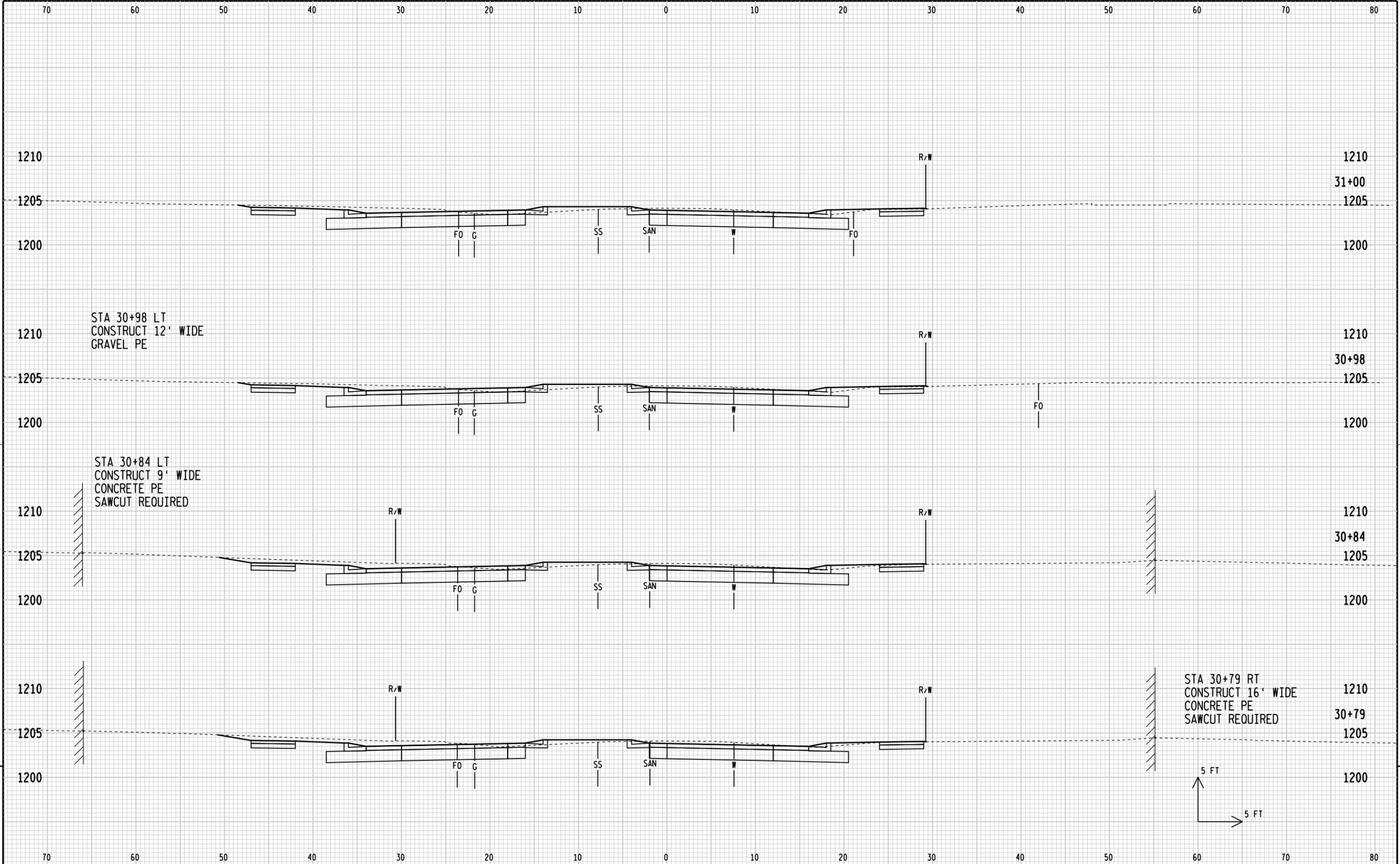
9

9

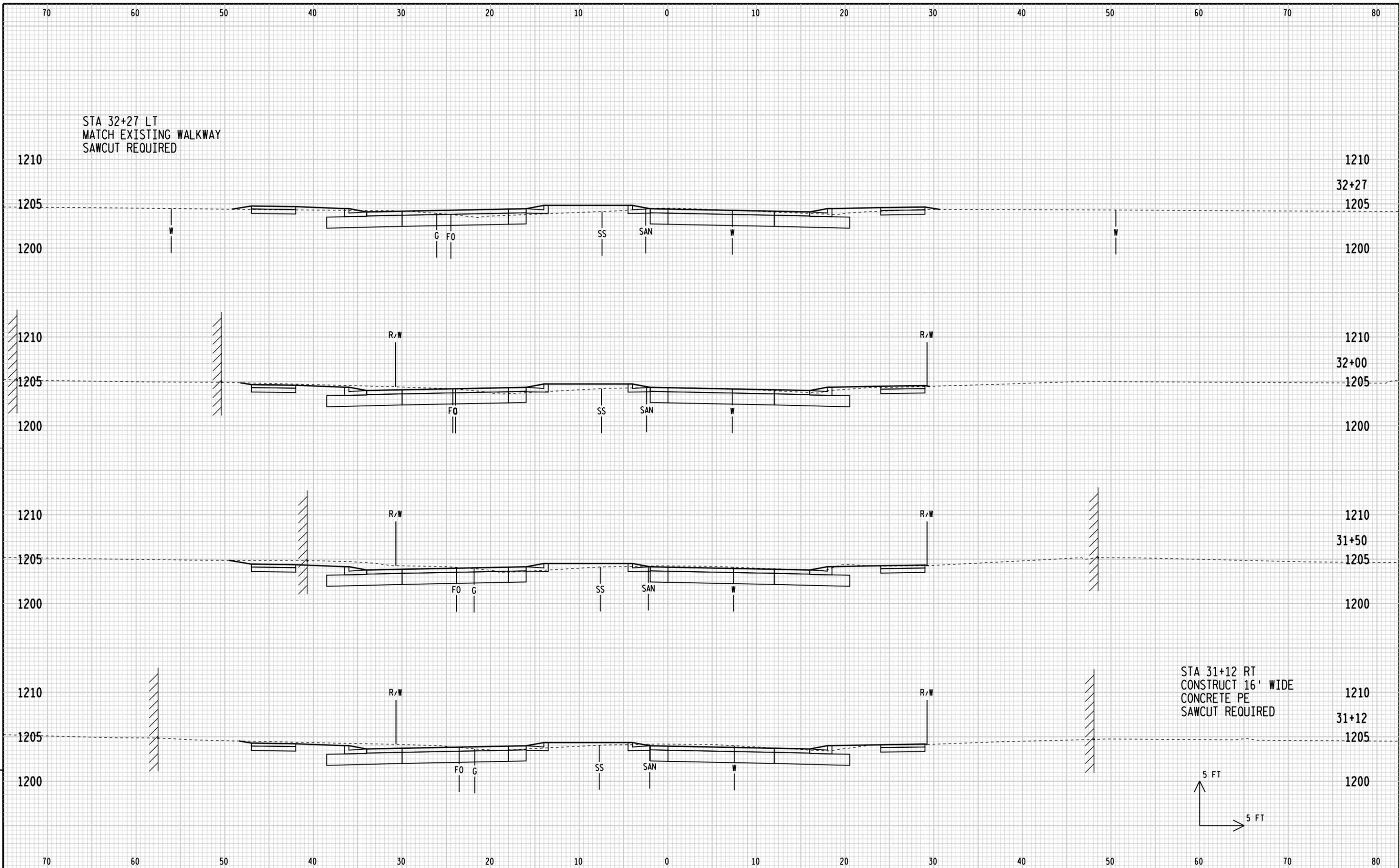
AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
SHEET			<b>E</b>

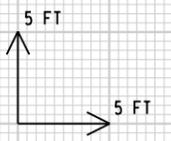


AECOM PROJECT NUMBER:99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET
			SHEET <b>E</b>

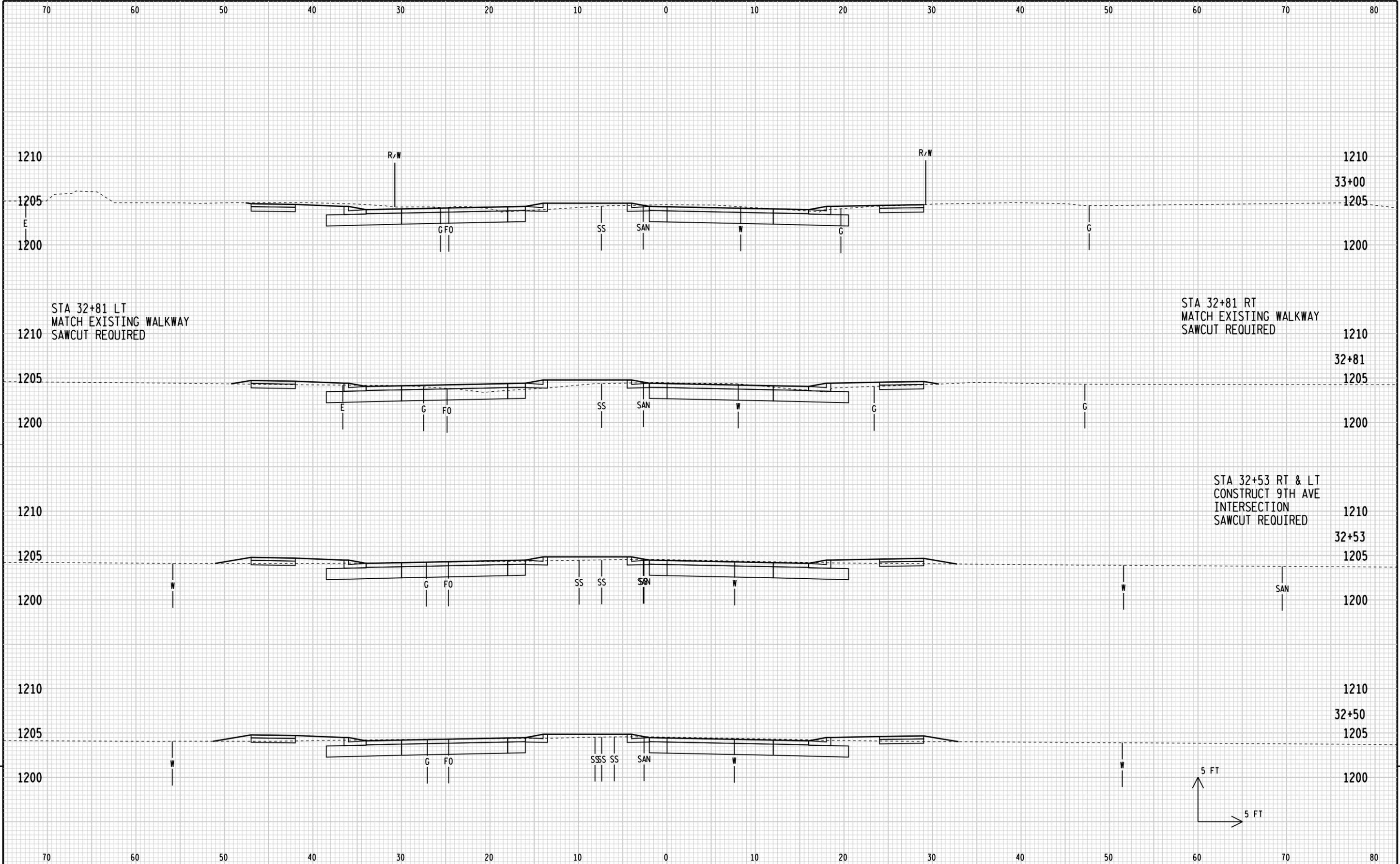


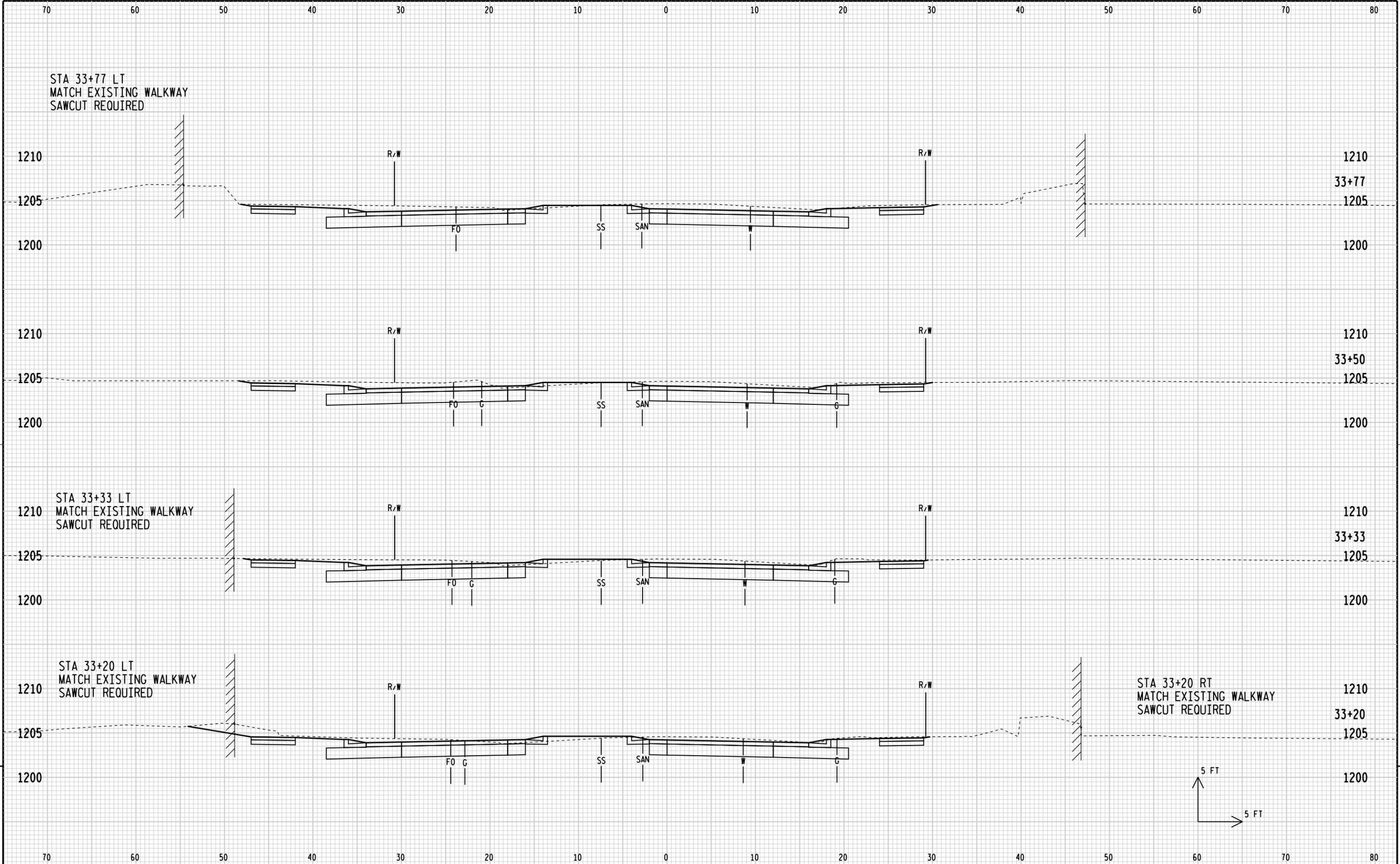
STA 32+27 LT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

STA 31+12 RT  
CONSTRUCT 16' WIDE  
CONCRETE PE  
SAWCUT REQUIRED



AECOM PROJECT NUMBER: 99979 | HWY: THOMAS STREET | COUNTY: MARATHON | CROSS SECTIONS: THOMAS STREET | SHEET | E



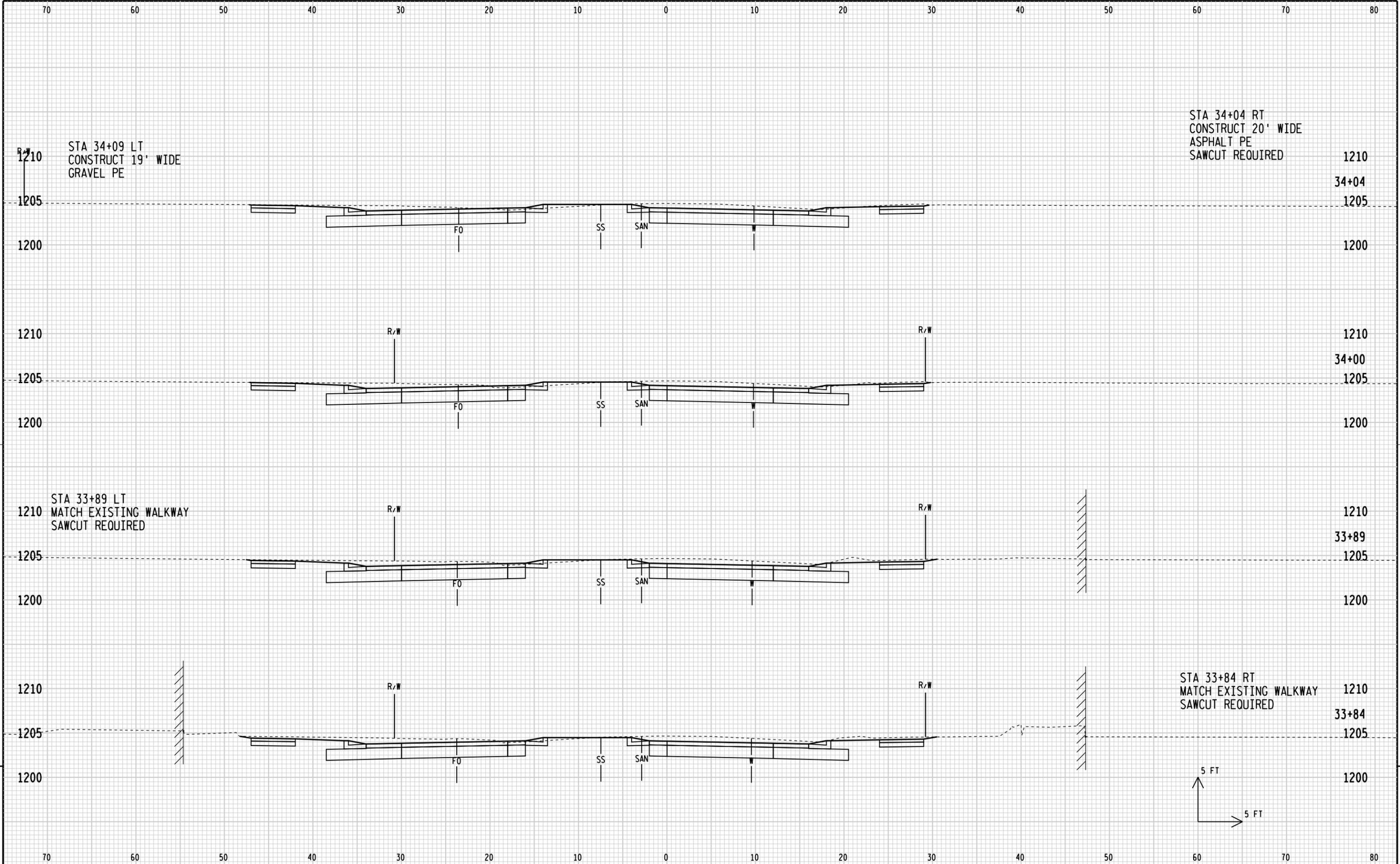


9

9

AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---

80



STA 34+09 LT  
 CONSTRUCT 19' WIDE  
 GRAVEL PE

STA 34+04 RT  
 CONSTRUCT 20' WIDE  
 ASPHALT PE  
 SAWCUT REQUIRED

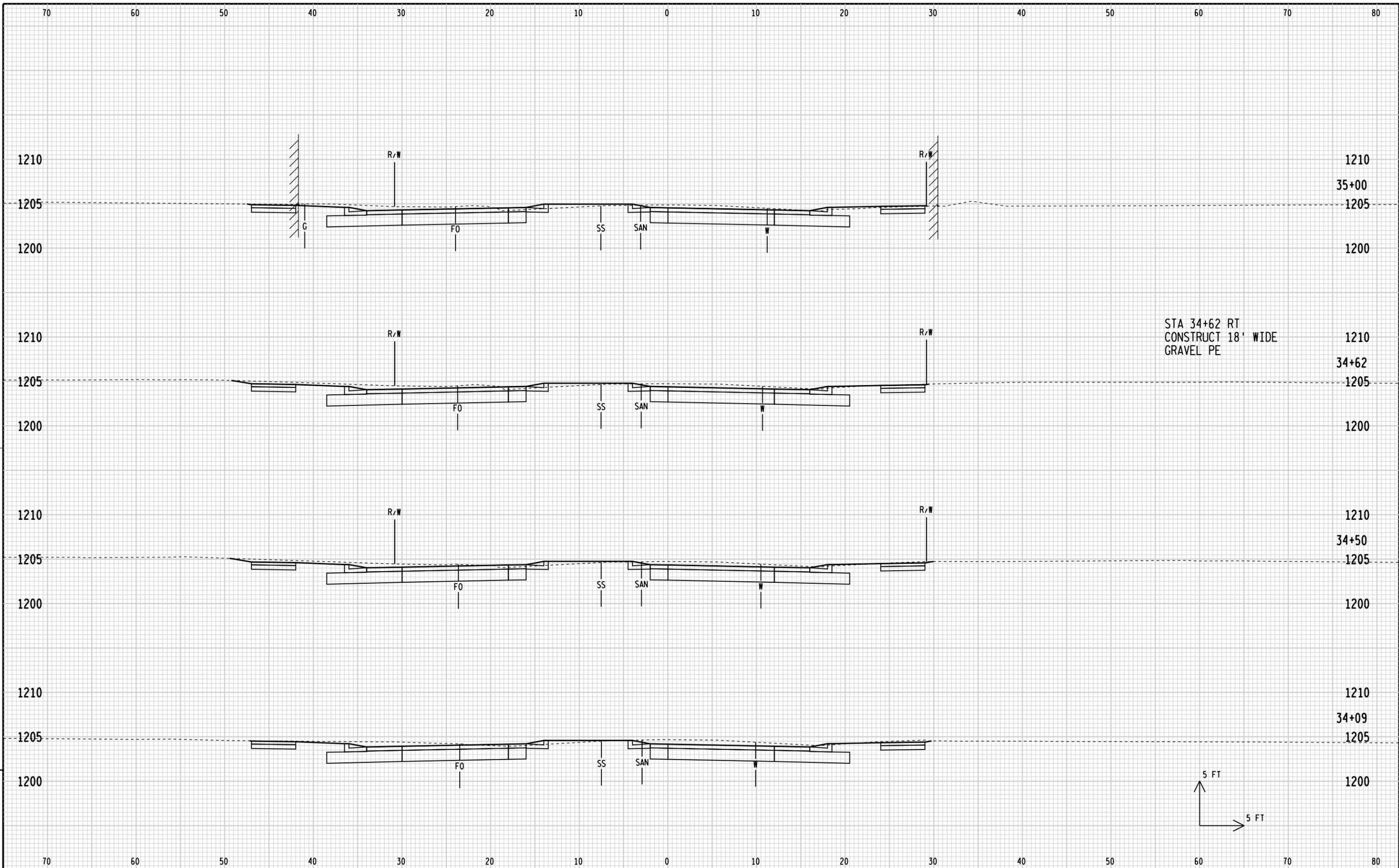
STA 33+89 LT  
 MATCH EXISTING WALKWAY  
 SAWCUT REQUIRED

STA 33+84 RT  
 MATCH EXISTING WALKWAY  
 SAWCUT REQUIRED

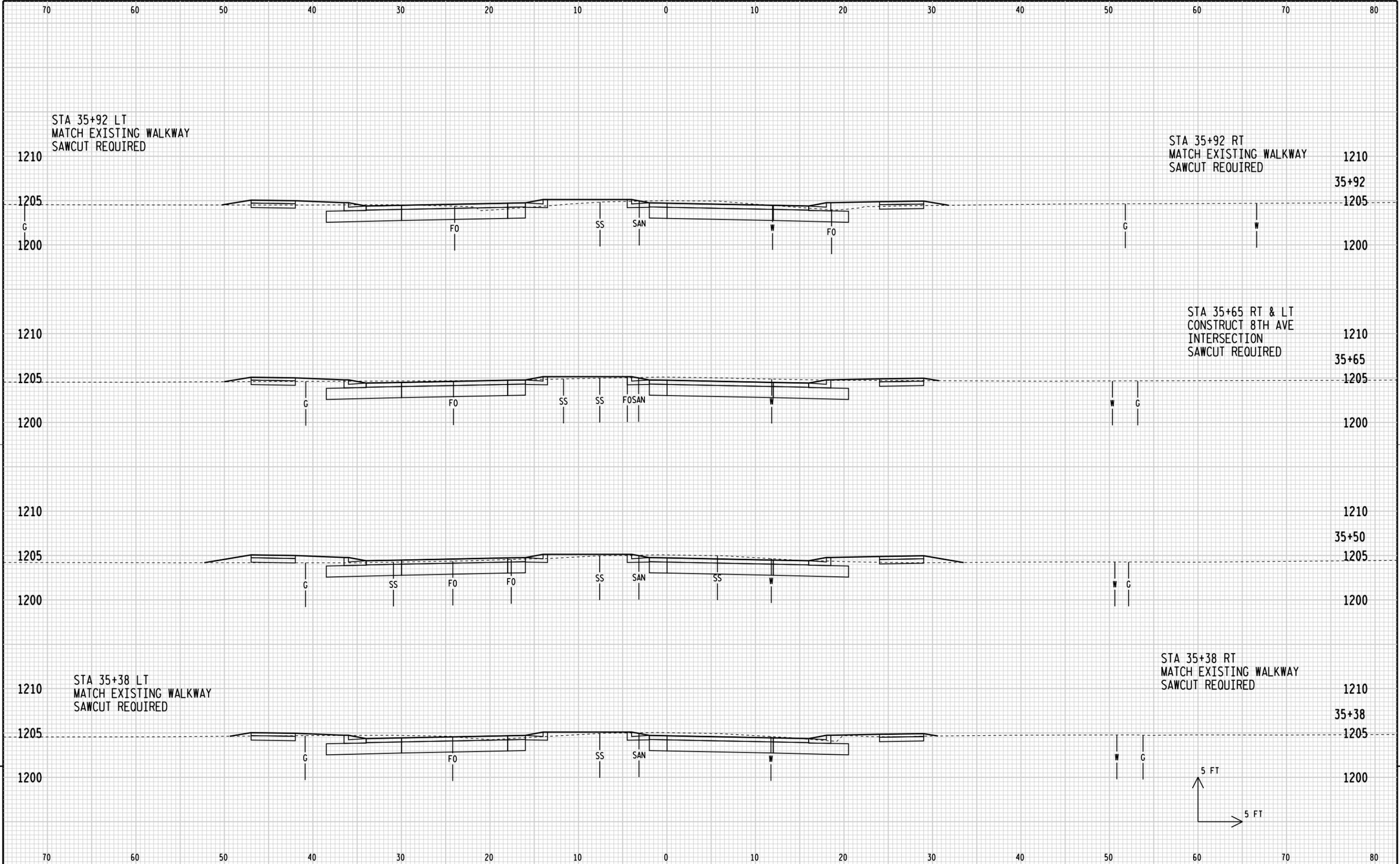
9

9

AECOM PROJECT NUMBER: 99979      HWY: THOMAS STREET      COUNTY: MARATHON      CROSS SECTIONS: THOMAS STREET      SHEET      E



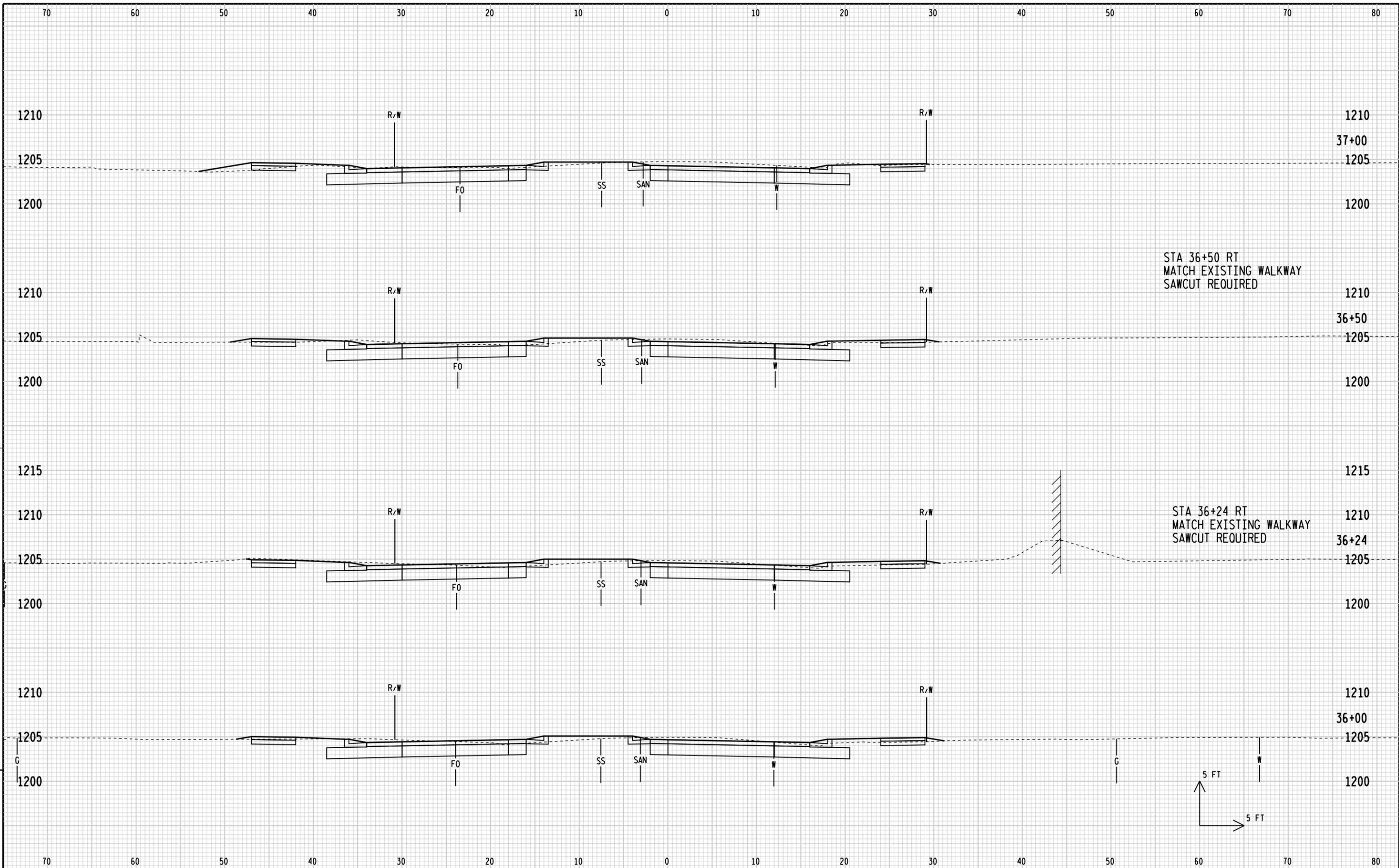
STA 34+62 RT  
 CONSTRUCT 18' WIDE  
 GRAVEL PE



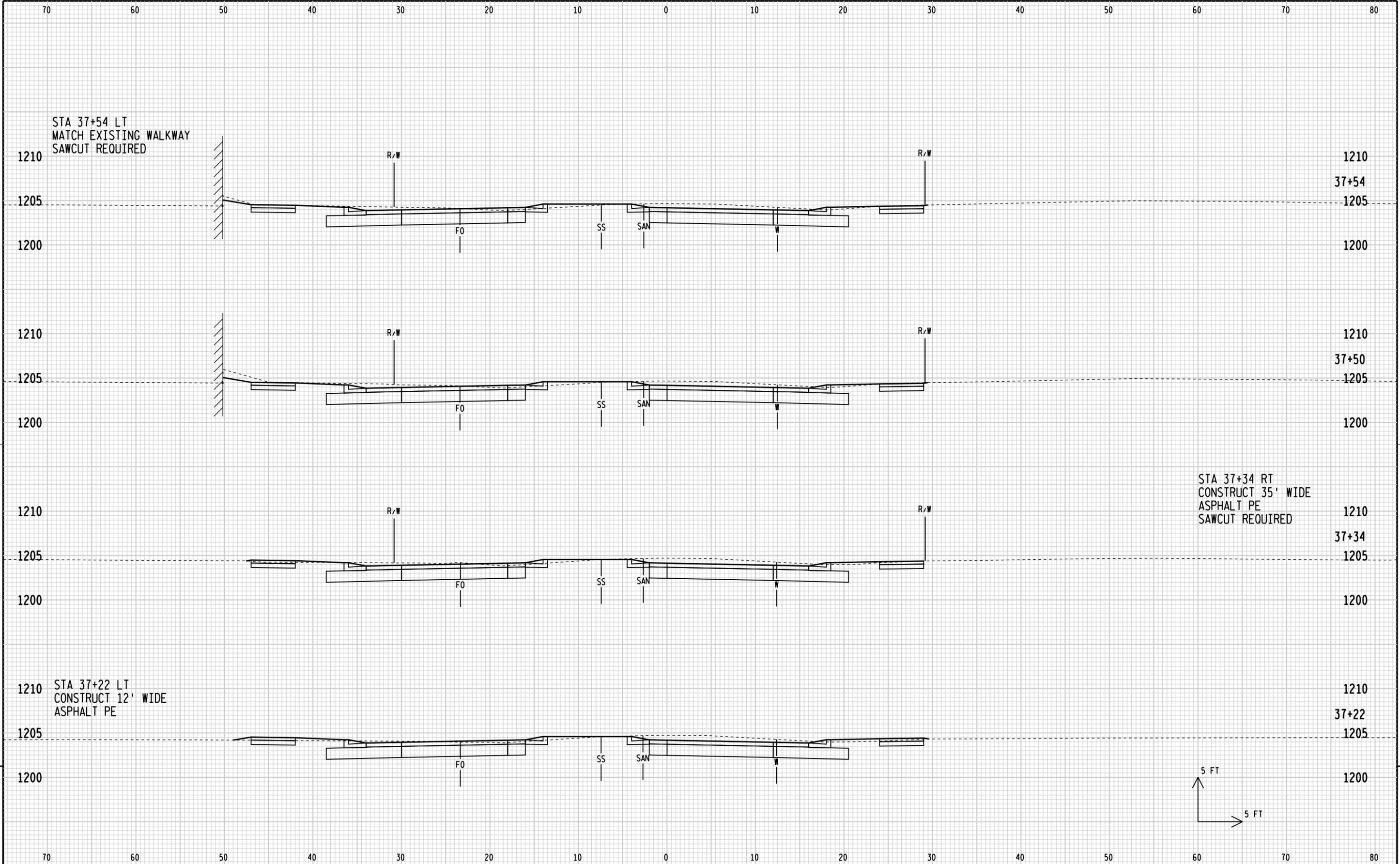
9

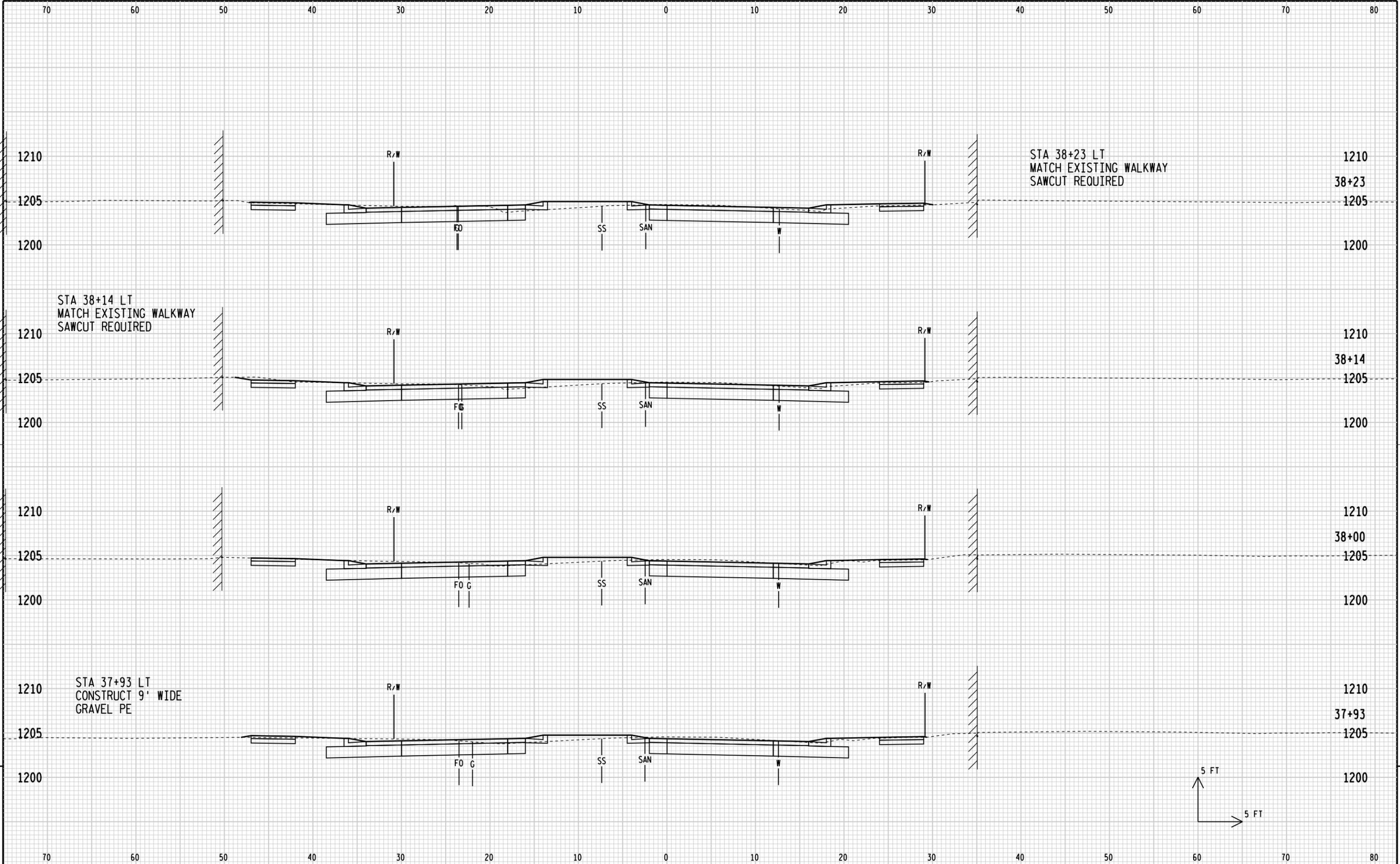
9

AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



AECOM PROJECT NUMBER: 99979 | HWY: THOMAS STREET | COUNTY: MARATHON | CROSS SECTIONS: THOMAS STREET | SHEET | E

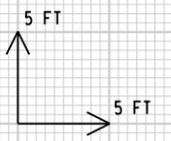


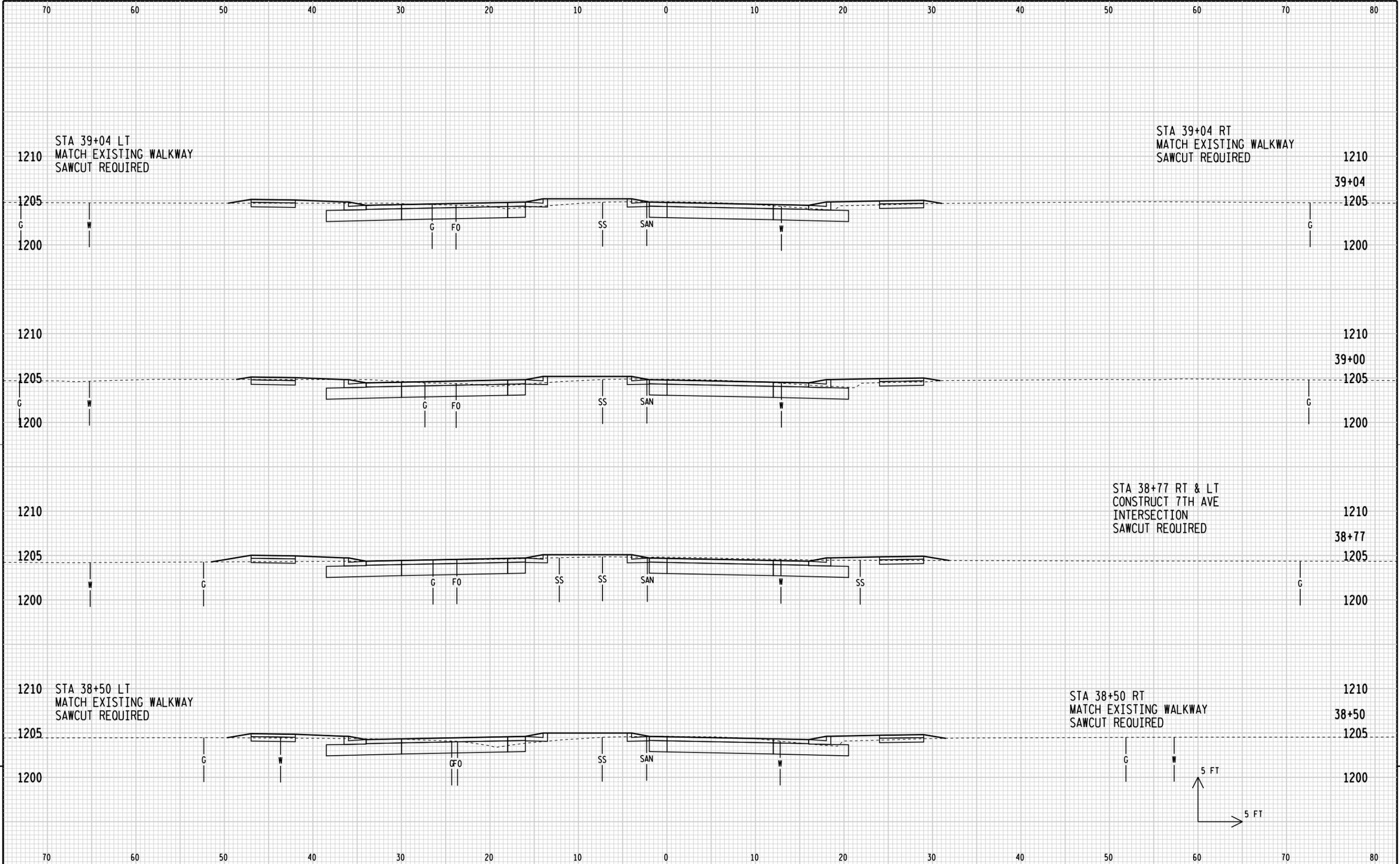


STA 38+23 LT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

STA 38+14 LT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

STA 37+93 LT  
CONSTRUCT 9' WIDE  
GRAVEL PE





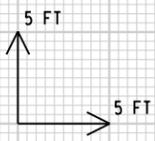
STA 39+04 LT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

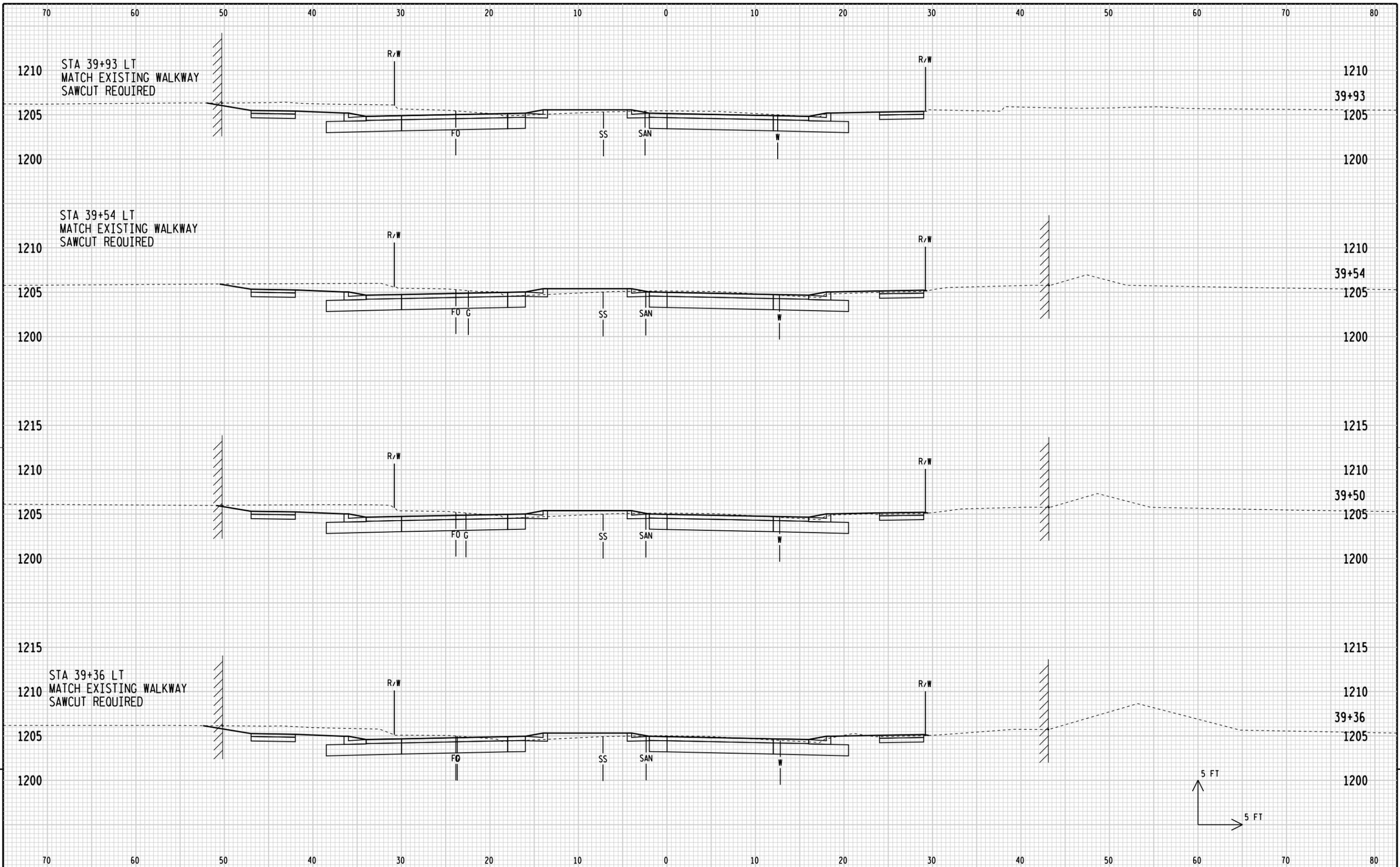
STA 39+04 RT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

STA 38+77 RT & LT  
CONSTRUCT 7TH AVE  
INTERSECTION  
SAWCUT REQUIRED

STA 38+50 LT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

STA 38+50 RT  
MATCH EXISTING WALKWAY  
SAWCUT REQUIRED

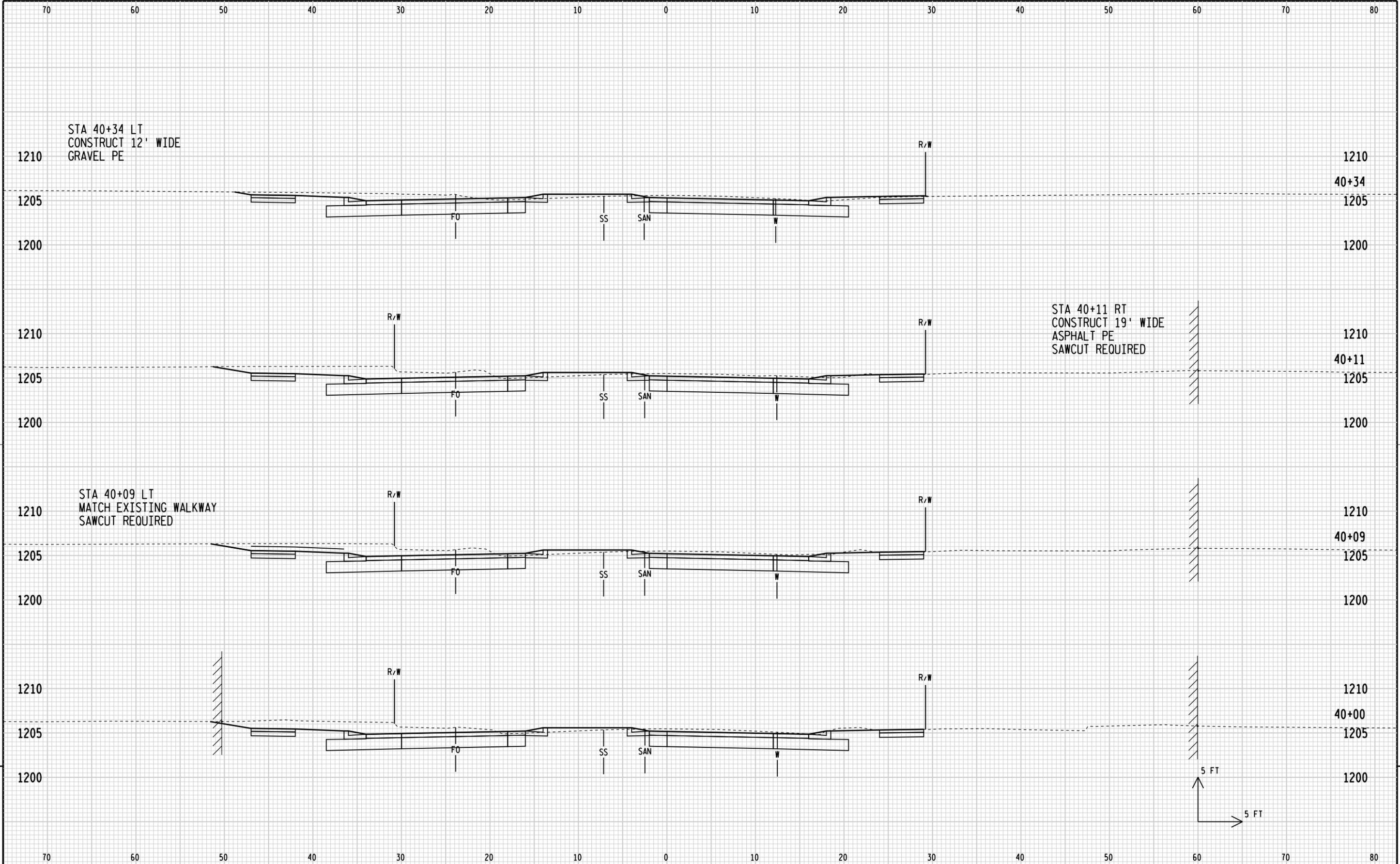




9

9

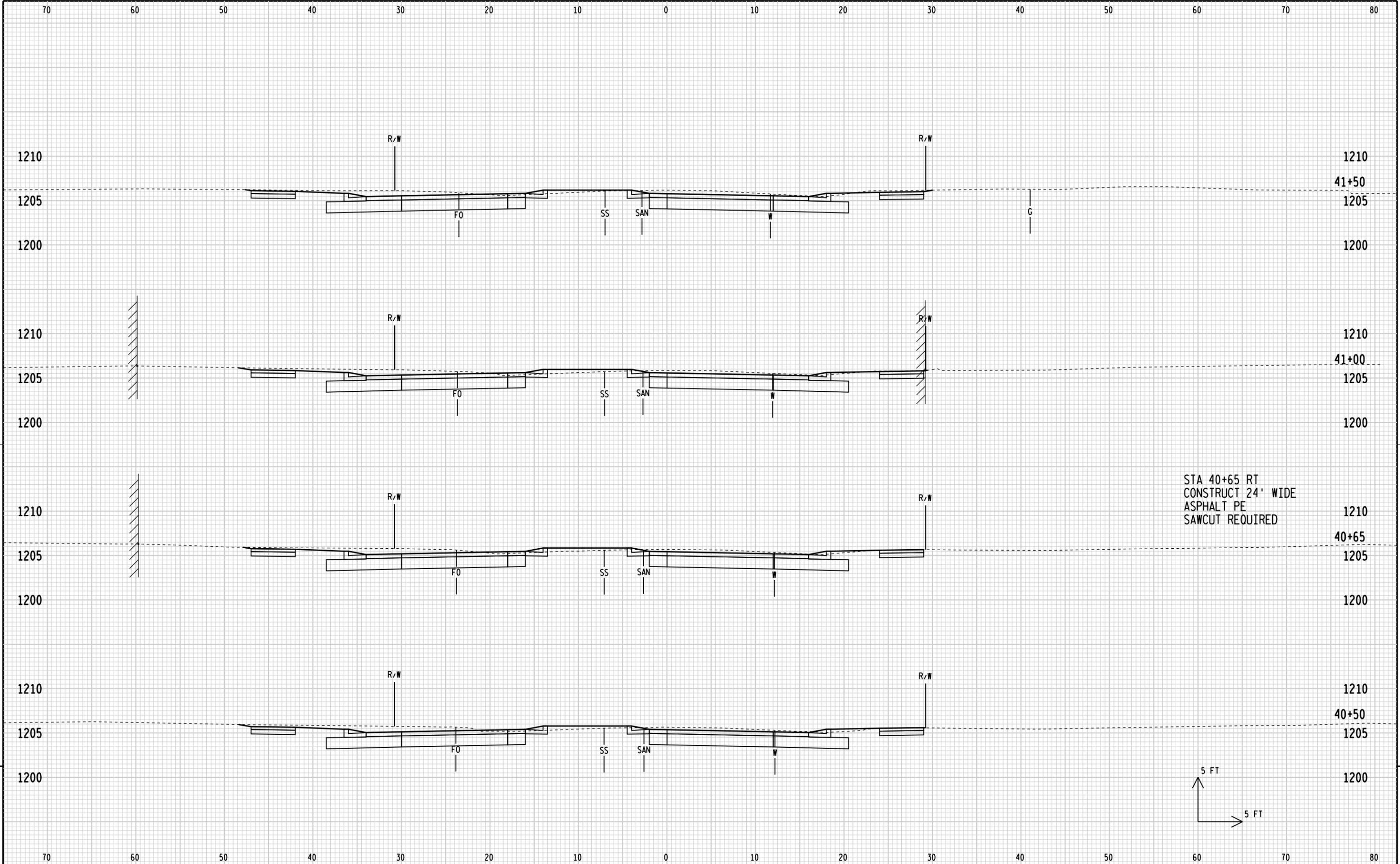
AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



9

9

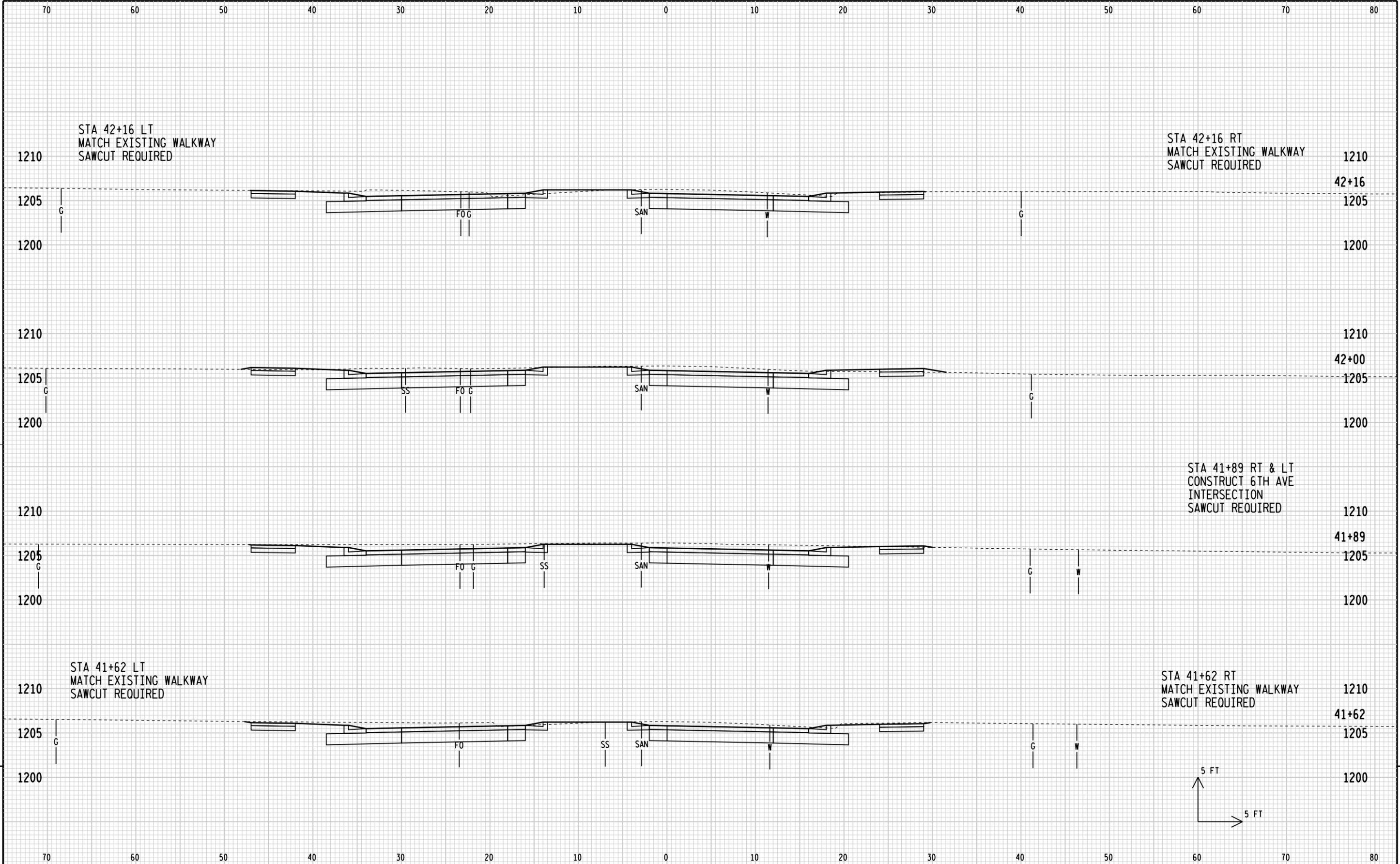
AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



9

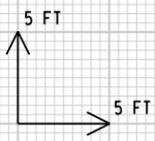
9

AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---

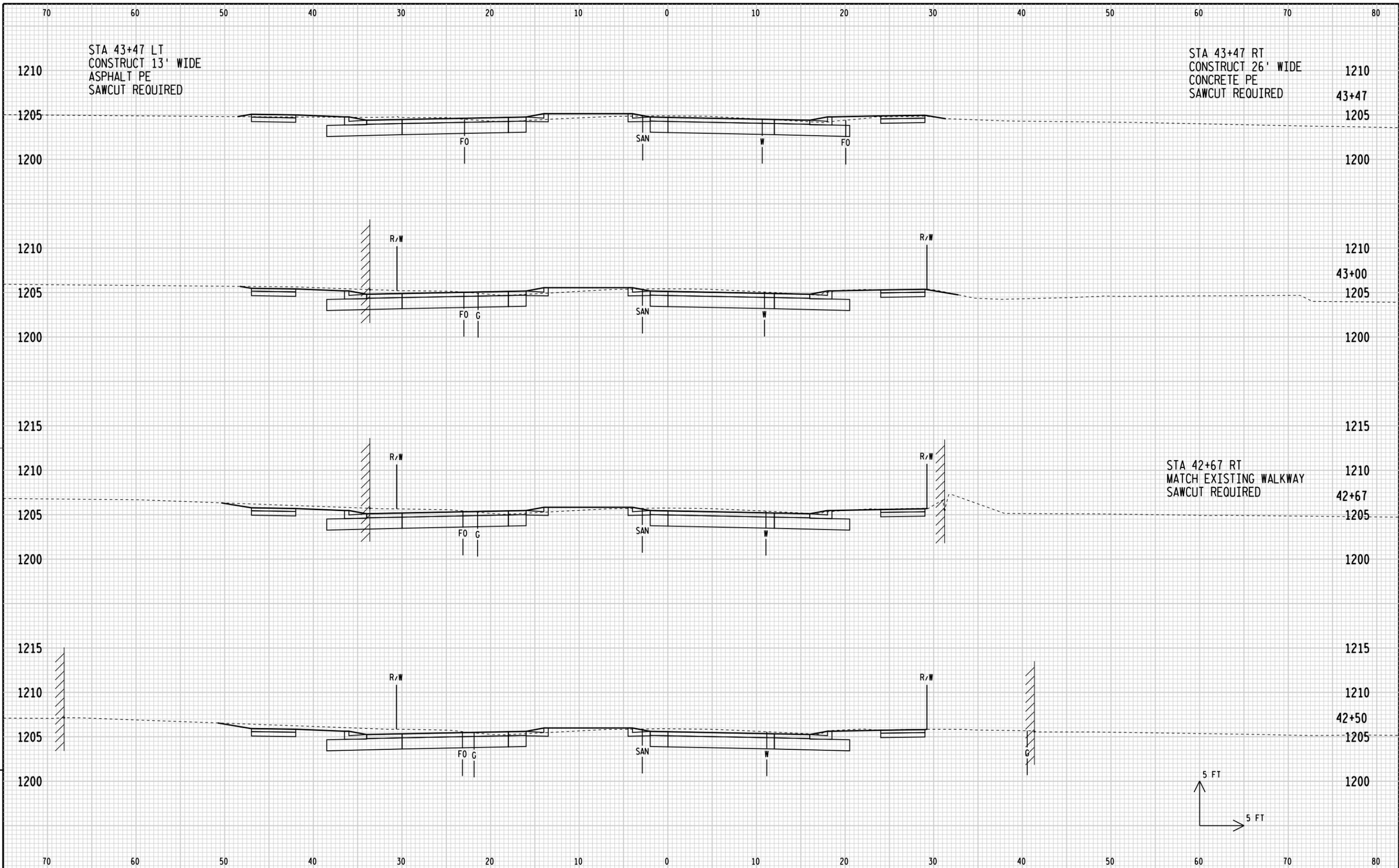


9

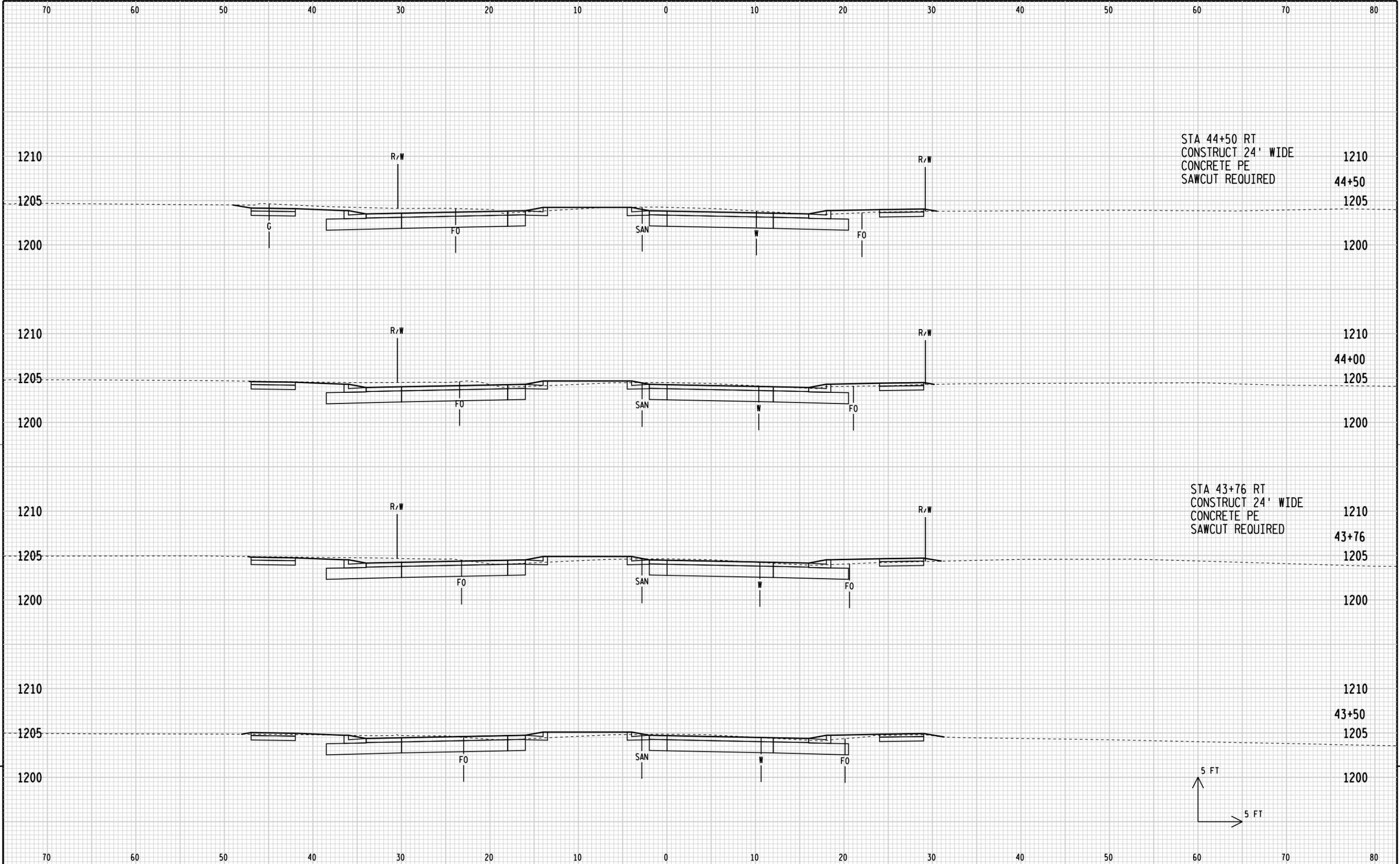
9



AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



AECOM PROJECT NUMBER: 99979 | HWY: THOMAS STREET | COUNTY: MARATHON | CROSS SECTIONS: THOMAS STREET | SHEET | E

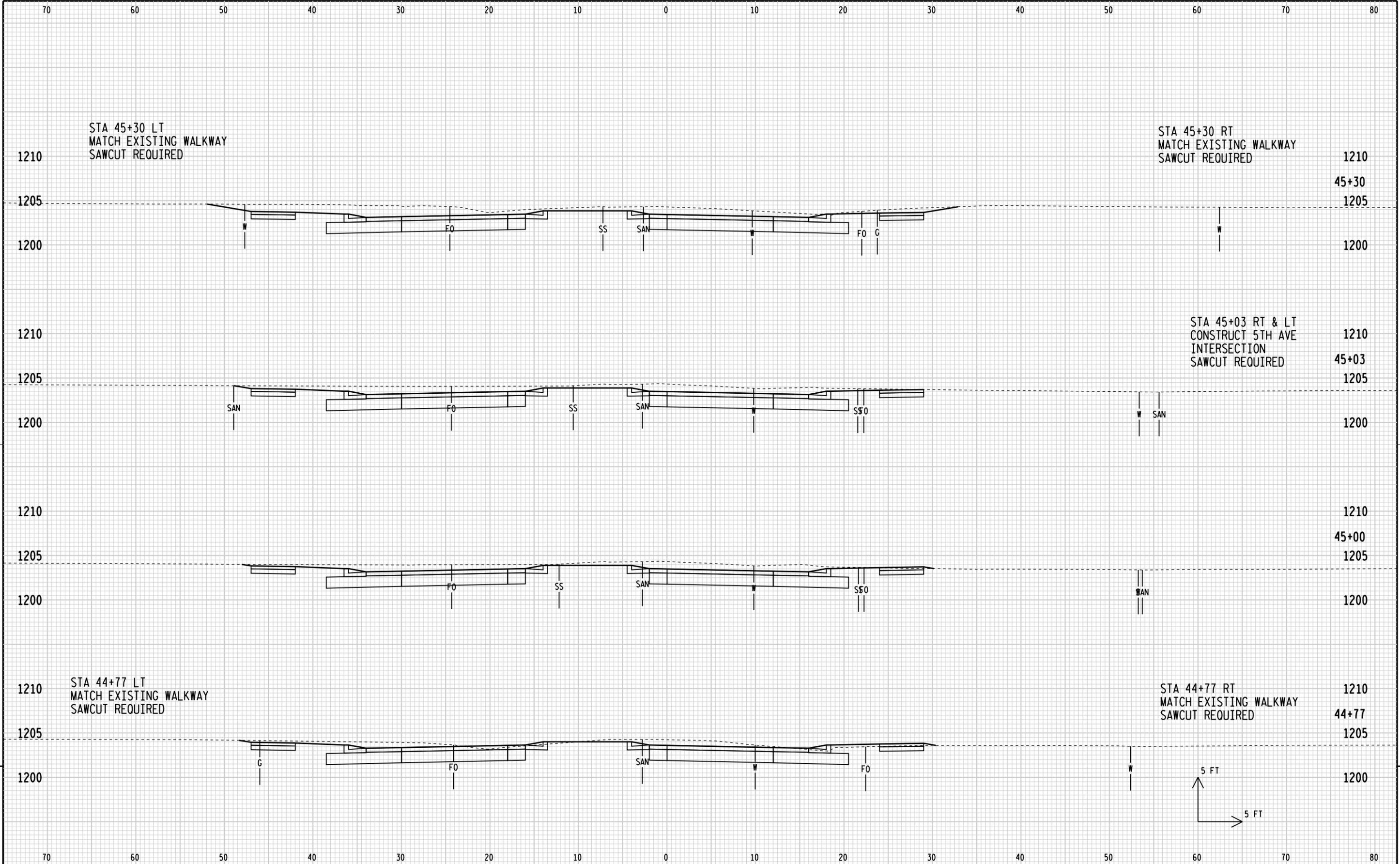


STA 44+50 RT  
 CONSTRUCT 24' WIDE  
 CONCRETE PE  
 SAWCUT REQUIRED

STA 43+76 RT  
 CONSTRUCT 24' WIDE  
 CONCRETE PE  
 SAWCUT REQUIRED

9

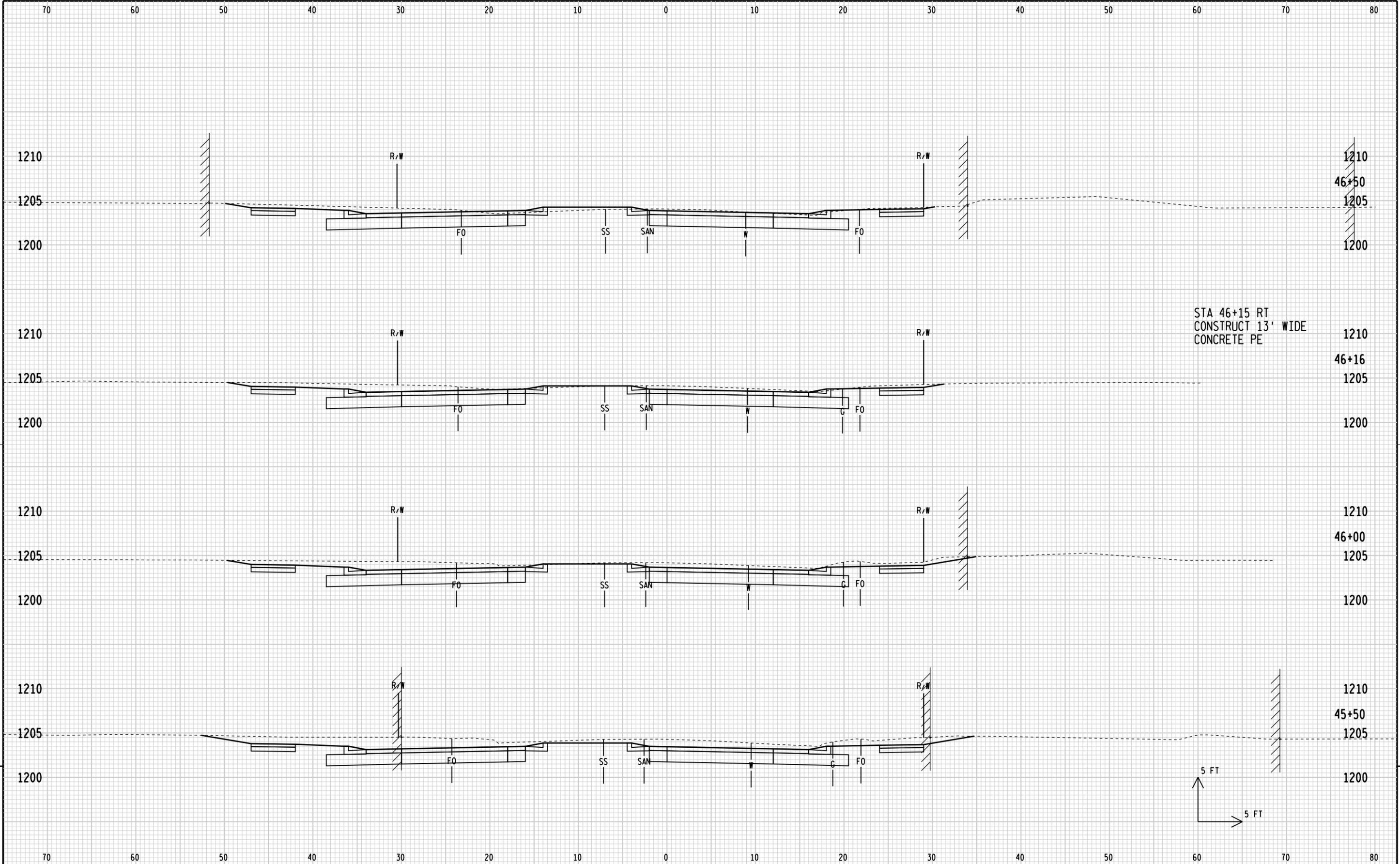
9



9

9

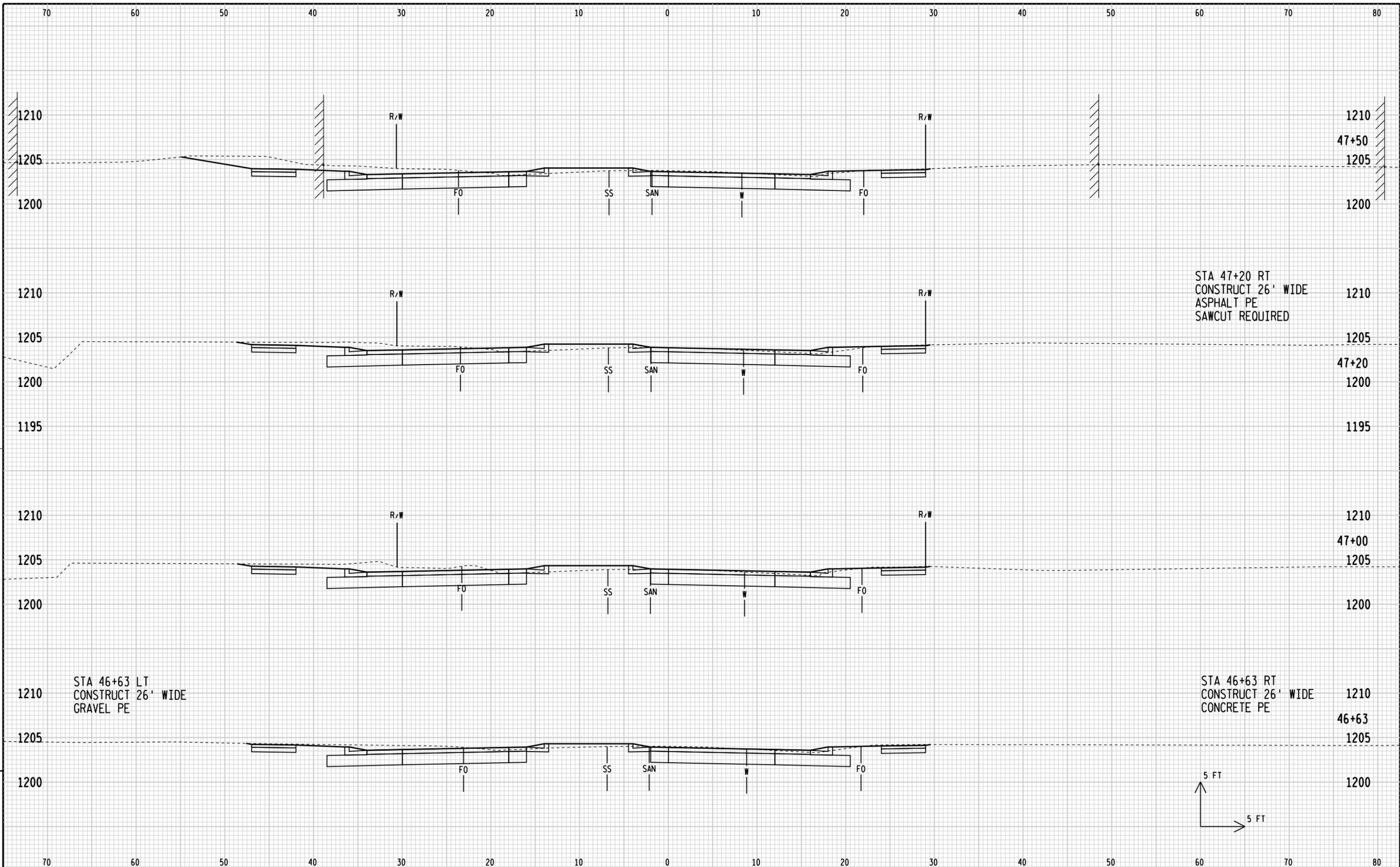
AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---



STA 46+15 RT  
CONSTRUCT 13' WIDE  
CONCRETE PE

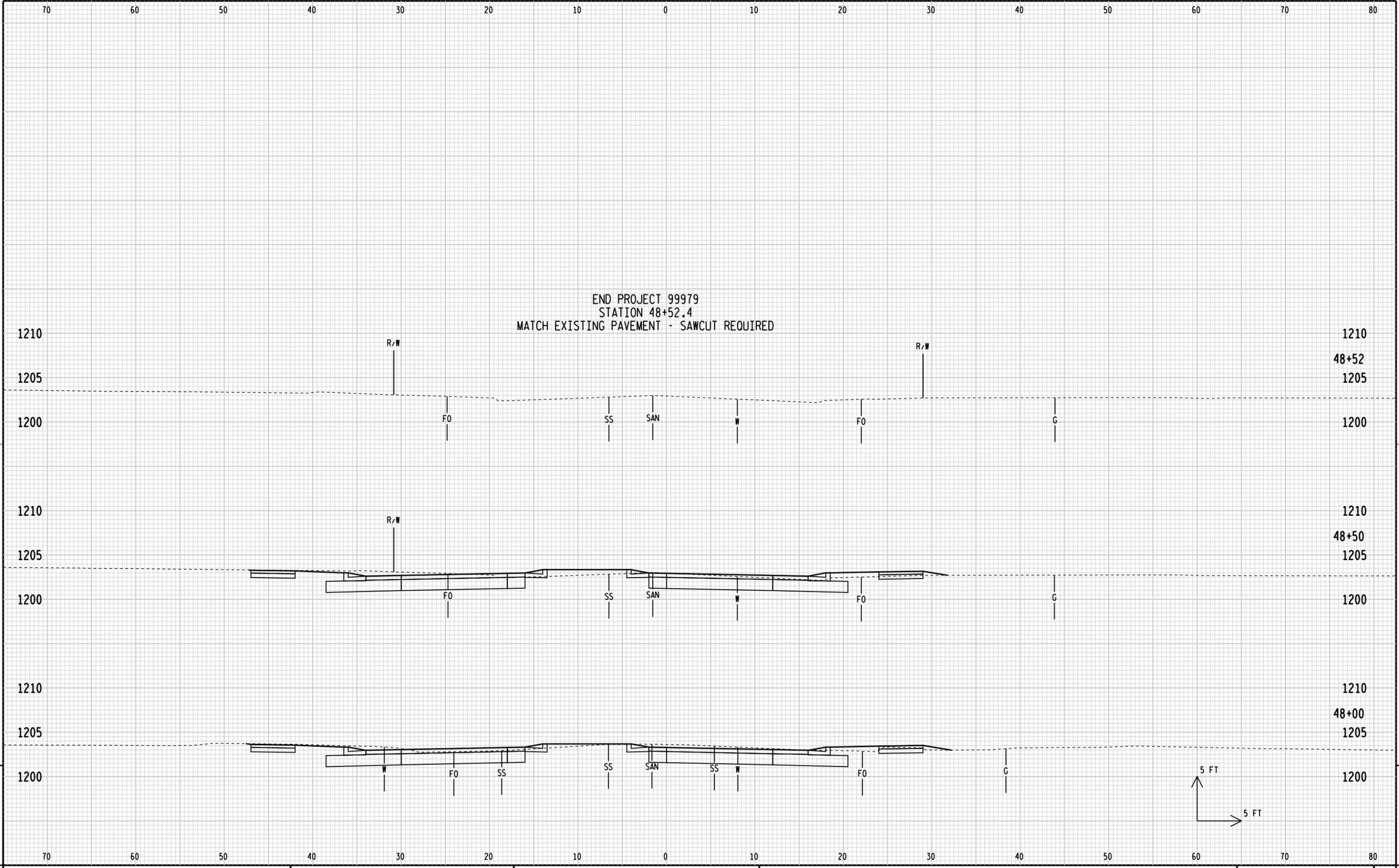
9

9



AECOM PROJECT NUMBER: 99979 | HWY: THOMAS STREET | COUNTY: MARATHON | CROSS SECTIONS: THOMAS STREET | SHEET | 9

80



END PROJECT 99979  
 STATION 48+52.4  
 MATCH EXISTING PAVEMENT - SAWCUT REQUIRED

9

9

AECOM PROJECT NUMBER: 99979	HWY: THOMAS STREET	COUNTY: MARATHON	CROSS SECTIONS: THOMAS STREET	SHEET	E
-----------------------------	--------------------	------------------	-------------------------------	-------	---

Thomas Street (17th Ave to 4th Ave)			2015												2016												2017					
Task	Begin Date	End Date	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	April	May	June
<b>Project Management</b>																																
Coordinate project activities	1/26/15	9/11/15																														
Update AECOM filing system	1/26/15	3/1/15																														
Project kick-off meeting		2/1/15																														
Update project schedule	3/1/15																															
Coordinate City utility improvements	5/1/15																															
Coordinate title search updates	6/1/15																															
<b>Develop Preliminary Horizontal Design</b>																																
Block by Block analysis of sidewalk impacts/develop alignment	2/2/15	3/13/15																														
Horizontal layout of curbs and medians	3/3/15	3/27/15																														
Horizontal layout of intersections	3/16/15	3/31/15																														
Typical Sections	3/16/15	3/31/15																														
<b>Preliminary Vertical Design/Drainage</b>																																
Vertical profile	4/1/15	4/17/15																														
Cross sections	4/20/15	6/5/15																														
Determine impacts to drainage	6/8/15	6/12/15																														
Configure new inlet spacing	6/15/15	6/26/15																														
Delineate drainage basins and calculate runoff	6/15/15	6/26/15																														
Check storm sewer sizing	6/15/15	6/26/15																														
Evaluate TSS reduction treatment	7/6/15	7/24/15																														
Prepare technical memo	7/6/15	7/24/15																														
<b>Preliminary Signal Design</b>																																
Site review	4/1/15	4/10/15																														
Preliminary layout	4/13/15	4/24/15																														
Signal plans	5/4/15	5/29/15																														
Sequence of operation	5/4/15	5/29/15																														
Cable routing and details	5/4/15	5/29/15																														
<b>Preliminary Plans</b>																																
Title Sheet	5/18/15	6/12/15																														
General notes & utilities	5/18/15	6/29/15																														
Typical Sections	5/18/15	6/29/15																														
Plan & profile with storm inlets	5/18/15	6/29/15																														
Cross sections	6/15/15	6/29/15																														
Signal plans, detour	5/18/15	6/29/15																														
Preliminary plan approval (CISM)	7/9/15																															
<b>Right of way Plat</b>																																
Plat	6/15/15	7/31/15																														
CISM plat approval	8/13/15																															
Temporary staking for appraisals	8/17/15	9/1/15																														
Final staking	4/1/16	5/1/16																														
<b>Right of way Services (By Others)</b>																																
Order appraisals/appraisals complete	8/1/15	10/1/15																														
City approves appraisals (CISM)	10/8/15																															
60 day expiration to get land owner appraisals	10/8/15	12/9/15																														
Meetings/negotiations	10/21/15	1/31/16																														
20th day expires, checks mailed, award of damages recorded	2/11/16	3/11/16																														

Thomas Street (17th Ave to 4th Ave)			2015												2016												2017					
Task	Begin Date	End Date	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	April	May	June	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	April	May	June
<b>Final Plans</b>																																
Title Sheet, general notes, typical sections, construction details	8/1/15	12/1/15																														
layout details, erosion control, signing and marking, storm & BMP, detour route, signals, plan & profile, cross section	8/1/15	12/1/15																														
Esimate	12/1/15	12/5/15																														
Technical specs & contract documents	11/1/15	12/1/15																														
Final plan approval (CISM)	12/10/15																															
Bidding	1/1/16	2/11/16																														
Construction	4/15/16	10/15/16																														
<b>Agency Coordination (DNR &amp; Corps, possibly SHPO)</b>																																
Initial coordination with DNR	4/20/15	4/30/15																														
Final Coordination with DNR	12/1/15	1/1/16																														
<b>Utility Coordination</b>																																
Intial coordination letter	4/20/15	4/30/15																														
Final utility meeting	10/1/15																															
Plan mailing with work plan request	10/1/15																															
Work plan review/approval	12/1/15	12/31/15																														
<b>Meetings</b>																																
CISM meetings (monthly)	3/1/15	9/30/15																														
<b>Public Involvement</b>																																
TBD																																
Update mailing list																																
Draft invitation & press release																																
Handout, exhibits, comment form signin sheet																																
PIM No. 1																																
PIM No. 2																																
<b>Property Owner Meetings</b>																																
TBD																																
individual property owner meetings with summaries																																

<b>AGENDA ITEM</b>
Discussion and possible action on withdrawal of initial resolution to hold a public hearing to vacate Clark Street between South 3 <sup>rd</sup> Avenue and South 4 <sup>th</sup> Avenue.
<b>BACKGROUND</b>
Pursuant to Wis. Stats. 66.1003(4)(a), the Council initiated action, upon recommendation of CISM, by the introduction of a Resolution declaring that since the public interest requires it, Clark Street be vacated and discontinued for the development of the block south of Clark Street between 3 <sup>rd</sup> and 4 <sup>th</sup> Avenues by Schierl Sales Companies. Shierl Sales Companies has redesigned the project in such a way as to no longer require the discontinue of Clark Street between 3 <sup>rd</sup> and 4 <sup>th</sup> Avenues.
<b>FISCAL IMPACT</b>
None
<b>STAFF RECOMMENDATION</b>
Due to the redesigned project, staff recommends withdrawal of the initial resolution to hold a public hearing to vacate Clark Street between South 3 <sup>rd</sup> Avenue and South 4 <sup>th</sup> Avenue.
Staff contact: Allen Wesolowski 715-261-6762

AGENDA ITEM
Discussion and possible action on a Stormwater Maintenance Agreement for Wausau Container at 8000 Highland Drive
BACKGROUND
Wausau Container, located in the City’s Business Park, is in the process of constructing a 28,690 sq. ft. building addition to provide warehouse space. The addition is proposed on the north side of the existing building. A drainage swale and an existing stormwater pond (to be re-sized and re-shaped) will accommodate the additional stormwater runoff from the proposed improvements. To ensure properly functioning stormwater facilities year after year, the City requires the owner to sign a maintenance agreement, making the owner inspect and maintain the facilities on a bi-annual basis. The maintenance agreement is attached for your review.
FISCAL IMPACT
None
STAFF RECOMMENDATION
Staff recommends approval of the stormwater maintenance agreement.
Staff contact: Sean Gehin 715-261-6748

AGREEMENT FOR THE MANAGEMENT AND  
MAINTENANCE OF A STORMWATER FACILITY

THIS AGREEMENT made this 23 day of April, 2015, by and between the City of Wausau, a municipal corporation of the State of Wisconsin, hereinafter referred to as "CITY", and Highland Properties West, LLP, a corporation organized under the laws of the State of Wisconsin, hereinafter referred to as "OWNER";

WITNESSETH:

WHEREAS, CITY has an interest in and an obligation for the development, management, and maintenance of stormwater facilities within the corporate limits of the City of Wausau, which interest and obligation is evidenced in CITY's stormwater management ordinance and in this agreement which is being entered into pursuant to that ordinance; and

WHEREAS, OWNER wishes to construct certain buildings on land in the City of Wausau, and as an inducement for CITY to grant to OWNER a permit to construct these improvements, OWNER wishes to enter into this agreement for the management and maintenance of a stormwater facility; and

WHEREAS, the specific provision of the Wausau Municipal Code which provides for stormwater management is Chapter 15.56 of the Wausau Municipal Code, which code provides for the routine and extraordinary post construction maintenance of a stormwater management facility, and such a facility is being herein installed for the use and benefit of the development of OWNER's property, and this agreement will specifically provide for the management and maintenance of that stormwater facility.

NOW, THEREFORE, the parties hereto agree as follows:

1. That attached hereto, and incorporated herein by reference, is "Exhibit A," a map upon which there is located certain improvements and also a "detention pond" which is the subject of this agreement.
2. OWNER specifically agrees to maintain the detention pond in accordance with the schedules and procedures set forth in "Exhibit B" attached hereto and incorporated herein by reference.
3. OWNER specifically grants CITY access to, from and across the property encompassed in "Exhibit A" in order to evaluate and inspect the pond and, in addition to the detention pond, any other stormwater facilities, which evaluation and inspection will, from time to time, be necessary in order to ascertain that the practices concerning management and maintenance are being followed pursuant to CITY's stormwater management ordinances; CITY shall maintain, as a public record, the results of all site inspections, and shall recommend any corrective actions required to bring the stormwater management practices into proper operating condition.
4. Upon notification to OWNER that maintenance deficiencies exist on property, any corrective actions shall be undertaken by OWNER within a time frame as set forth by CITY, which time frame will be reasonable; should OWNER not satisfactorily complete any directives of CITY, as identified in any inspection report or directive, within the time frame provided by CITY, then the parties agree that CITY shall complete any corrective actions and the cost of those actions, including any administrative charges, shall be paid in full by OWNER or, in lieu thereof, shall be placed as a special assessment on the tax rolls of all of the property described on "Exhibit A" pursuant to Wisconsin Statutes.

Recording Area

Name and Return Address

City of Wausau Engineering Dept.  
407 Grant Street  
Wausau, WI 54403

PIN:



## **EXHIBIT A**

See Grading & Drainage Exhibit

## **EXHIBIT B**

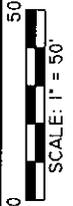
### **STORM WATER FACILITIES MAINTENANCE SCHEDULE AND PROCEDURES FOR WAUSAU CONTAINER 8000 HIGHLAND DRIVE, WAUSAU, WI**

The Land Owner, Highland Properties West, LLC, their successors, and assigns, shall inspect and maintain the following structural and/or non-structural measures. Maintenance inspections by the Owner shall take place at a minimum of twice per year, following Owner's acceptance of the Project from the Site Contractor. Owner shall maintain a written inspection and maintenance log.

Maintenance and inspection shall be performed within the dry detention pond, the pond's outlet structures, and culvert on the site.

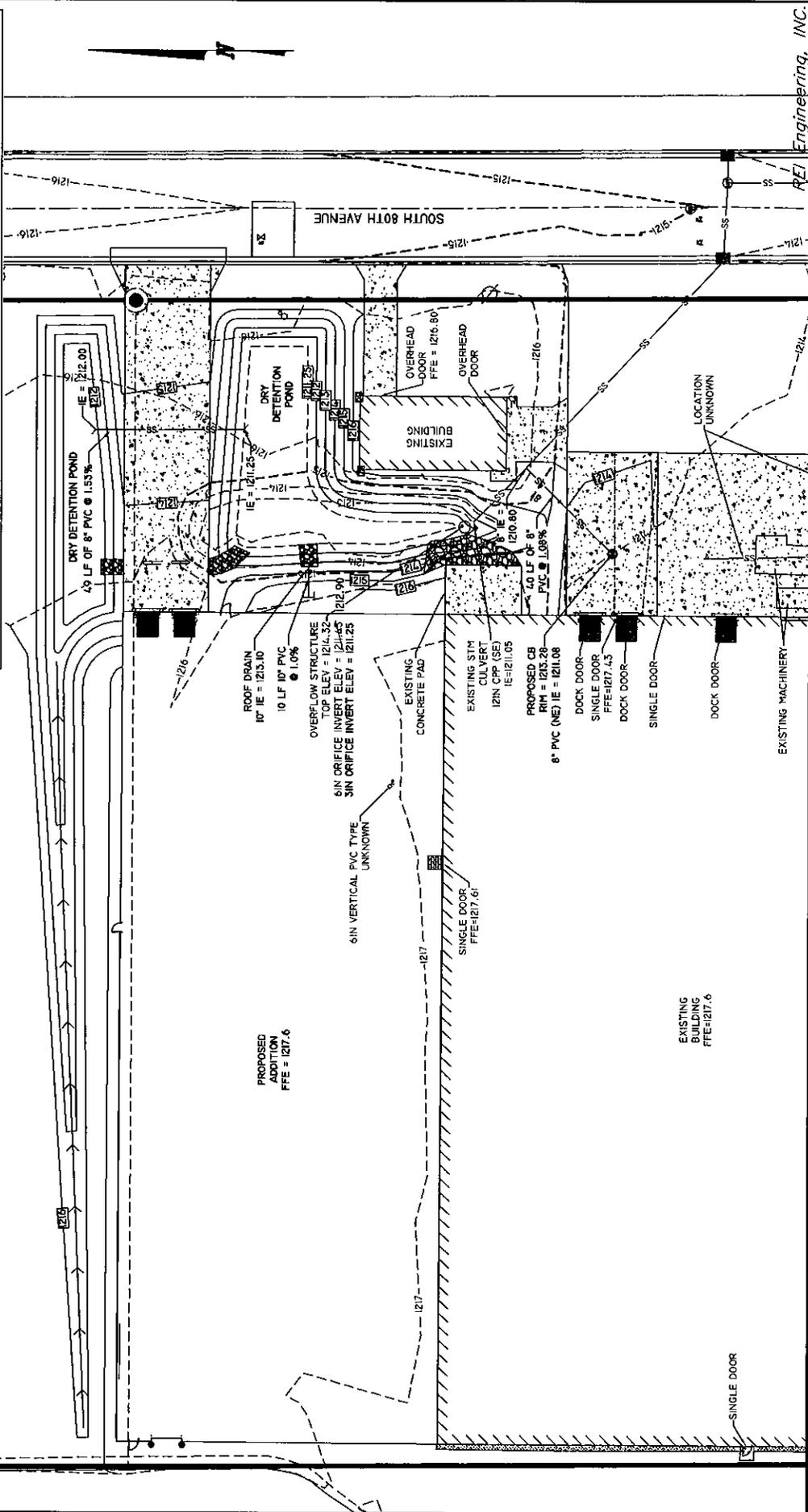
Maintenance at this location shall consist of the following tasks:

1. Debris: Removal of trash, debris, and noxious weeds should be done on a regular basis to maintain aesthetics and functionality of the dry detention pond.
2. Outlet structures: Remove accumulated sediment and/or debris from the outlet structure of the dry detention pond.
3. Riprap: Inspect riprap and replace as may be needed to maintain integrity and a clean appearance of riprap.
4. Mowing: Mow the side slopes, and pond bottom to promote aesthetics and control weed and wooded plant growth.
5. Dry Detention Pond: To the maximum extent practicable, promote even disbursement of stormwater within the dry detention pond. Repair low areas if standing water is present for an extended duration. Remove accumulated sediment from the dry detention pond once sediment interferes with the functionality of the detention area.
6. Culvert: Remove accumulated sediment and/or debris from the on-site culvert.



**LEGAL DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION TWENTY-FIVE (25), TOWNSHIP TWENTY-NINE (29) NORTH, RANGE SIX (6) EAST, IN THE CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHEAST 1/4; THENCE NORTH ALONG THE EAST LINE OF SAID SOUTHEAST 1/4, 33.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH ALONG SAID EAST LINE, 525.00 FEET; THENCE WEST, PARALLEL WITH THE SOUTH LINE OF SAID SOUTHEAST 1/4, 380.00 FEET; THENCE SOUTH, PARALLEL WITH THE EAST LINE OF SAID SE 1/4, 525.00 FEET; THENCE EAST, 380.00 FEET TO THE POINT OF BEGINNING.



**REI Engineering, INC.**

**FIGURE A : GRADING & DRAINAGE EXHIBIT**

**PROJECT NO. 2582B**

**DRAWN BY: NAP**

**DATE: 04/21/15**

**WAUSAU CONTAINER**  
**8000 HIGHLAND DRIVE**  
**WAUSAU, WISCONSIN 54401**

**DRAWING FILE: P:\12500-2599\2582A-WAUSAU-CONTAINER\DWG\EXHIBITS\2582B-GRADING & DRAINAGE.DWG**

Agenda Item No.

6

*STAFF REPORT TO CISM COMMITTEE – June 11, 2015*

**AGENDA ITEM**

Discussion and possible action on dedication of right-of-way and easement for 3385 Horseshoe Spring Road

**BACKGROUND**

This item was before CISM last month and the Committee voted to have staff work with Travis Dzwonkowski from 3385 Horseshoe Spring Road to get an easement and dedication of right-of-way. Staff met with Mr. Dzwonkowski and confirmed the preferred location of the opening and requirements for dedication. The easement agreement and deed for the right of way are included as attachments.

**FISCAL IMPACT**

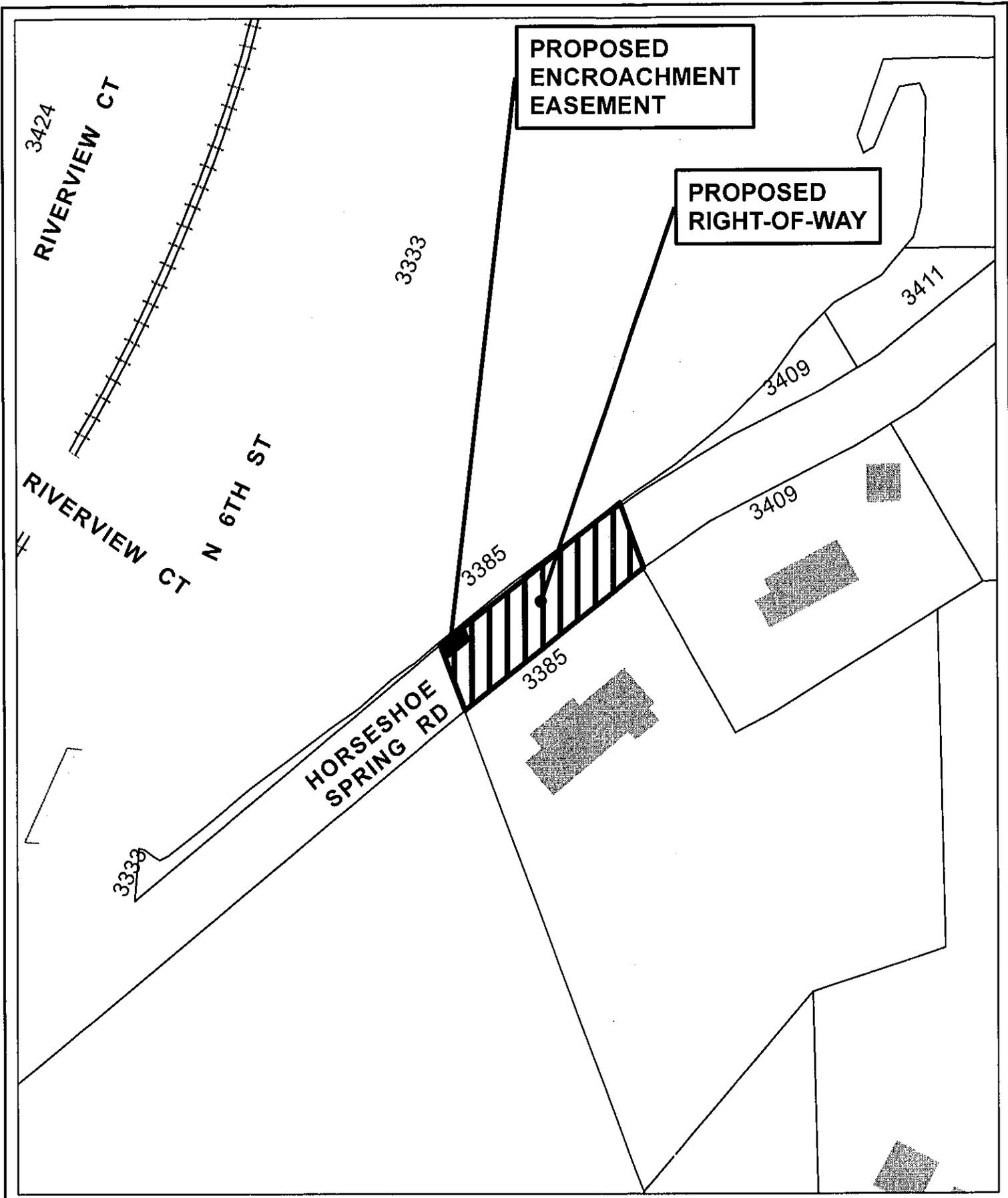
None

**STAFF RECOMMENDATION**

Staff recommends approval of the dedication and easement.

Staff contact: Allen Wesolowski 715-261-6762





**PROPOSED  
ENCROACHMENT  
EASEMENT**

**PROPOSED  
RIGHT-OF-WAY**

3424  
RIVERVIEW CT

3333

3411

3409

RIVERVIEW CT  
N 6TH ST

3409

3385

HORSESHOE  
SPRING RD

3385

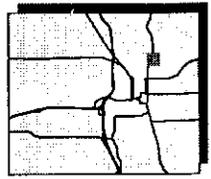
3333



0 25 50 100 Feet  
Map Date: June 3, 2015

**CITY OF WAUSAU**  
Marathon County, Wisconsin

**Legend**  
Right of Way  
Building



**EASEMENT AGREEMENT**

THIS AGREEMENT, made this \_\_\_\_\_ day of \_\_\_\_\_, 2015, by and between the CITY OF WAUSAU, a municipal corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, hereinafter referred to as "CITY", and Travis Dzwonkowski and Jodi Schiller, the owners of land in the City of Wausau adjacent to the stone wall along Horseshoe Spring Road which is the subject of this easement, hereinafter referred to as "OWNER";

WITNESSETH:

WHEREAS, OWNER owns the property known as 3385 Horseshoe Spring Road and also owns property behind the stone wall across the road from his residence in the City of Wausau, and OWNER has requested that CITY grant to them permission by easement to locate an access gate and stairway within the stone wall located in city right-of-way for access to the Jim Moore Creek; and

WHEREAS, CITY is willing to permit this encroachment upon certain terms and conditions, including hold harmless and insurance provisions; and

WHEREAS, the intent of this easement is to allow for OWNER to create an access opening in the wall along Horseshoe Spring Road, said opening centered on the wall approximately 13 feet northeasterly of where said wall crosses the owner's westerly property line; and

WHEREAS, the area encompassed by this easement is described as follows:

Part of the parcel described in Document No. 1685097 recorded in the Office of Register of Deeds for Marathon County, being part of Government Lot 4, Section 24, Township 29 North, Range & East, City of Wausau, Marathon County, Wisconsin, described as follows:

The Northwesternly 10 feet of the Southwesterly 20 feet of the following described proposed Right-of-Way parcel:

That portion of the southern parcel described in said Document No. 1685097, lying between the Northwesternly line of said southern parcel, said line described as lying along the "curb line on Horseshoe Spring Road" in said document, and a line 43 feet Northwesternly of and parallel with said line.

NOW, THEREFORE, the parties hereto agree as follows:

1. CITY grants to OWNER an easement in the stone wall located in city right-of-way along Horseshoe Spring Road across the road from OWNER's property at 3385 Horseshoe Spring Road for the purpose of installing and maintaining an access gate in the stone wall and a stairway within the stone wall located in city right-of-way along Horseshoe Spring Road. The owner must submit plans for approval to the City prior to any work. Any work by the OWNER within the right of way or on the wall must be done by a licensed and bonded contractor with the CITY. The OWNER shall notify the CITY prior to any construction and allow the CITY to inspect any work within the right of way or easement.

Recording Area

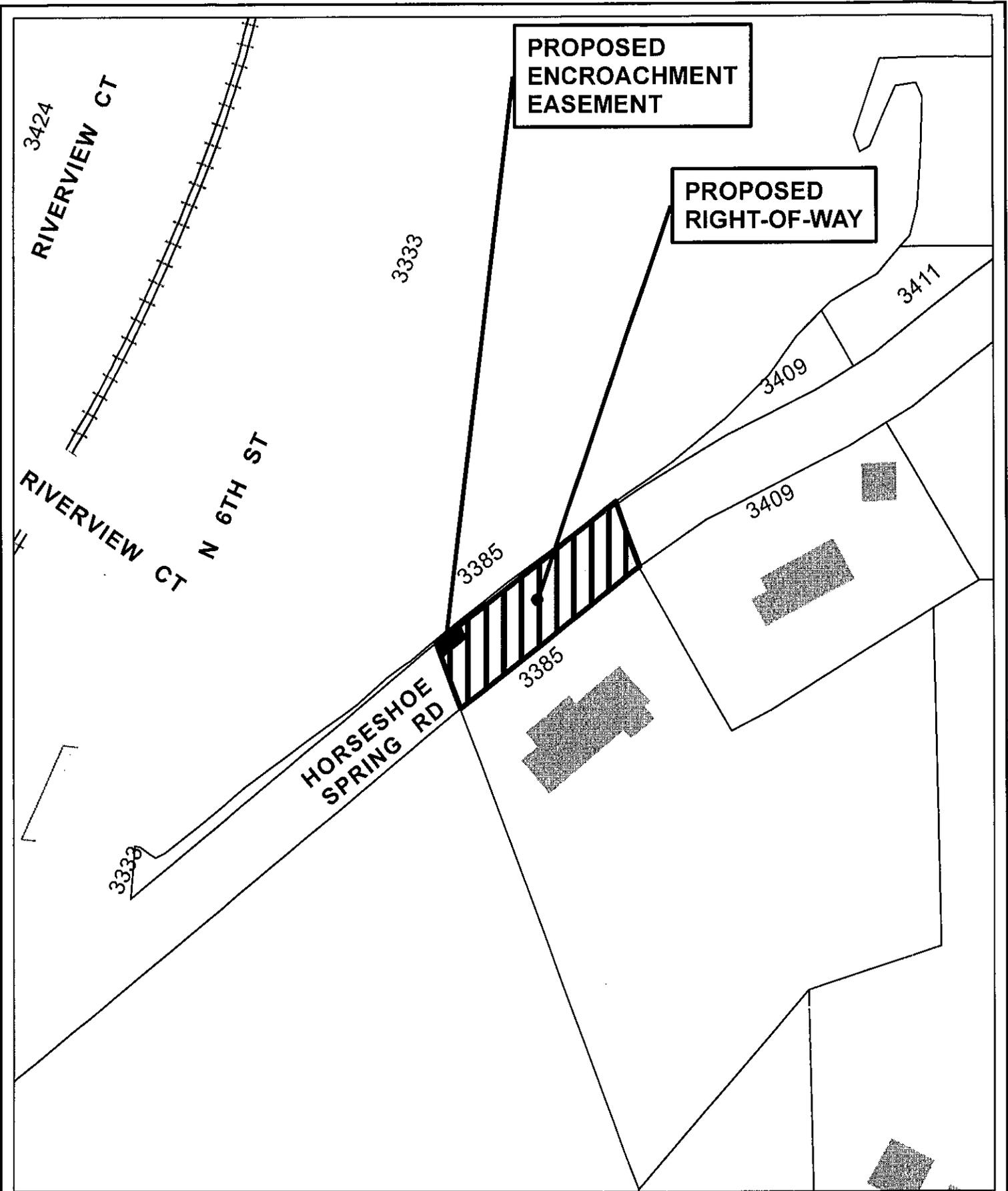
Name and Return Address

City of Wausau Attorney's Office  
407 Grant Street  
Wausau, WI 54403

PIN: 37.291.2907.241.0993

2. OWNER shall maintain liability insurance coverage for their operations on and activities at their location including the easement area, which insurance shall be suitable to CITY and in an amount not less than one million dollars. CITY shall be named as an additional insured on the policy. OWNER shall increase these insurance limits upon request of the CITY.
3. OWNER shall comply with all applicable laws and codes regarding the installation and maintenance of said gate.
4. OWNER agrees to indemnify and hold harmless CITY, its employees, agents, officers and officials, whether hired, appointed or elected, free and harmless from and against any and all judgments, damages, losses, costs, claims, expenses, suits, demands, actions and/or causes of action of any kind or of any nature which may be sustained or to which they may be exposed by reason of injury or injuries to anyone or of the death or deaths of anyone, or by reason of any personal injury and/or real property damage, or by reason of any other liability imposed by law or by anything or by anyone else upon the above-referenced entities and/or individuals as the result of and/or due to OWNER'S and/or anyone else's operations, actions or omissions on the demised premises or on the adjacent premises owned by OWNER and/or as a result of and/or due to the presence of OWNER or anyone else on the demised premises or on any adjacent premises owned by OWNER and/or due to the existence of this agreement; specifically included within this indemnification and hold harmless are attorneys' fees and other costs of defense which may be sustained by and/or occasioned to the above-referenced entities and/or individuals.
5. OWNER agrees to release CITY, its employees, agents, officers and officials, whether appointed, hired or elected, from and against any and all judgments, damages, losses, costs, claims, expenses, suits, demands, actions, and/or causes of action of any kind or of any nature, which may be sustained or to which they may be exposed by reason of injury or injuries to anyone or of the death or deaths of anyone, or by reason of any personal injury and/or real property damage, or by reason of any other liability imposed by law or by anything or by anyone else upon the above-referenced entities and/or individuals as the result of and/or due to OWNER'S and/or anyone else's operations, actions or omissions on the demised premises or any adjacent premises owned by OWNER and/or as a result of and/or due to the presence of OWNER or anyone else on the demised premises or on any adjacent premises owned by OWNER and/or due to the existence of this agreement; specifically included within this release section are attorneys' fees and other costs of defense which may be sustained by and/or occasioned to the above-referenced entities and/or individuals.
6. This agreement and all of its provisions, with the exception of the continuing insurance, hold harmless, and release provisions, which shall continue and survive as required by CITY, shall terminate and become null and void, and the access gate shall be removed by OWNER at their expense within thirty (30) days of notice by CITY. Such removal can be ordered by CITY, at its sole option, for any reason.
7. The terms of this agreement are transferrable by OWNER; however, CITY must be given notice, in writing, of any transfer.





PROPOSED  
ENCROACHMENT  
EASEMENT

PROPOSED  
RIGHT-OF-WAY

3424  
RIVERVIEW CT

RIVERVIEW CT  
N 6TH ST

3333

3385

3385

3409

3411

3409

HORSESHOE  
SPRING RD

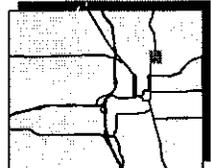
3333



0 25 50 100  
Feet  
Map Date: June 3, 2015

CITY OF WAUSAU  
Marathon County, Wisconsin

Legend  
Right of Way  
Building



Agenda Item No.

7

*STAFF REPORT TO CISM COMMITTEE – June 11, 2015*

**AGENDA ITEM**

Discussion and possible action on an easement to construct, reconstruct, maintain, inspect and/or repair a water main to supply irrigation for the Highway 52 Parkway Median

**BACKGROUND**

An easement is required on the Super 8 property in order to install the irrigation line to the STH 52 median irrigation system. According to our old construction plans an unrecorded easement was noted for the sanitary sewer line. The easement has been drafted and if the special council meeting on June 24, 2015 is confirmed it will be requested to be placed on this agenda or it will go to the July 14, 2015 council meeting.

**FISCAL IMPACT**

No fiscal impact for this easement.

**STAFF RECOMMENDATION**

Staff recommends approval of the easement.

Staff contact: Eric Lindman 715-261-6745

**EASEMENT AGREEMENT**

Document Title

THIS AGREEMENT, made this \_\_\_\_\_ day of \_\_\_\_\_, 2015, by and between SUNSHINE HOSPITALITY CORPORATION, Grantor, and the CITY OF WAUSAU, a municipal corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Grantee;

**WITNESSETH:**

That in consideration of the sum of one dollar (\$1.00) and other good and valuable consideration paid to Grantor by Grantee, receipt of which is hereby acknowledged, Grantor, has this day conveyed, transferred, and delivered unto Grantee a permanent easement and right-of-way and perpetual right to enter upon the real estate hereinafter described at any time to construct, reconstruct, maintain, inspect and/or repair a water main which may be constructed through and under the lands hereinafter described.

The permanent easement and perpetual right of entry is described as follows:

Part of Parcel 2 of Certified Survey Map No. 4194 recorded in the office of Register of Deeds for Marathon County in Volume 15 of Certified Survey Maps on page 192, being part of the SE¼ of the SW¼, Section 27, Township 29 North, Range 7 East, City of Wausau, Marathon County, Wisconsin, described as follows: Commencing at the Northeast corner of said Parcel 2, the point of beginning;

Thence South, along the East line of said Parcel 2, 185.30 feet to the Southerly line of said Parcel 2; thence West, along said Southerly line, 30 feet to a line 30 feet Westerly of and parallel with said East line; thence North, along said parallel line, to the Northerly line of said Parcel 2; thence Easterly, along said Northerly line, approximately 30 feet to said Northeast corner of Parcel 2, the point of beginning.

There is an existing sanitary sewer easement in the area of this easement, within which Grantee is given permission to install a water main that will run within the existing easement.

Grantor further agrees to allow Grantee permission to connect this water main to the Grantor's existing water service.

In further consideration of this easement by Grantor, Grantee forever agrees to hold Grantor harmless from all damages, loss, or claims which may arise from the existence, use, and/or maintenance of said permanent easement. Grantee further agrees that it will attempt to return the disturbed lands subject to this easement to a similar condition which existed prior to the construction.

No buildings or structures except surface improvements such as, but not limited to, asphalt pavement, sidewalk, curb and gutter, etc. shall be constructed upon or across the permanent easement lands; nor shall large trees be planted upon the permanent easement lands, but small trees and shrubs not exceeding approximately eight feet in height at maturity are permitted.

Grantor covenants that it is lawfully seized and possessed of the real estate above described and that it will defend the title thereto against the lawful claims of all persons whomsoever.

Recording Area

Name and Return Address

City of Wausau Engineering Department  
407 Grant Street  
Wausau, WI 54403

PIN: 291-2907-273-0985

This agreement shall run with the land, encumbering the property encompassed by the easement in perpetuity, and shall be binding upon and shall inure to the benefit of the parties hereto and to their respective successors and assigns.

IN WITNESS WHEREOF, this agreement has been duly executed the day and year first above written.

CITY OF WAUSAU BY:

SUNSHINE HOSPITALITY CORPORATION BY:

\_\_\_\_\_  
James E. Tipple, Mayor

\_\_\_\_\_

\_\_\_\_\_  
Toni Rayala, Clerk

\_\_\_\_\_

STATE OF WISCONSIN )  
                                  ) ss.  
COUNTY OF MARATHON)

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 2015, the above named James E. Tipple, Mayor, and Toni Rayala, Clerk for the City of Wausau, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, Wisconsin  
My commission expires: \_\_\_\_\_

STATE OF WISCONSIN )  
                                  ) ss.  
COUNTY OF MARATHON)

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 2015, the above named \_\_\_\_\_, of SUNSHINE HOSPITALITY CORPORATION, to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, Wisconsin  
My commission expires: \_\_\_\_\_

<b>AGENDA ITEM</b>
Discussion and possible action on granting an easement at 1901 Westwood Center Boulevard for construction of a parking lot
<b>BACKGROUND</b>
<p>A new healthcare facility is being planned for 1801- 1901 Westwood Center Boulevard. The plans, thus far approved by Plan Commission, show a parking lot at the corner of Westwood Center Boulevard and Westwood Drive that encroaches into current city right-of-way. The attached site plan shows the requested 15-foot easement needed to construct a row of 30 parking stalls. Westwood Center Boulevard, as seen in the attached aerial photo, contains two travel lanes in each direction, with sidewalks on the north side of the street. Staff does not anticipate that this roadway will need to be expanded in the future to accommodate additional travel lanes or that sidewalks will be added on the south side of the street. After the proposed easement, there would still be approximately 13 feet from the curb on Westwood Center Boulevard to the curb of the parking lot, although they would be separated vertically a substantial distance.</p> <p>Staff will need to work with the developers regarding the details of the vertical separation, clear-zone requirements for Westwood Center Boulevard, and related right-of-way needs.</p>
<b>FISCAL IMPACT</b>
None
<b>STAFF RECOMMENDATION</b>
Staff recommends that the 15 foot easement be granted to allow for construction of a parking lot, and that details of an easement agreement be developed further.
Staff contact: Brad Lenz 715-261-6753



### Legend

- Parcels
- Railroad
- Paved Road
- Divided Highway
- Stream - River
- Pond - Lake
- Wausau Wetland

Map Created: 6/4/2015

44.54 0 44.54 Feet

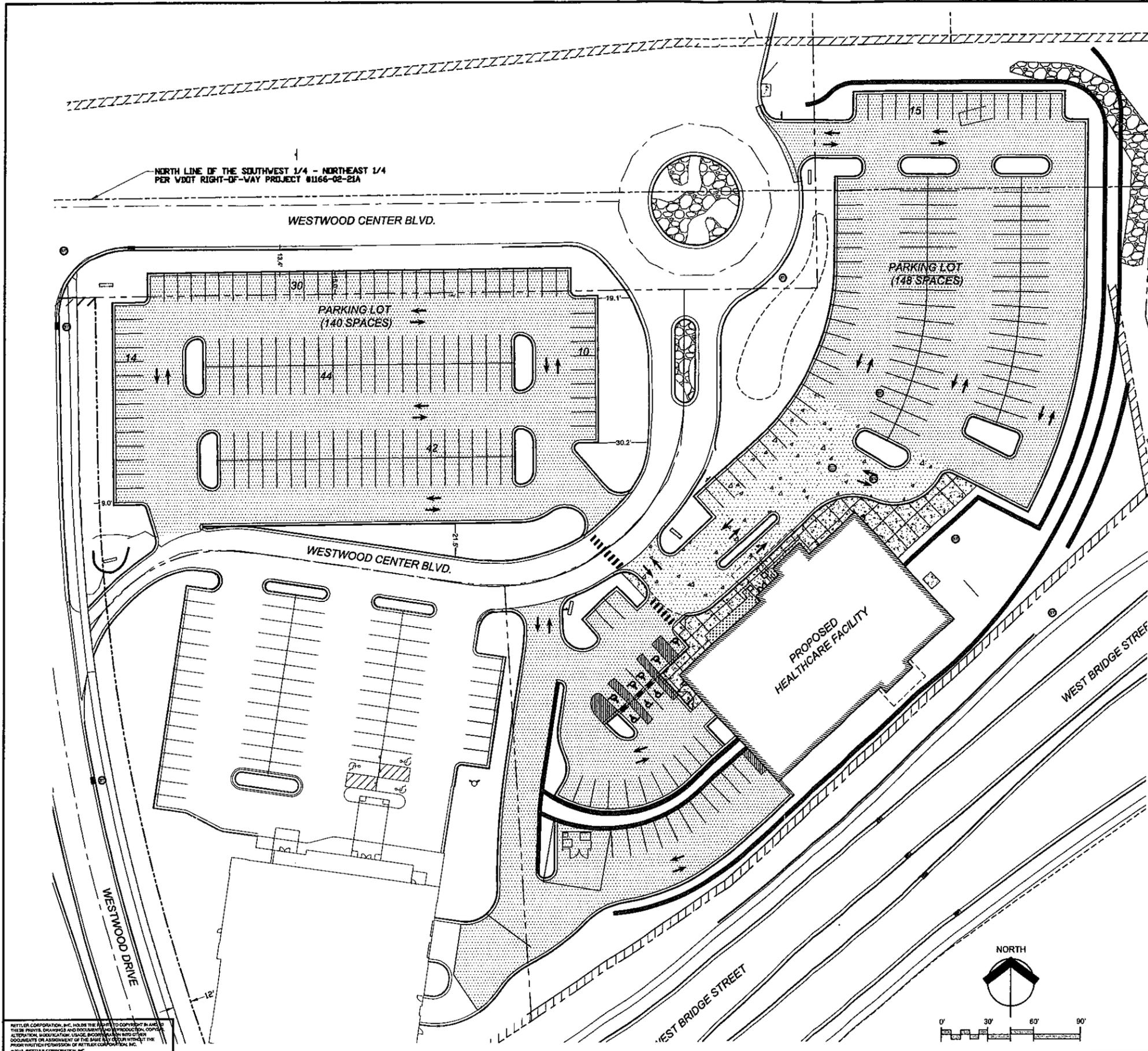


**DISCLAIMER:** The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

User\_Defined\_Lambert\_Conformal\_Conic

### Notes



RETTLER CORPORATION, INC. HOLDS THE RIGHT TO COPY AND TO REPRODUCE IN ALL MEDIA THESE PRINTS, DRAWINGS AND DOCUMENTS AND TO REPRODUCE, COPY, REPRODUCE, TRANSMIT, OR OTHERWISE MAKE AVAILABLE TO ANY OTHER PARTY ANY INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF RETTLER CORPORATION, INC. ©2015 RETTLER CORPORATION, INC.

**SITE LAYOUT GENERAL NOTES**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
- SEED, FERTILIZE, AND CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS EXCEPT THOSE AREAS INDICATING SOD.
- ALL CONTRACTORS SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING SITE CONDITIONS PRIOR TO THE BID DATE.
- ALL RADIUS DIMENSIONS AT CURB LOCATIONS ARE TO THE BACK OF CURB.
- CURB ALONG THE STREET SHALL BE THE SAME SIZE AS THE EXISTING CURB ON THE STREET.

**SITE LAYOUT GENERAL NOTES**

- 1 PARKING LOT STRIPING (TYP.)
- 2 DIRECTIONAL ARROWS (TYP.)
- 3 24" CURB & GUTTER - TYPE A - CATCH
- 4 24" CURB & GUTTER - TYPE B - REJECT
- 5 CURB TERMINUS
- 6 PRECAST CONCRETE PARKING CURB STOP
- 7 CONCRETE DRIVE APRON
- 8 CONCRETE DRAINAGE FLUME
- 9 STANDARD ACCESSIBLE PARKING SIGN
- 10 VAN ACCESSIBLE PARKING SIGN
- 11 ADA ACCESSIBLE CURB RAMP
- 12 CROSSWALK STRIPING
- 13 CONCRETE WALK - STAIRS & HANDRAILS
- 14 ELECTRICAL SERVICE & TRANSFORMER - BY ELEC. CONTRACTOR  
8'-6" x 7'-0" CONCRETE TRANSFORMER PAD BY ELEC. CONTRACTOR  
SEE ELECTRICAL PLANS FOR DETAILS
- 15 ARMOR TILE, MODEL ADA-C-2424, COLONIAL RED - DETECTABLE WARNING TILES  
- 2' W x 2' L, CAST IN PLACE TILES  
- \*INSTALL PER MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS\*
- 16 SITE ENTRY FEATURE / SIGNAGE - BY OTHERS  
- SEE ARCHITECTURAL PLANS FOR DETAILS
- 17 BUILDING DOWN SPOUT & SCUPPER - BY OTHERS  
- SEE ARCHITECTURAL / PLUMBING PLANS FOR DETAILS
- 18 SITE DUMPSTER PAD & WASTE STORAGE ENCLOSURE  
- SEE ARCHITECTURAL PLANS FOR DETAILS
- 19 SITE LIGHTING FIXTURES & BASES - BY ELEC. CONTRACTOR  
- SEE ELECTRICAL PLANS FOR DETAILS
- 20 PAINTED, STEEL SAFETY BOLLARD  
- IRONSMITH PHOENICIAN, MODEL 9028-6  
- FILL W/ CONCRETE PER MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS  
- PAINT TO MATCH CURTAINWALL - SEE ARCHITECTURAL PLANS FOR DETAILS
- 21 DUMPSTER ENCLOSURE & 7' UN-REINFORCED CONCRETE SLAB  
- 8' TALL, CERTAINTED BUEFTECH CHESTERFIELD ENCLOSURE  
- CERTAINGRAIN FINISH, NATURAL CLAY COLOR  
- ENCLOSURE TO INCLUDE (2), MATCHING, 5' SWINGING DOORS
- 22 FORMS & SURFACES, CAPITOL, BIKE RACK  
- ALUMINIUM TEXTURE POWDERCOAT FINISH  
- QUANTITY

**SITE LAYOUT GENERAL NOTES**

- 4" TYPE E-1.0, HOT MIX ASPHALT  
12" DENSE GRADED BASE COURSE
- 5" REINFORCED CONCRETE PAVEMENT  
6" DENSE GRADED BASE COURSE
- 8" REINFORCED CONCRETE DRIVE APRON  
12" DENSE GRADED BASE COURSE
- 6"-8" RIVER JAM ROCK
- 6' HIGH, CHAIN LINK, CONSTRUCTION FENCING (SHALL REMAIN IN PLACE UNTIL PROJECT COMPLETION)

**PRELIMINARY DRAFT  
NOT FOR CONSTRUCTION**

REV	DATE	ISSUED FOR
A	9/4/15	PLAN COMM

DRAWN	JX
CHECKED	JB
DOCUMENT NO.	15.021

**RETTLER**  
corporation  
1517 Business Park Dr., Stevens Point, WI 54482  
Telephone: 715-341-2833, Fax: 715-341-0437  
email: info@rettlar.com, website: www.rettlar.com

SITE LAYOUT PLAN

MEDICAL OFFICE BUILDING  
1901 WESTWOOD CENTER BLVD  
WAUSAU, WISCONSIN

AGENDA ITEM
Discussion and possible action on installing signs for Wausau Main Street Inc. in City right-of-way
BACKGROUND
Main Street Wausau received two (2) promotional signs that they would like to install somewhere within their district boundaries. The signs would inform people that Wausau is a Wisconsin Main Street community, and alert them to when they are entering the district. The signs would be placed in city right-of-way where they would be visible but not obstructive. The proposed locations are near the intersection of Stewart Avenue and 2 <sup>nd</sup> Avenue, and near the intersection of Grant Street and 5 <sup>th</sup> Street. DPW staff will be consulted for precise locations.
FISCAL IMPACT
None
STAFF RECOMMENDATION
Staff recommends authorization of signs to be placed in city right-of-way near the intersection of 2 <sup>nd</sup> and Stewart Avenues, and near the intersection of Grant and 5 <sup>th</sup> Streets.
Staff contact: Brad Lenz 715-261-6753

Agenda Item No.

10

*STAFF REPORT TO CISM COMMITTEE – June 11, 2015*

**AGENDA ITEM**

Discussion and possible action on Amendment to the Transportation Project Plat for STH 52, Project ID 6999-03-28

**BACKGROUND**

The plat for this project was previously approved. The consultant is proposing to revise the plat to minimize the right-of-way taking from Marathon County. This revision will allow the existing sign to stay in place.

**FISCAL IMPACT**

There is no fiscal impact to the City because the WDOT is reimbursing the City 100% of the real estate costs. The savings would be to the WDOT.

**STAFF RECOMMENDATION**

Staff recommends approving the revised Transportation Project Plat.

Staff contact: Allen Wesolowski 715-261-6762

TRANSPORTATION PROJECT PLAT NO: 6999-03-28 - 4.03 AMENDMENT NO:1  
 AMENDS PARCEL NO: 2 OF TRANSPORTATION PROJECT PLAT 6999-03-28 - 4.03  
 RECORDED AS DOCUMENT NO: 1688151 FILED IN CAB 3 PG 540A

C WAUSAU, HIGHWAY 52 (17TH AVENUE TO FIRST STREET)

PART OF LOT 2, BLOCK 7, A. WARREN JR'S, WEST ADDITION TO THE CITY OF WAUSAU, LOCATED IN THE SE 1/4 OF THE SW 1/4, SECTION 26 AND PART OF LOT 10, BLOCK 12, A. WARREN JR'S, WEST ADDITION AND PART OF LOT 1, CSM NO. 15830, DOCUMENT NO. 1572954 BEING A PART OF LOT 11, BLOCK 11, A. WARREN JR'S, WEST ADDITION TO THE CITY OF WAUSAU, LOCATED IN THE NE 1/4 OF THE NW 1/4, SECTION 35, ALL IN TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.

FOR ADDITIONAL INFORMATION REFER TO THE TITLE RECORDS IN THE OFFICE OF THE REGISTER OF DEEDS IN MARATHON COUNTY AS SHEET 2 OF 2 OF DOCUMENT NUMBER 1687902.

RELOCATION ORDER STH 52, MARATHON COUNTY

TO PROPERLY ESTABLISH, LAY OUT, WIDEN, ENLARGE, EXTEND, CONSTRUCT, RECONSTRUCT, IMPROVE, OR MAINTAIN A PORTION OF THE HIGHWAY DESIGNATED ABOVE, THE CITY OF WAUSAU DEEMS IT NECESSARY TO RELOCATE OR CHANGE SAID HIGHWAY AND ACQUIRE CERTAIN LANDS AND INTERESTS OR RIGHTS IN LANDS FOR THE ABOVE PROJECT.

TO EFFECT THIS CHANGE, PURSUANT TO AUTHORITY GRANTED UNDER SECTION 62.22, WISCONSIN STATUTES, THE CITY OF WAUSAU

1. THAT PORTION OF SAID HIGHWAY AS SHOWN ON THIS PLAT IS Laid OUT AND ESTABLISHED TO THE LINES AND WIDTHS AS SO SHOWN FOR THE ABOVE PROJECT.  
 2. THE LANDS OR INTERESTS OR RIGHTS IN LANDS AS SHOWN ON THIS PLAT ARE REQUIRED BY THE CITY FOR THE ABOVE PROJECT AND SHALL BE ACQUIRED IN THE NAME OF THE CITY OF WAUSAU, PURSUANT TO THE PROVISIONS OF SECTION 62.22, WISCONSIN STATUTES.

SCHEDULE OF LANDS & INTERESTS REQUIRED

OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE DEPARTMENT

SHEETS	PARCEL NUMBER	OWNER(S)	INTEREST REQUIRED	R/W S.F. REQUIRED		P.L.E. S.F.	T.L.E. S.F.
				NEW	EXISTING		
4.01, 4.02	2	MARATHON COUNTY	FEET/ILE	70	70	-	110
-	-	-	-	-	-	-	-
5	5	MICHAEL T. DODGE	T.L.E.	-	-	-	181
-	-	-	-	-	-	-	-

UTILITY INTERESTS REQUIRED			
UTILITY NUMBER	OWNER(S)	INTEREST REQUIRED	RELEASE OF RIGHTS
202	WAUSAU COMMUNITY AREA NETWORK		

ACCEPTED FOR RECORDING AND FILING IN THE OFFICE OF THE REGISTER OF DEEDS IN MARATHON COUNTY, WISCONSIN AT ... M ON ... AS DOCUMENT ... AND FILED IN ...

\_\_\_\_\_  
 SIGNATURE OF REGISTER OF DEEDS

RESERVED FOR REGISTER OF DEEDS PROJECT NUMBER 6999-03-28-4.03 AMENDMENT NO.1

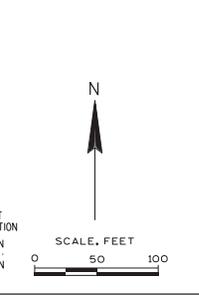
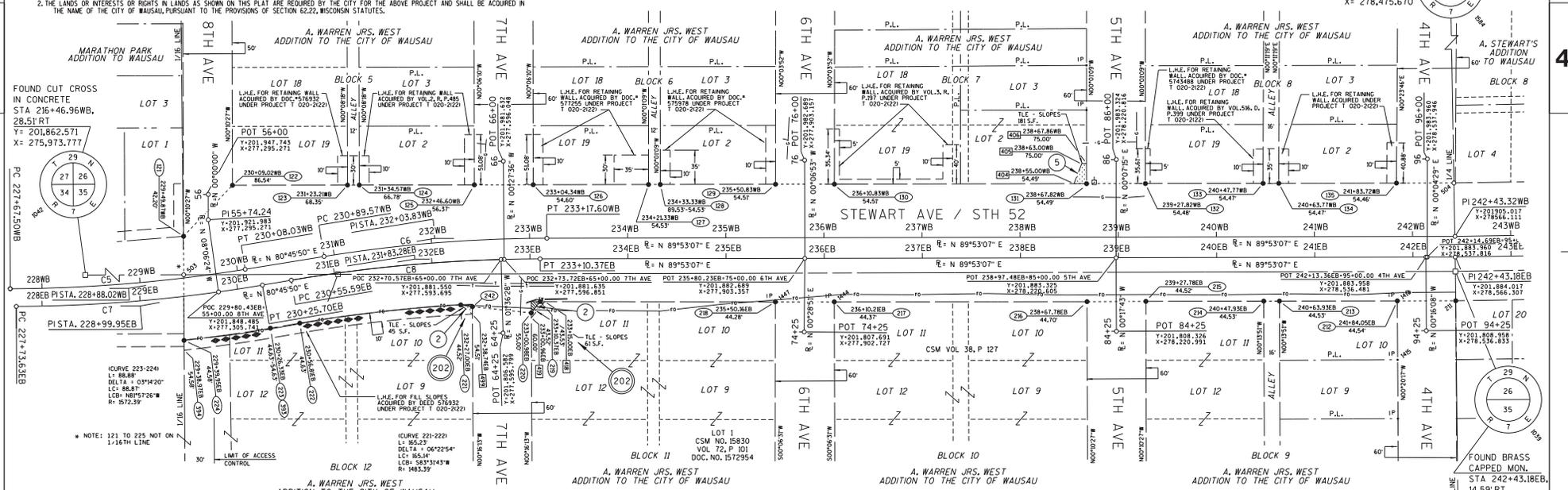
SE-SW  
 SEC 26-29-TE

CITY OF WAUSAU

ROAD NAME	BASIS OF EXISTING R/W	YEAR
STH 52	PLAN OF A. WARREN JR'S, WEST ADDITION TO THE CITY OF WAUSAU	1882
STH 52	R/W PROJECT NO. 1020-2-2221	1965

EASEMENT TABLE			
UTILITY	RECORDING INFORMATION	PARCEL	
202	NO RECORD	2	
	NO RECORD		
	EASEMENT	2	

FOUND SURVEY MARKER PIN  
 Y = 207,172.940  
 X = 278,475.670



COURSE DATA (SEGMENTS)				COURSE DATA (TRAVERSE)			
PT.-PT.	BEARING	DISTANCE	PT.-PT.	BEARING	DISTANCE	PT.-PT.	BEARING
102-101	N89°53'26\"	12.00	103-102	N01°11'29\"	29.86	101-102	N89°53'26\"
103-104	N89°53'26\"	12.00	211-215	S89°53'26\"	315.83	104-105	N89°53'26\"
104-105	N89°53'26\"	117.28	216-218	S89°42'36\"	60.00	105-106	N89°53'26\"
105-106	N89°53'26\"	60.00	218-217	S89°53'37\"	251.57	106-107	N89°53'26\"
106-107	N89°53'26\"	117.49	217-218	S89°53'53\"	60.04	107-108	N89°53'26\"
107-108	N89°53'26\"	12.00	218-219	N00°55'53\"	239.79	108-109	N89°53'26\"
108-109	N89°53'26\"	117.49	219-220	S38°04'43\"	14.65	109-110	N89°53'26\"
109-110	N89°53'26\"	60.00	220-242	N84°00'36\"	60.36	110-111	N89°53'26\"
110-111	N89°53'26\"	211.00	242-201	N04°03'37\"	11.98	111-112	N89°53'26\"
111-112	N89°53'26\"	60.00	222-223	S80°00'36\"	30.44	112-113	N89°53'26\"
112-113	N89°53'26\"	117.49	224-205	N00°05'54\"	6.16	113-114	N89°53'26\"
113-114	N89°53'26\"	60.00	225-503	N00°15'39\"	60.13	114-115	N89°53'26\"
114-115	N89°53'26\"	119.99	503-101	N00°15'39\"	39.15	115-116	N89°53'26\"
115-116	N89°53'26\"	58.95	101-122	N41°49'15\"	71.98	116-117	N89°53'26\"
116-117	N89°53'26\"	59.56	102-504	N89°53'26\"	124.98	117-118	N89°53'26\"
117-118	N89°53'26\"	110.19	504-1039	S00°58'52\"	90.09	118-119	N89°53'26\"
118-119	N89°53'26\"	215.24				119-120	N89°53'26\"
119-120	N89°53'26\"	120.15				120-121	N89°53'26\"
120-121	N89°53'26\"	36.50				121-122	N89°53'26\"
121-122	N89°53'26\"	120.15				122-123	N89°53'26\"
122-123	N89°53'26\"	120.15				123-124	N89°53'26\"
123-124	N89°53'26\"	129.18					

STATION - OUT TABLE		
POINT	STATION	OUT
242	232-935.00	41.00 RT

NE-NW  
 SEC 35-29-TE

CITY OF WAUSAU

RECOVERED MONUMENTS		
POINT	Y	DESCRIPTION
1414	201839.30	278507.25 400 NAIL
1415	201179.58	278507.60 1\"
1444	201838.38	277933.42 1\" IRON PIPE
1447	201838.35	277813.38 1\" REBAR

CURVE 5  
 PISTA. 228+88.02WB  
 Y=201852.164  
 X=277213.332  
 DELTA=190112 LT.  
 L=120.52'  
 R=240.53'  
 R=1527.89'

CURVE 6  
 PISTA. 230+03.83WB  
 Y=201852.338  
 X=277526.338  
 DELTA=189717 RT.  
 L=114.26'  
 R=228.03'  
 R=1432.39'

CURVE 8  
 PISTA. 231+83.28EB  
 Y=201818.92  
 X=277505.813  
 DELTA=189717 RT.  
 L=127.69'  
 R=254.19'  
 R=1527.89'

CURVE 7  
 PISTA. 228+99.95EB  
 Y=201834.209  
 X=277225.946  
 DELTA=189717 LT.  
 L=126.32'  
 R=252.07'  
 R=1527.89'



DUANE A. HOLMAN, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF SECTION 84.095 OF THE WISCONSIN STATUTES AND UNDER THE DIRECTION OF THE CITY OF WAUSAU, HAVE SURVEYED AND MAPPED TRANSPORTATION PROJECT PLAT 6999-03-28-4.03 AND THAT SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES OF THE SURVEYED LAND.

\_\_\_\_\_  
 DUANE A. HOLMAN  
 P.L.S. NUMBER 1294

THIS PLAT AND RELOCATION ORDER ARE APPROVED FOR THE CITY OF WAUSAU.

\_\_\_\_\_  
 JAMES E. TIPPLE, MAYOR



<b>AGENDA ITEM</b>
Discussion on estimated costs for 2015 projects compared to bid costs
<b>BACKGROUND</b>
Attached are project registers for 2015 Street Construction Projects A, B, D and E. (Project C is 2 <sup>nd</sup> Avenue and Clark Street, which has not been bid out yet.) Attached to each project register is a breakdown of estimated costs prior to the bid opening and a breakdown of actual costs based upon the awarded bid. The project costs will continue to be monitored as pay requests are received.
<b>FISCAL IMPACT</b>
Discussions will be held with the Finance Department on any budget shortfalls.
<b>STAFF RECOMMENDATION</b>
This item is for informational purposes only.
Staff contact: Eric Lindman 715-261-6745

Project Register for Project A 2015		Total Unobligated	Total Obligated	Total Expended	Total Unexpended
		\$34,562.25	\$231,335.25	\$0.00	\$265,897.50
Project Funds		Project Funds	Amount Obligated	Amount Expended	Code Key
		Initial Budget	\$265,897.50		I
		Amendment Total:	\$0.00		A
		Contractor: <b>Steen</b>	\$231,335.25	\$0.00	C1
	Total	\$265,897.50	\$231,335.25	\$0.00	
Payment Overview		Retainage		\$0.00	
		Amount Earned to Date		\$0.00	
Date	Description	Code	Project Funds Obligated	Expended	
05/08/15	Initial Budget (Street)	I	\$181,114.50		
	Initial Budget (Water)	I	\$2,600.00		
	Initial Budget (Sanitary)	I	\$62,370.00		
	Initial Budget (Storm)	I	\$19,813.00		
03/31/15	Contract Award (Streets)	C1		\$162,755.25	
	Contract Award (Water)	C1		\$2,275.00	
	Contract Award (Sanitary)	C1		\$49,000.00	
	Contract Award (Storm)	C1		\$17,305.00	
	Payment #1 (Street)	C1			
	Payment #1 (Water)	C1			
	Payment #1 (Sanitary)	C1			
	Payment #1 (Storm)	C1			
<b>Total</b>			<b>\$265,897.50</b>	<b>\$231,335.25</b>	<b>\$0.00</b>

**CITY OF WAUSAU 2015 STREET CONSTRUCTION PROJECT "A"**

**Estimate**

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
1	Clearing	id	90	\$10	90	900.00	900.00			
2	Grubbing	id	90	\$10	90	900.00	900.00			
3	Removing Curb & Gutter	lf	113	\$3	113	339.00	339.00			
4	Removing Concrete Driveway	sy	134	\$4	134	536.00	536.00			
5	Removing Manholes	ea	1	\$250	1	250.00		250.00		
6	Removing Inlets	ea	2	\$200	2	400.00		400.00		
7	Removing Storm Sewer	lf	127	\$5	127	635.00		635.00		
8	Removing Sanitary Sewer	lf	750	\$5	750	3,750.00			3,750.00	
9	Excavation Common	cy	2,062	\$10	2,062	20,620.00	20,620.00			
10	Base Aggregate Dense 1¼ inch	cy	1,196	\$23	1,196	27,508.00	27,508.00			
11	Asphaltic Material PG 58-28	ton	49	\$100	49	4,900.00	4,900.00			
12	Tack Coat	gal	107	\$6	107	642.00	642.00			
13	HMA Pavement Type E-1	ton	512	\$61	512	31,232.00	31,232.00			
14	HMA Pavement Type E-3	ton	297	\$63	297	18,711.00	18,711.00			
15	Asphaltic Surface Driveways (E-0.3)	ton	4	\$150	4	600.00	600.00			
16	Asphaltic Curb	lf	50	\$20	50	1,000.00	1,000.00			
17	Concrete Curb & Gutter 30-inch Type D	lf	2,345	\$10	2,345	23,450.00	23,450.00			
18	Concrete Sidewalk 6-Inch	sf	4,614	\$4	4,614	18,456.00	18,456.00			
19	Storm Sewer Pipe Reinforced Concrete Class IV 12-inch	lf	93	\$40	93	3,720.00		3,720.00		
20	Storm Sewer Pipe Reinforced Concrete Class IV 15-inch	lf	99	\$42	99	4,158.00		4,158.00		
21	Manhole Covers Type J-Special (Storm and Sanitary)	ea	4	\$500	4	2,000.00		1,000.00	1,000.00	
22	Inlet Covers Type C	ea	1	\$500	1	500.00		500.00		
23	Inlet Covers Type H	ea	4	\$500	4	2,000.00		2,000.00		
24	Catch Basins 2x3-Ft	ea	4	\$1,000	4	4,000.00		4,000.00		
25	Manholes 4-Ft Diameter	ea	1	\$1,750	1	1,750.00		1,750.00		
26	Sanitary Sewer PVC-SDR35 8-Inch	lf	750	\$40	750	30,000.00			30,000.00	
27	Sanitary Sewer Manholes (48-inch Dia)	ea	1	\$2,000	1	2,000.00			2,000.00	
28	Sanitary Sewer Wyes (PVC)	ea	12	\$300	12	3,600.00			3,600.00	
29	Live Main Tap Saddles	ea	8	\$300	8	2,400.00			2,400.00	
30	Connect Sanitary Sewer Lateral	lf	690	\$28	690	19,320.00			19,320.00	
31	8" Non-Shear Coupling	ea	1	\$300	1	300.00			300.00	
32	Adjust Water Valve Box	ea	13	\$200	13	2,600.00				2,600.00
33	Mobilization	ls	1	\$7,500	1	7,500.00	7,500.00			
34	Water	Mgal	10	\$40	10	400.00	400.00			
35	Silt Fence	lf	417	\$2	417	834.00	834.00			
36	Silt Fence Maintenance	lf	417	\$1	417	417.00	417.00			
37	Inlet Protection, Type A	ea	13	\$50	13	650.00		650.00		
38	Inlet Protection, Type C	ea	15	\$50	15	750.00		750.00		
39	Tracking Pad	ea	4	\$500	4	2,000.00	2,000.00			

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
40	Temporary Traffic Control	ls	1	\$10,000	1	10,000.00	10,000.00			
41	Water For Seeded Areas	Mgal	38	\$40	38	1,520.00	1,520.00			
42	Topsoil, Seed, Fertilizer and Mulch	sy	1,697	\$5	1,697	7,636.50	7,636.50			
43	Sawing Asphalt	lf	292	\$2	292	584.00	584.00			
44	Sawing Concrete	lf	143	\$3	143	429.00	429.00			
						265,897.50	181,114.50	19,813.00	62,370.00	2,600.00

CITY OF WAUSAU 2015 STREET CONSTRUCTION PROJECT "A"

Steen Construction

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
1	Clearing	id	90	9.00	90	810.00	810.00			
2	Grubbing	id	90	9.00	90	810.00	810.00			
3	Removing Curb & Gutter	lf	113	2.00	113	226.00	226.00			
4	Removing Concrete Driveway	sy	134	3.00	134	402.00	402.00			
5	Removing Manholes	ea	1	500.00	1	500.00		500.00		
6	Removing Inlets	ea	2	200.00	2	400.00		400.00		
7	Removing Storm Sewer	lf	127	3.00	127	381.00		381.00		
8	Removing Sanitary Sewer	lf	750	4.00	750	3,000.00			3,000.00	
9	Excavation Common	cy	2,062	9.00	2,062	18,558.00	18,558.00			
10	Base Aggregate Dense 1¼ inch	cy	1,196	17.00	1,196	20,332.00	20,332.00			
11	Asphaltic Material PG 58-28	ton	49	2.00	49	98.00	98.00			
12	Tack Coat	gal	107	5.50	107	588.50	588.50			
13	HMA Pavement Type E-1	ton	512	58.50	512	29,952.00	29,952.00			
14	HMA Pavement Type E-3	ton	297	60.50	297	17,968.50	17,968.50			
15	Asphaltic Surface Driveways (E-0.3)	ton	4	155.00	4	620.00	620.00			
16	Asphaltic Curb	lf	50	11.00	50	550.00	550.00			
17	Concrete Curb & Gutter 30-inch Type D	lf	2,345	10.35	2,345	24,270.75	24,270.75			
18	Concrete Sidewalk 6-Inch	sf	4,614	4.25	4,614	19,609.50	19,609.50			
19	Storm Sewer Pipe Reinforced Concrete Class IV 12-inch	lf	93	28.00	93	2,604.00		2,604.00		
20	Storm Sewer Pipe Reinforced Concrete Class IV 15-inch	lf	99	30.00	99	2,970.00		2,970.00		
21	Manhole Covers Type J-Special (Storm and Sanitary)	ea	4	350.00	4	1,400.00		700.00	700.00	
22	Inlet Covers Type C	ea	1	350.00	1	350.00		350.00		
23	Inlet Covers Type H	ea	4	500.00	4	2,000.00		2,000.00		
24	Catch Basins 2x3-Ft	ea	4	800.00	4	3,200.00		3,200.00		
25	Manholes 4-Ft Diameter	ea	1	1,500.00	1	1,500.00		1,500.00		
26	Sanitary Sewer PVC-SDR35 8-Inch	lf	750	29.00	750	21,750.00			21,750.00	
27	Sanitary Sewer Manholes (48-inch Dia)	ea	1	2,000.00	1	2,000.00			2,000.00	
28	Sanitary Sewer Wyes (PVC)	ea	12	150.00	12	1,800.00			1,800.00	
29	Live Main Tap Saddles	ea	8	300.00	8	2,400.00			2,400.00	
30	Connect Sanitary Sewer Lateral	lf	690	25.00	690	17,250.00			17,250.00	
31	8" Non-Shear Coupling	ea	1	100.00	1	100.00			100.00	
32	Adjust Water Valve Box	ea	13	175.00	13	2,275.00				2,275.00
33	Mobilization	ls	1	6,000.00	1	6,000.00	6,000.00			
34	Water	Mgal	10	300.00	10	3,000.00	3,000.00			
35	Silt Fence	lf	417	3.00	417	1,251.00	1,251.00			
36	Silt Fence Maintenance	lf	417	1.00	417	417.00	417.00			
37	Inlet Protection, Type A	ea	13	150.00	13	1,950.00		1,950.00		
38	Inlet Protection, Type C	ea	15	50.00	15	750.00		750.00		
39	Tracking Pad	ea	4	500.00	4	2,000.00	2,000.00			

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
40	Temporary Traffic Control	ls	1	1,000.00	1	1,000.00	1,000.00			
41	Water For Seeded Areas	Mgal	38	55.00	38	2,090.00	2,090.00			
42	Topsoil, Seed, Fertilizer and Mulch	sy	1,697	6.00	1,697	10,182.00	10,182.00			
43	Sawing Asphalt	lf	292	3.00	292	876.00	876.00			
44	Sawing Concrete	lf	143	8.00	143	1,144.00	1,144.00			
						231,335.25	162,755.25	17,305.00	49,000.00	2,275.00

Project Register for Project B 2015		Total Unobligated	Total Obligated	Total Expended	Total Unexpended
			(\$24.50)	\$784,854.50	\$0.00
Project Funds		Project Funds	Amount Obligated	Amount Expended	Code Key
		Initial Budget	\$784,830.00		I
		Amendment Total:	\$0.00		A
		Contractor: <b>Switlick</b>	\$784,854.50	\$0.00	C1
		Total	\$784,830.00	\$784,854.50	\$0.00
Payment Overview		Retainage		\$0.00	
		Amount Earned to Date		\$0.00	
Date	Description	Code	Project Funds Obligated	Expended	
05/08/15	Initial Budget (Street)	I	\$347,658.00		
	Initial Budget (Water)	I	\$210,694.50		
	Initial Budget (Sanitary)	I	\$148,012.50		
	Initial Budget (Storm)	I	\$78,465.00		
Pending	Contract Award (Streets)	C1		\$328,110.50	
	Contract Award (Water)	C1		\$231,152.00	
	Contract Award (Sanitary)	C1		\$144,838.00	
	Contract Award (Storm)	C1		\$80,754.00	
	Payment #1 (Street)	C1			
	Payment #1 (Water)	C1			
	Payment #1 (Sanitary)	C1			
	Payment #1 (Storm)	C1			
<b>Total</b>			<b>\$784,830.00</b>	<b>\$784,854.50</b>	<b>\$0.00</b>

**CITY OF WAUSAU 2015 STREET CONSTRUCTION PROJECT "B"**

**Estimate**

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
1	Clearing	id	430	\$15.00	430	6,450.00	6,450.00			
2	Grubbing	id	430	\$15.00	430	6,450.00	6,450.00			
3	Removing Pavement	sy	1,877	\$5.00	1,877	9,385.00	9,385.00			
4	Removing Curb	lf	11	\$3.00	11	33.00	33.00			
5	Removing Curb & Gutter	lf	3,129	\$3.00	3,129	9,387.00	9,387.00			
6	Removing Concrete Sidewalk	sy	713	\$4.00	713	2,852.00	2,852.00			
7	Removing Manholes	ea	12	\$300.00	12	3,600.00	3,600.00			
8	Removing Inlets	ea	6	\$250.00	6	1,500.00		1,500.00		
9	Removing Storm Sewer	lf	485	\$7.00	485	3,395.00		3,395.00		
10	Removing Sanitary Sewer	lf	1,487	\$5.00	1,487	7,435.00			7,435.00	
11	Removing Watermain	lf	1,789	\$5.00	1,789	8,945.00				8,945.00
12	Removing Hydrants	ea	3	\$400.00	3	1,200.00				1,200.00
13	Excavation Common	cy	2,552	\$10.00	2,552	25,520.00	25,520.00			
14	Excavation Below Subgrade	cy	950	\$15.00	950	14,250.00	14,250.00			
15	Granular Backfill	cy	925	\$15.00	925	13,875.00			6,937.50	6,937.50
16	3/4" Washed Stone	cy	15	\$25.00	15	375.00	375.00			
17	Trench Rock	cy	525	\$100.00	525	52,500.00			26,250.00	26,250.00
18	Base Aggregate Dense 1¼ inch	cy	1,430	\$23.00	1,430	32,890.00	32,890.00			
19	Breaker Run with Fines	cy	950	\$25.00	950	23,750.00	23,750.00			
20	Concrete Pavement 8-Inch	sy	52	\$30.00	52	1,560.00	1,560.00			
21	Asphaltic Material PG 58-28	ton	56	\$105.00	56	5,880.00	5,880.00			
22	Tack Coat	gal	134	\$6.00	134	804.00	804.00			
23	HMA Pavement Type E-1.0	ton	921	\$61.00	921	56,181.00	56,181.00			
24	Asphaltic Surface Driveways (E-1.0)	ton	1	\$150.00	1	150.00	150.00			
25	Salvage and Reinstall Existing Brick Pavers	sf	184	\$40.00	184	7,360.00	7,360.00			
26	Concrete Curb Integral Type D	lf	11	\$10.00	11	110.00	110.00			
27	Concrete Curb & Gutter 30-inch Type D	lf	3,199	\$10.00	3,199	31,990.00	31,990.00			
28	Concrete Sidewalk 4-Inch	sf	2,866	\$3.50	2,866	10,031.00	10,031.00			
29	Concrete Sidewalk 6-Inch	sf	3,668	\$4.00	3,668	14,672.00	14,672.00			
30	Concrete Steps	sf	208	\$50.00	208	10,400.00	10,400.00			
31	Handrail	lf	189	\$100.00	189	18,900.00	18,900.00			
32	Curb Ramp Detectable Warning Field Natural Patina	sf	112	\$40.00	112	4,480.00	4,480.00			
33	Storm Sewer Pipe Reinforced Concrete Class IV 12-inch	lf	346	\$35.00	346	12,110.00		12,110.00		
34	Storm Sewer Pipe Reinforced Concrete Class IV 15-inch	lf	739	\$40.00	739	29,560.00		29,560.00		
35	Storm Sewer Pipe Reinforced Concrete Class IV 24-inch	lf	21	\$50.00	21	1,050.00		1,050.00		
36	Manhole Covers Type J-Special (Storm and Sanitary)	ea	15	\$450.00	15	6,750.00		2,700.00	4,050.00	
37	Inlet Covers Type H	ea	11	\$500.00	11	5,500.00		5,500.00		
38	Catch Basins 2x3-Ft	ea	11	\$1,000.00	11	11,000.00		11,000.00		

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
39	Manholes 4-Ft Diameter	ea	5	\$1,500.00	5	7,500.00		7,500.00		
40	Manholes 5-Ft Diameter	ea	1	\$2,500.00	1	2,500.00		2,500.00		
41	Sanitary Sewer PVC-SDR35 8-Inch	lf	1,422	\$40.00	1,422	56,880.00			56,880.00	
42	Sanitary Sewer Manholes (48-inch Dia)	ea	8	\$2,000.00	8	16,000.00			16,000.00	
43	Sanitary Sewer Manholes (72-inch Dia)	ea	1	\$3,500.00	1	3,500.00			3,500.00	
44	Sanitary Sewer Wyes (PVC)	ea	25	\$200.00	25	5,000.00			5,000.00	
45	Connect Sanitary Sewer Lateral	lf	732	\$30.00	732	21,960.00			21,960.00	
46	6" DI Watermain	lf	101	\$42.00	101	4,242.00				4,242.00
47	8" DI Watermain	lf	1,744	\$45.00	1,744	78,480.00				78,480.00
48	12"x12"x6" Tee	ea	1	\$500.00	1	500.00				500.00
49	6"x6"x8" Tee	ea	1	\$400.00	1	400.00				400.00
50	8"x8"x6" Tee	ea	4	\$400.00	4	1,600.00				1,600.00
51	8"x8"x8" Tee	ea	2	\$400.00	2	800.00				800.00
52	8"x8" Cross	ea	1	\$400.00	1	400.00				400.00
53	8" - 45 Degree Bend	ea	4	\$300.00	4	1,200.00				1,200.00
54	6"x3" Reducer	ea	1	\$200.00	1	200.00				200.00
55	8"x3" Reducer	ea	1	\$200.00	1	200.00				200.00
56	8"x4" Reducer	ea	1	\$200.00	1	200.00				200.00
57	8"x6" Reducer	ea	5	\$200.00	5	1,000.00				1,000.00
58	6" Valve & Valve Box	ea	5	\$1,200.00	5	6,000.00				6,000.00
59	8" Valve & Valve Box	ea	14	\$1,700.00	14	23,800.00				23,800.00
60	8" Pressure Reducing Valve	ea	1	\$1,800.00	1	1,800.00				1,800.00
61	3" Watermain Connection	ea	2	\$500.00	2	1,000.00				1,000.00
62	4" Watermain Connection	ea	1	\$500.00	1	500.00				500.00
63	6" Watermain Connection	ea	7	\$500.00	7	3,500.00				3,500.00
64	12" Watermain Connection	ea	2	\$750.00	2	1,500.00				1,500.00
65	Standard Hydrant	ea	4	\$3,300.00	4	13,200.00				13,200.00
66	2"Polystyrene Insulation	sf	224	\$2.50	224	560.00				560.00
67	Temporary Water Service	ls	1	\$5,000.00	1	5,000.00				5,000.00
68	Connect Water Service	lf	608	\$35.00	608	21,280.00				21,280.00
69	Mobilization	ls	1	\$20,000.00	1	20,000.00	20,000.00			
70	Water	Mgal	25	\$40.00	25	1,000.00	1,000.00			
71	Silt Fence	lf	136	\$2.00	136	272.00	272.00			
72	Silt Fence Maintenance	lf	136	\$1.00	136	136.00	136.00			
73	Erosion Mat Urban Class I Type A	sy	219	\$2.00	219	438.00	438.00			
74	Inlet Protection, Type A	ea	11	\$50.00	11	550.00		550.00		
75	Inlet Protection, Type C	ea	22	\$50.00	22	1,100.00		1,100.00		
76	Tracking Pad	ea	4	\$500.00	4	2,000.00	2,000.00			
77	Temporary Traffic Control	ls	1	\$2,500.00	1	2,500.00	2,500.00			
78	Geotextile Fabric Type SAS (Under Breaker Run)	sy	3,250	\$3.00	3,250	9,750.00	9,750.00			
79	Water For Seeded Areas	Mgal	38	\$40.00	38	1,520.00	1,520.00			
80	Topsoil, Seed and Fertilizer	sy	2,047	\$5.00	2,047	10,235.00	10,235.00			
81	Mulch	sy	1,828	\$0.50	1,828	914.00	914.00			

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
82	Sawing Asphalt	lf	431	\$3.00	431	1,293.00	1,293.00			
83	Sawing Concrete	lf	28	\$5.00	28	140.00	140.00			
						784,830.00	347,658.00	78,465.00	148,012.50	210,694.50

**CITY OF WAUSAU 2015 STREET CONSTRUCTION PROJECT "B"**

**Switlick & Sons**

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
1	Clearing	id	430	25.00	430	10,750.00	10,750.00			
2	Grubbing	id	430	25.00	430	10,750.00	10,750.00			
3	Removing Pavement	sy	1,877	3.00	1,877	5,631.00	5,631.00			
4	Removing Curb	lf	11	2.00	11	22.00	22.00			
5	Removing Curb & Gutter	lf	3,129	2.00	3,129	6,258.00	6,258.00			
6	Removing Concrete Sidewalk	sy	713	3.00	713	2,139.00	2,139.00			
7	Removing Manholes	ea	12	200.00	12	2,400.00	2,400.00			
8	Removing Inlets	ea	6	100.00	6	600.00		600.00		
9	Removing Storm Sewer	lf	485	10.00	485	4,850.00		4,850.00		
10	Removing Sanitary Sewer	lf	1,487	3.00	1,487	4,461.00			4,461.00	
11	Removing Watermain	lf	1,789	5.00	1,789	8,945.00				8,945.00
12	Removing Hydrants	ea	3	700.00	3	2,100.00				2,100.00
13	Excavation Common	cy	2,552	11.00	2,552	28,072.00	28,072.00			
14	Excavation Below Subgrade	cy	950	15.00	950	14,250.00	14,250.00			
15	Granular Backfill	cy	925	20.00	925	18,500.00			9,250.00	9,250.00
16	3/4" Washed Stone	cy	15	30.00	15	450.00	450.00			
17	Trench Rock	cy	525	110.00	525	57,750.00			28,875.00	28,875.00
18	Base Aggregate Dense 1 1/4 inch	cy	1,430	20.00	1,430	28,600.00	28,600.00			
19	Breaker Run with Fines	cy	950	20.00	950	19,000.00	19,000.00			
20	Concrete Pavement 8-Inch	sy	52	60.00	52	3,120.00	3,120.00			
21	Asphaltic Material PG 58-28	ton	56	1.00	56	56.00	56.00			
22	Tack Coat	gal	134	5.00	134	670.00	670.00			
23	HMA Pavement Type E-1.0	ton	921	59.00	921	54,339.00	54,339.00			
24	Asphaltic Surface Driveways (E-1.0)	ton	1	100.00	1	100.00	100.00			
25	Salvage and Reinstall Existing Brick Pavers	sf	184	15.00	184	2,760.00	2,760.00			
26	Concrete Curb Integral Type D	lf	11	44.00	11	484.00	484.00			
27	Concrete Curb & Gutter 30-inch Type D	lf	3,199	10.50	3,199	33,589.50	33,589.50			
28	Concrete Sidewalk 4-Inch	sf	2,866	4.00	2,866	11,464.00	11,464.00			
29	Concrete Sidewalk 6-Inch	sf	3,668	5.00	3,668	18,340.00	18,340.00			
30	Concrete Steps	sf	208	80.00	208	16,640.00	16,640.00			
31	Handrail	lf	189	40.00	189	7,560.00	7,560.00			
32	Curb Ramp Detectable Warning Field Natural Patina	sf	112	40.00	112	4,480.00	4,480.00			
33	Storm Sewer Pipe Reinforced Concrete Class IV 12-inch	lf	346	38.00	346	13,148.00		13,148.00		
34	Storm Sewer Pipe Reinforced Concrete Class IV 15-inch	lf	739	44.00	739	32,516.00		32,516.00		
35	Storm Sewer Pipe Reinforced Concrete Class IV 24-inch	lf	21	80.00	21	1,680.00		1,680.00		
36	Manhole Covers Type J-Special (Storm and Sanitary)	ea	15	500.00	15	7,500.00		3,000.00	4,500.00	
37	Inlet Covers Type H	ea	11	500.00	11	5,500.00		5,500.00		
38	Catch Basins 2x3-Ft	ea	11	1,000.00	11	11,000.00		11,000.00		

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
39	Manholes 4-Ft Diameter	ea	5	1,200.00	5	6,000.00		6,000.00		
40	Manholes 5-Ft Diameter	ea	1	1,800.00	1	1,800.00		1,800.00		
41	Sanitary Sewer PVC-SDR35 8-Inch	lf	1,422	36.00	1,422	51,192.00			51,192.00	
42	Sanitary Sewer Manholes (48-inch Dia)	ea	8	2,200.00	8	17,600.00			17,600.00	
43	Sanitary Sewer Manholes (72-inch Dia)	ea	1	4,500.00	1	4,500.00			4,500.00	
44	Sanitary Sewer Wyes (PVC)	ea	25	100.00	25	2,500.00			2,500.00	
45	Connect Sanitary Sewer Lateral	lf	732	30.00	732	21,960.00			21,960.00	
46	6" DI Watermain	lf	101	38.00	101	3,838.00				3,838.00
47	8" DI Watermain	lf	1,744	45.00	1,744	78,480.00				78,480.00
48	12"x12"x6" Tee	ea	1	600.00	1	600.00				600.00
49	6"x6"x8" Tee	ea	1	500.00	1	500.00				500.00
50	8"x8"x6" Tee	ea	4	500.00	4	2,000.00				2,000.00
51	8"x8"x8" Tee	ea	2	500.00	2	1,000.00				1,000.00
52	8"x8" Cross	ea	1	500.00	1	500.00				500.00
53	8" - 45 Degree Bend	ea	4	300.00	4	1,200.00				1,200.00
54	6"x3" Reducer	ea	1	200.00	1	200.00				200.00
55	8"x3" Reducer	ea	1	300.00	1	300.00				300.00
56	8"x4" Reducer	ea	1	300.00	1	300.00				300.00
57	8"x6" Reducer	ea	5	300.00	5	1,500.00				1,500.00
58	6" Valve & Valve Box	ea	5	1,300.00	5	6,500.00				6,500.00
59	8" Valve & Valve Box	ea	14	1,900.00	14	26,600.00				26,600.00
60	8" Pressure Reducing Valve	ea	1	4,000.00	1	4,000.00				4,000.00
61	3" Watermain Connection	ea	2	600.00	2	1,200.00				1,200.00
62	4" Watermain Connection	ea	1	600.00	1	600.00				600.00
63	6" Watermain Connection	ea	7	600.00	7	4,200.00				4,200.00
64	12" Watermain Connection	ea	2	1,100.00	2	2,200.00				2,200.00
65	Standard Hydrant	ea	4	3,200.00	4	12,800.00				12,800.00
66	2"Polystyrene Insulation	sf	224	1.00	224	224.00				224.00
67	Temporary Water Service	ls	1	15,000.00	1	15,000.00				15,000.00
68	Connect Water Service	lf	608	30.00	608	18,240.00				18,240.00
69	Mobilization	ls	1	25,000.00	1	25,000.00	25,000.00			
70	Water	Mgal	25	10.00	25	250.00	250.00			
71	Silt Fence	lf	136	1.00	136	136.00	136.00			
72	Silt Fence Maintenance	lf	136	1.00	136	136.00	136.00			
73	Erosion Mat Urban Class I Type A	sy	219	2.00	219	438.00	438.00			
74	Inlet Protection, Type A	ea	11	20.00	11	220.00		220.00		
75	Inlet Protection, Type C	ea	22	20.00	22	440.00		440.00		
76	Tracking Pad	ea	4	500.00	4	2,000.00	2,000.00			
77	Temporary Traffic Control	ls	1	4,000.00	1	4,000.00	4,000.00			
78	Geotextile Fabric Type SAS (Under Breaker Run)	sy	3,250	1.50	3,250	4,875.00	4,875.00			
79	Water For Seeded Areas	Mgal	38	10.00	38	380.00	380.00			
80	Topsoil, Seed and Fertilizer	sy	2,047	3.00	2,047	6,141.00	6,141.00			
81	Mulch	sy	1,828	1.00	1,828	1,828.00	1,828.00			

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
82	Sawing Asphalt	lf	431	2.00	431	862.00	862.00			
83	Sawing Concrete	lf	28	5.00	28	140.00	140.00			
						784,854.50	328,110.50	80,754.00	144,838.00	231,152.00

Project Register for Project D 2015		Total Unobligated	Total Obligated	Total Expended	Total Unexpended	
		\$18,420.00	\$442,674.00	\$0.00	\$461,094.00	
Project Funds		Project Funds	Amount Obligated	Amount Expended	Code Key	
		Initial Budget	\$461,094.00		I	
		Amendment Total:	\$0.00		A	
		Contractor: <b>Steen</b>		\$442,674.00	\$0.00	C1
		Total	\$461,094.00	\$442,674.00	\$0.00	
Payment Overview		Retainage		\$0.00		
		Amount Earned to Date		\$0.00		
Date	Description	Code	Project Funds Obligated	Expended		
05/08/15	Initial Budget (Street)	I	\$299,345.00			
	Initial Budget (Water)	I	\$64,460.00			
	Initial Budget (Sanitary)	I	\$1,250.00			
	Initial Budget (Storm)	I	\$96,039.00			
04/07/15	Contract Award (Streets)	C1		\$285,510.00		
	Contract Award (Water)	C1		\$65,720.00		
	Contract Award (Sanitary)	C1		\$950.00		
	Contract Award (Storm)	C1		\$90,494.00		
	Payment #1(Street)	C1				
	Payment #1(Water)	C1				
	Payment #1 (Sanitary)	C1				
	Payment #1 (Storm)	C1				
<b>Total</b>			<b>\$461,094.00</b>	<b>\$442,674.00</b>	<b>\$0.00</b>	

**CITY OF WAUSAU 2015 STREET CONSTRUCTION PROJECT "D"**

**Estimate**

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
1	Clearing	sy	100	\$10.00	100	1,000.00	1,000.00			
2	Grubbing	sy	100	\$10.00	100	1,000.00	1,000.00			
3	Removing Concrete Driveways	sy	25	\$4.00	25	100.00	100.00			
4	Removing Manholes	ea	1	\$250.00	1	250.00	250.00			
5	Removing Inlets	ea	5	\$200.00	5	1,000.00		1,000.00		
6	Removing Storm Sewer	lf	420	\$7.00	420	2,940.00		2,940.00		
7	Excavation Common	cy	3,770	\$10.00	3,770	37,700.00	37,700.00			
8	Base Aggregate Dense 3/4 inch (2' Shoulder)	cy	20	\$28.00	20	560.00	560.00			
9	Base Aggregate Dense 1 1/4 inch	cy	2,190	\$23.00	2,190	50,370.00	50,370.00			
10	Crushed Red Granite (Private Drives)	cy	15	\$25.00	15	375.00	375.00			
11	Asphaltic Material PG 58-28	ton	96	\$100.00	96	9,600.00	9,600.00			
12	Tack Coat	gal	190	\$6.00	190	1,140.00	1,140.00			
13	HMA Pavement Type E-3	ton	1,550	\$63.00	1,550	97,650.00	97,650.00			
14	Asphaltic Surface Driveways (E-1.0)	ton	45	\$150.00	45	6,750.00	6,750.00			
15	Concrete Curb & Gutter 30-inch Type D	lf	3,330	\$10.00	3,330	33,300.00	33,300.00			
16	Concrete Sidewalk 6-Inch	sf	3,030	\$4.00	3,030	12,120.00	12,120.00			
17	Storm Sewer Pipe Reinforced Concrete Class IV 12-inch	lf	313	\$40.00	313	12,520.00		12,520.00		
18	Storm Sewer Pipe Reinforced Concrete Class IV 15-inch	lf	322	\$42.00	322	13,524.00		13,524.00		
19	Storm Sewer Pipe RCHE Class HE-IV 19x30-inch	lf	271	\$55.00	271	14,905.00		14,905.00		
20	Manhole Covers Type J-Special (Storm and Sanitary)	ea	8	\$500.00	8	4,000.00		3,500.00	500.00	
21	Inlet Covers Neenah R-2586-M w/Type G Grate	ea	1	\$500.00	1	500.00		500.00		
22	Inlet Covers Type H	ea	18	\$500.00	18	9,000.00		9,000.00		
23	Inlet Covers Neenah R-3290-A	ea	2	\$500.00	2	1,000.00		1,000.00		
24	Catch Basins 2x3-Ft	ea	16	\$1,000.00	16	16,000.00		16,000.00		
25	Catch Basins 2-Ft Diameter	ea	1	\$700.00	1	700.00		700.00		
26	Relocate Existing Catch Basin	ea	1	\$500.00	1	500.00		500.00		
27	Manholes 4-Ft Diameter	ea	2	\$1,750.00	2	3,500.00		3,500.00		
28	Manholes 5-Ft Diameter	ea	4	\$2,500.00	4	10,000.00		10,000.00		
29	Manholes 6-Ft Diameter	ea	1	\$3,500.00	1	3,500.00		3,500.00		
30	Remove Existing Water Service Lateral	ea	8	\$250.00	8	2,000.00				2,000.00
31	Remove Existing Sanitary Sewer Lateral	ea	3	\$250.00	3	750.00			750.00	
32	Remove & Salvage 12" D.I. Plug	ea	1	\$100.00	1	100.00				100.00
33	Remove & Salvage 14" D.I. Plug	ea	1	\$100.00	1	100.00				100.00
34	12" D.I. Watermain Plug	ea	1	\$250.00	1	250.00				250.00
35	14" x 12" D.I. Watermain Reducer	ea	1	\$350.00	1	350.00				350.00
36	12" x 12" x 12" D.I. Watermain Tee	ea	1	\$350.00	1	350.00				350.00
37	12" x 12" x 6" D.I. Watermain Tee	ea	1	\$350.00	1	350.00				350.00

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
38	6" Valve & Valve Box	ea	1	\$1,200.00	1	1,200.00				1,200.00
39	12" Valve & Valve Box	lf	2	\$2,500.00	2	5,000.00				5,000.00
40	6" Standard Hydrant	lf	1	\$3,500.00	1	3,500.00				3,500.00
41	6" D.I. Watermain	ea	8	\$45.00	8	360.00				360.00
42	12" D.I. Watermain	ls	795	\$60.00	795	47,700.00				47,700.00
43	Adjust Water Valve Box	Mgal	16	\$200.00	16	3,200.00				3,200.00
44	Mobilization	lf	1	\$7,500.00	1	7,500.00	7,500.00			
45	Water	lf	10	\$40.00	10	400.00	400.00			
46	Silt Fence	sy	645	\$2.00	645	1,290.00	1,290.00			
47	Silt Fence Maintenance	ea	645	\$1.00	645	645.00	645.00			
48	Erosion Mat, Class I, Type A	ea	760	\$2.00	760	1,520.00	1,520.00			
49	Inlet Protection, Type A	lf	26	\$50.00	26	1,300.00		1,300.00		
50	Inlet Protection, Type C	ea	33	\$50.00	33	1,650.00		1,650.00		
51	Temporary Ditch Checks	ls	75	\$15.00	75	1,125.00	1,125.00			
52	Tracking Pad	Mgal	5	\$1,000.00	5	5,000.00	5,000.00			
53	Temporary Traffic Control	sy	1	\$7,500.00	1	7,500.00	7,500.00			
54	Water (For Seeded Areas)	lf	50	\$40.00	50	2,000.00	2,000.00			
55	Topsoil, Seed, Fertilizer and Mulch	lf	2,900	\$5.00	2,900	14,500.00	14,500.00			
56	Sawing Asphalt	lf	1,950	\$3.00	1,950	5,850.00	5,850.00			
57	Sawing Concrete	lf	20	\$5.00	20	100.00	100.00			
						461,094.00	299,345.00	96,039.00	1,250.00	64,460.00

CITY OF WAUSAU 2015 STREET CONSTRUCTION PROJECT "D"

Steen Construction

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
1	Clearing	sy	100	15.00	100	1,500.00	1,500.00			
2	Grubbing	sy	100	13.00	100	1,300.00	1,300.00			
3	Removing Concrete Driveways	sy	25	3.00	25	75.00	75.00			
4	Removing Manholes	ea	1	500.00	1	500.00	500.00			
5	Removing Inlets	ea	5	300.00	5	1,500.00		1,500.00		
6	Removing Storm Sewer	lf	420	5.00	420	2,100.00		2,100.00		
7	Excavation Common	cy	3,770	9.00	3,770	33,930.00	33,930.00			
8	Base Aggregate Dense 3/4 inch (2' Shoulder)	cy	20	20.00	20	400.00	400.00			
9	Base Aggregate Dense 1 1/4 inch	cy	2,190	20.00	2,190	43,800.00	43,800.00			
10	Crushed Red Granite (Private Drives)	cy	15	25.00	15	375.00	375.00			
11	Asphaltic Material PG 58-28	ton	96	55.00	96	5,280.00	5,280.00			
12	Tack Coat	gal	190	6.00	190	1,140.00	1,140.00			
13	HMA Pavement Type E-3	ton	1,550	60.00	1,550	93,000.00	93,000.00			
14	Asphaltic Surface Driveways (E-1.0)	ton	45	125.00	45	5,625.00	5,625.00			
15	Concrete Curb & Gutter 30-inch Type D	lf	3,330	10.00	3,330	33,300.00	33,300.00			
16	Concrete Sidewalk 6-Inch	sf	3,030	4.00	3,030	12,120.00	12,120.00			
17	Storm Sewer Pipe Reinforced Concrete Class IV 12-inch	lf	313	33.00	313	10,329.00		10,329.00		
18	Storm Sewer Pipe Reinforced Concrete Class IV 15-inch	lf	322	37.00	322	11,914.00		11,914.00		
19	Storm Sewer Pipe RCHE Class HE-IV 19x30-inch	lf	271	86.00	271	23,306.00		23,306.00		
20	Manhole Covers Type J-Special (Storm and Sanitary)	ea	8	350.00	8	2,800.00		2,450.00	350.00	
21	Inlet Covers Neenah R-2586-M w/Type G Grate	ea	1	375.00	1	375.00		375.00		
22	Inlet Covers Type H	ea	18	415.00	18	7,470.00		7,470.00		
23	Inlet Covers Neenah R-3290-A	ea	2	400.00	2	800.00		800.00		
24	Catch Basins 2x3-Ft	ea	16	700.00	16	11,200.00		11,200.00		
25	Catch Basins 2-Ft Diameter	ea	1	400.00	1	400.00		400.00		
26	Relocate Existing Catch Basin	ea	1	400.00	1	400.00		400.00		
27	Manholes 4-Ft Diameter	ea	2	1,500.00	2	3,000.00		3,000.00		
28	Manholes 5-Ft Diameter	ea	4	1,800.00	4	7,200.00		7,200.00		
29	Manholes 6-Ft Diameter	ea	1	2,500.00	1	2,500.00		2,500.00		
30	Remove Existing Water Service Lateral	ea	8	400.00	8	3,200.00				3,200.00
31	Remove Existing Sanitary Sewer Lateral	ea	3	200.00	3	600.00			600.00	
32	Remove & Salvage 12" D.I. Plug	ea	1	200.00	1	200.00				200.00
33	Remove & Salvage 14" D.I. Plug	ea	1	200.00	1	200.00				200.00
34	12" D.I. Watermain Plug	ea	1	200.00	1	200.00				200.00
35	14" x 12" D.I. Watermain Reducer	ea	1	500.00	1	500.00				500.00
36	12" x 12" x 12" D.I. Watermain Tee	ea	1	800.00	1	800.00				800.00
37	12" x 12" x 6" D.I. Watermain Tee	ea	1	650.00	1	650.00				650.00

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
38	6" Valve & Valve Box	ea	1	1,300.00	1	1,300.00				1,300.00
39	12" Valve & Valve Box	lf	2	3,000.00	2	6,000.00				6,000.00
40	6" Standard Hydrant	lf	1	3,000.00	1	3,000.00				3,000.00
41	6" D.I. Watermain	ea	8	45.00	8	360.00				360.00
42	12" D.I. Watermain	ls	795	58.00	795	46,110.00				46,110.00
43	Adjust Water Valve Box	Mgal	16	200.00	16	3,200.00				3,200.00
44	Mobilization	lf	1	9,000.00	1	9,000.00	9,000.00			
45	Water	lf	10	150.00	10	1,500.00	1,500.00			
46	Silt Fence	sy	645	4.00	645	2,580.00	2,580.00			
47	Silt Fence Maintenance	ea	645	1.00	645	645.00	645.00			
48	Erosion Mat, Class I, Type A	ea	760	1.50	760	1,140.00	1,140.00			
49	Inlet Protection, Type A	lf	26	150.00	26	3,900.00		3,900.00		
50	Inlet Protection, Type C	ea	33	50.00	33	1,650.00		1,650.00		
51	Temporary Ditch Checks	ls	75	4.00	75	300.00	300.00			
52	Tracking Pad	Mgal	5	600.00	5	3,000.00	3,000.00			
53	Temporary Traffic Control	sy	1	2,000.00	1	2,000.00	2,000.00			
54	Water (For Seeded Areas)	lf	50	55.00	50	2,750.00	2,750.00			
55	Topsoil, Seed, Fertilizer and Mulch	lf	2,900	7.00	2,900	20,300.00	20,300.00			
56	Sawing Asphalt	lf	1,950	5.00	1,950	9,750.00	9,750.00			
57	Sawing Concrete	lf	20	10.00	20	200.00	200.00			
						442,674.00	285,510.00	90,494.00	950.00	65,720.00

Project Register for Project E 2015		Total Unobligated	Total Obligated	Total Expended	Total Unexpended
		(\$147,099.58)	\$1,183,648.08	\$0.00	\$1,036,548.50
Project Funds		Project Funds	Amount Obligated	Amount Expended	Code Key
		Initial Budget	\$1,036,548.50		I
		Amendment Total:	\$0.00		A
		Contractor: James Peterson	\$1,183,648.08	\$0.00	C1
	Total	\$1,036,548.50	\$1,183,648.08	\$0.00	
Payment Overview		Retainage		\$0.00	
		Amount Earned to Date		\$0.00	
Date	Description	Code	Project Funds Obligated	Expended	
05/08/15	Initial Budget (Street)	I	\$422,435.50		
	Initial Budget (Water)	I	\$281,006.00		
	Initial Budget (Sanitary)	I	\$193,050.00		
	Initial Budget (Storm)	I	\$140,057.00		
Pending	Contract Award (Streets)	C1		\$410,247.82	
	Contract Award (Water)	C1		\$358,641.57	
	Contract Award (Sanitary)	C1		\$246,214.17	
	Contract Award (Storm)	C1		\$168,544.52	
	Payment #1 (Street)	C1			
	Payment #1 (Water)	C1			
	Payment #1 (Sanitary)	C1			
	Payment #1 (Storm)	C1			
<b>Total</b>			<b>\$1,036,548.50</b>	<b>\$1,183,648.08</b>	<b>\$0.00</b>

**CITY OF WAUSAU 2015 STREET CONSTRUCTION PROJECT "E"**

**Estimate**

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
1	Clearing	id	187	15.00	187	2,805.00	2,805.00			
2	Grubbing	id	187	15.00	187	2,805.00	2,805.00			
3	Removing Curb & Gutter	lf	5,143	3.00	5,143	15,429.00	15,429.00			
4	Removing Concrete Driveway	sy	332	4.00	332	1,328.00	1,328.00			
5	Removing Manholes	ea	19	300.00	19	5,700.00		1,500.00	4,200.00	
6	Removing Inlets	ea	9	250.00	9	2,250.00		2,250.00		
7	Removing Storm Sewer	lf	1,030	7.00	1,030	7,210.00		7,210.00		
8	Removing Sanitary Sewer	lf	2,337	5.00	2,337	11,685.00			11,685.00	
9	Removing Watermain	lf	2,971	5.00	2,971	14,855.00				14,855.00
10	Removing Hydrants	ea	4	400.00	4	1,600.00				1,600.00
11	Excavation Common	cy	4,165	10.00	4,165	41,650.00	41,650.00			
12	Excavation Below Subgrade	cy	1,300	15.00	1,300	19,500.00	19,500.00			
13	Granular Backfill	cy	800	15.00	800	12,000.00		4,000.00	4,000.00	4,000.00
14	3/4" Washed Stone	cy	150	25.00	150	3,750.00			3,750.00	
15	Trench Rock	cy	225	100.00	225	22,500.00		7,500.00	7,500.00	7,500.00
16	Base Aggregate Dense 1 1/4 inch	cy	2,402	23.00	2,402	55,246.00	55,246.00			
17	Breaker Run with Fines	cy	1,300	25.00	1,300	32,500.00	32,500.00			
18	Asphaltic Material PG 58-28	ton	95	105.00	95	9,975.00	9,975.00			
19	Tack Coat	gal	231	6.00	231	1,386.00	1,386.00			
20	HMA Pavement Type E-1.0	ton	1,591	61.00	1,591	97,051.00	97,051.00			
21	Asphaltic Surface Driveways (E-1.0)	ton	38	150.00	38	5,700.00	5,700.00			
22	Asphaltic Curb	lf	231	10.00	231	2,310.00	2,310.00			
23	Salvage and Reinstall Existing Brick Pavers	sf	85	40.00	85	3,400.00	3,400.00			
24	Concrete Curb & Gutter 18-inch Type D	lf	1,550	10.00	1,550	15,500.00	15,500.00			
25	Concrete Curb & Gutter 30-inch Type D	lf	3,654	10.00	3,654	36,540.00	36,540.00			
26	Concrete Sidewalk 6-Inch	sf	7,365	4.00	7,365	29,460.00	29,460.00			
27	Riprap Medium	cy	6	45.00	6	270.00		270.00		
28	Salvaged Riprap	cy	37	45.00	37	1,665.00	1,665.00			
29	Storm Sewer Pipe Reinforced Concrete Class IV 12"	lf	1,050	35.00	1,050	36,750.00		36,750.00		
30	Storm Sewer Pipe Reinforced Concrete Class IV 15"	lf	473	40.00	473	18,920.00		18,920.00		
31	Manhole Covers Type J-Special (Storm and Sanitary)	ea	18	450.00	18	8,100.00		2,250.00	5,850.00	
32	Inlet Covers Type H	ea	21	500.00	21	10,500.00		10,500.00		
33	Inlet Covers Type HM	ea	1	500.00	1	500.00		500.00		
34	Catch Basins 4-Ft Diameter	ea	3	1,500.00	3	4,500.00		4,500.00		
35	Catch Basins 2x3-Ft	ea	19	1,000.00	19	19,000.00		19,000.00		
36	Manholes 4-Ft Diameter	ea	5	1,500.00	5	7,500.00		7,500.00		
37	Sanitary Sewer PVC-SDR35 8-Inch	lf	2,243	40.00	2,243	89,720.00			89,720.00	
38	4" Sewer Lateral Forcemain	lf	20	40.00	20	800.00			800.00	

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
39	Sanitary Sewer Manholes (48-inch Dia)	ea	13	2,000.00	13	26,000.00			26,000.00	
40	Sanitary Sewer Wyes (PVC)	ea	25	200.00	25	5,000.00			5,000.00	
41	Connect Sanitary Sewer Lateral	lf	714	30.00	714	21,420.00			21,420.00	
42	6" DI Watermain	lf	73	42.00	73	3,066.00				3,066.00
43	8" DI Watermain	lf	2,844	45.00	2,844	127,980.00				127,980.00
44	10"x10"x8" Tee	ea	1	500.00	1	500.00				500.00
45	8"x8"x6" Tee	ea	4	400.00	4	1,600.00				1,600.00
46	8"x8"x8" Tee	ea	2	400.00	2	800.00				800.00
47	8"x8" Cross	ea	2	400.00	2	800.00				800.00
48	8" - 11 1/4 Degree Bend	ea	3	300.00	3	900.00				900.00
49	8" - 22 1/2 Degree Bend	ea	2	300.00	2	600.00				600.00
50	8" - 45 Degree Bend	ea	5	300.00	5	1,500.00				1,500.00
51	8"x6" Reducer	ea	4	200.00	4	800.00				800.00
52	6" Valve & Valve Box	ea	4	1,200.00	4	4,800.00				4,800.00
53	8" Valve & Valve Box	ea	15	1,700.00	15	25,500.00				25,500.00
54	6" Watermain Connection	ea	5	500.00	5	2,500.00				2,500.00
55	8" Watermain Connection	ea	1	500.00	1	500.00				500.00
56	10" Watermain Connection	ea	2	750.00	2	1,500.00				1,500.00
57	Standard Hydrant	ea	4	3,300.00	4	13,200.00				13,200.00
58	2"Polystyrene Insulation	sf	1,500	3.00	1,500	4,500.00				4,500.00
59	Temporary Water Service	ls	1	15,000.00	1	15,000.00				15,000.00
60	Connect Water Service	lf	968	35.00	968	33,880.00				33,880.00
61	Mobilization	ls	1	50,000.00	1	50,000.00	12,500.00	12,500.00	12,500.00	12,500.00
62	Water	Mgal	40	40.00	40	1,600.00	1,600.00			
63	Silt Fence	lf	537	2.00	537	1,074.00	1,074.00			
64	Silt Fence Maintenance	lf	537	1.00	537	537.00	537.00			
65	Erosion Mat Class I Type B	sy	78	2.00	78	156.00		156.00		
66	Erosion Mat Urban Class I Type A	sy	235	2.00	235	470.00	470.00			
67	Inlet Protection, Type A	ea	39	50.00	39	1,950.00		1,950.00		
68	Inlet Protection, Type C	ea	30	50.00	30	1,500.00		1,500.00		
69	Temporary Ditch Checks	lf	8	20.00	8	160.00		160.00		
70	Tracking Pad	ea	2	500.00	2	1,000.00	1,000.00			
71	Temporary Traffic Control	ls	1	2,500.00	1	2,500.00	625.00	625.00	625.00	625.00
72	Geotextile Fabric Type HR	sy	172	3.00	172	516.00		516.00		
73	Geotextile Fabric Type SAS (Under Breaker Run)	sy	4,170	3.00	4,170	12,510.00	12,510.00			
74	Water For Seeded Areas	Mgal	55	40.00	55	2,200.00	2,200.00			
75	Topsoil, Seed and Fertilizer	sy	2,464	5.00	2,464	12,320.00	12,320.00			
76	Mulch	sy	2,151	0.50	2,151	1,075.50	1,075.50			
77	Sawing Asphalt	lf	758	3.00	758	2,274.00	2,274.00			
						1,036,548.50	422,435.50	140,057.00	193,050.00	281,006.00

**CITY OF WAUSAU 2015 STREET CONSTRUCTION PROJECT "E"**

**Bid  
James Peterson & Sons**

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
1	Clearing	id	187	14.00	187	2,618.00	2,618.00			
2	Grubbing	id	187	14.00	187	2,618.00	2,618.00			
3	Removing Curb & Gutter	lf	5,143	3.85	5,143	19,800.55	19,800.55			
4	Removing Concrete Driveway	sy	332	6.00	332	1,992.00	1,992.00			
5	Removing Manholes	ea	19	450.00	19	8,550.00		2,250.00	6,300.00	
6	Removing Inlets	ea	9	375.00	9	3,375.00		3,375.00		
7	Removing Storm Sewer	lf	1,030	8.00	1,030	8,240.00		8,240.00		
8	Removing Sanitary Sewer	lf	2,337	8.00	2,337	18,696.00			18,696.00	
9	Removing Watermain	lf	2,971	8.00	2,971	23,768.00				23,768.00
10	Removing Hydrants	ea	4	500.00	4	2,000.00				2,000.00
11	Excavation Common	cy	4,165	9.82	4,165	40,900.30	40,900.30			
12	Excavation Below Subgrade	cy	1,300	9.82	1,300	12,766.00	12,766.00			
13	Granular Backfill	cy	800	14.35	800	11,480.00		3,826.67	3,826.67	3,826.67
14	3/4" Washed Stone	cy	150	23.75	150	3,562.50			3,562.50	
15	Trench Rock	cy	225	110.00	225	24,750.00		8,250.00	8,250.00	8,250.00
16	Base Aggregate Dense 1 1/4 inch	cy	2,402	18.45	2,402	44,316.90	44,316.90			
17	Breaker Run with Fines	cy	1,300	17.40	1,300	22,620.00	22,620.00			
18	Asphaltic Material PG 58-28	ton	95	106.00	95	10,070.00	10,070.00			
19	Tack Coat	gal	231	5.30	231	1,224.30	1,224.30			
20	HMA Pavement Type E-1.0	ton	1,591	62.66	1,591	99,692.06	99,692.06			
21	Asphaltic Surface Driveways (E-1.0)	ton	38	159.00	38	6,042.00	6,042.00			
22	Asphaltic Curb	lf	231	10.60	231	2,448.60	2,448.60			
23	Salvage and Reinstall Existing Brick Pavers	sf	85	21.00	85	1,785.00	1,785.00			
24	Concrete Curb & Gutter 18-inch Type D	lf	1,550	9.82	1,550	15,221.00	15,221.00			
25	Concrete Curb & Gutter 30-inch Type D	lf	3,654	10.14	3,654	37,051.56	37,051.56			
26	Concrete Sidewalk 6-Inch	sf	7,365	5.41	7,365	39,844.65	39,844.65			
27	Riprap Medium	cy	6	50.00	6	300.00		300.00		
28	Salvaged Riprap	cy	37	45.00	37	1,665.00	1,665.00			
29	Storm Sewer Pipe Reinforced Concrete Class IV 12"	lf	1,050	56.00	1,050	58,800.00		58,800.00		
30	Storm Sewer Pipe Reinforced Concrete Class IV 15"	lf	473	54.00	473	25,542.00		25,542.00		
31	Manhole Covers Type J-Special (Storm and Sanitary)	ea	18	400.00	18	7,200.00		2,000.00	5,200.00	
32	Inlet Covers Type H	ea	21	520.00	21	10,920.00		10,920.00		
33	Inlet Covers Type HM	ea	1	520.00	1	520.00		520.00		
34	Catch Basins 4-Ft Diameter	ea	3	1,330.19	3	3,990.57		3,990.57		
35	Catch Basins 2x3-Ft	ea	19	890.07	19	16,911.33		16,911.33		
36	Manholes 4-Ft Diameter	ea	5	1,374.19	5	6,870.95		6,870.95		
37	Sanitary Sewer PVC-SDR35 8-Inch	lf	2,243	58.00	2,243	130,094.00			130,094.00	
38	4" Sewer Lateral Forcemain	lf	20	47.00	20	940.00			940.00	

ITEM	DESCRIPTION	UNIT	EST QTY	UNIT PRICE	QTY TO DATE	TOTAL	FOR CITY USE ONLY			
							STREET	STORM SEWER	SANITARY SEWER	WATER
39	Sanitary Sewer Manholes (48-inch Dia)	ea	13	2,110.00	13	27,430.00			27,430.00	
40	Sanitary Sewer Wyes (PVC)	ea	25	200.00	25	5,000.00			5,000.00	
41	Connect Sanitary Sewer Lateral	lf	714	40.00	714	28,560.00			28,560.00	
42	6" DI Watermain	lf	73	49.00	73	3,577.00				3,577.00
43	8" DI Watermain	lf	2,844	67.00	2,844	190,548.00				190,548.00
44	10"x10"x8" Tee	ea	1	462.80	1	462.80				462.80
45	8"x8"x6" Tee	ea	4	318.50	4	1,274.00				1,274.00
46	8"x8"x8" Tee	ea	2	371.80	2	743.60				743.60
47	8"x8" Cross	ea	2	442.00	2	884.00				884.00
48	8" - 11 1/4 Degree Bend	ea	3	211.90	3	635.70				635.70
49	8" - 22 1/2 Degree Bend	ea	2	221.00	2	442.00				442.00
50	8" - 45 Degree Bend	ea	5	223.60	5	1,118.00				1,118.00
51	8"x6" Reducer	ea	4	174.20	4	696.80				696.80
52	6" Valve & Valve Box	ea	4	1,200.00	4	4,800.00				4,800.00
53	8" Valve & Valve Box	ea	15	1,700.00	15	25,500.00				25,500.00
54	6" Watermain Connection	ea	5	1,500.00	5	7,500.00				7,500.00
55	8" Watermain Connection	ea	1	1,600.00	1	1,600.00				1,600.00
56	10" Watermain Connection	ea	2	1,800.00	2	3,600.00				3,600.00
57	Standard Hydrant	ea	4	3,500.00	4	14,000.00				14,000.00
58	2"Polystyrene Insulation	sf	1,500	3.00	1,500	4,500.00				4,500.00
59	Temporary Water Service	ls	1	7,000.00	1	7,000.00				7,000.00
60	Connect Water Service	lf	968	45.00	968	43,560.00				43,560.00
61	Mobilization	ls	1	28,420.00	1	28,420.00	7,105.00	7,105.00	7,105.00	7,105.00
62	Water	Mgal	40	23.00	40	920.00	920.00			
63	Silt Fence	lf	537	2.50	537	1,342.50	1,342.50			
64	Silt Fence Maintenance	lf	537	1.00	537	537.00	537.00			
65	Erosion Mat Class I Type B	sy	78	2.50	78	195.00		195.00		
66	Erosion Mat Urban Class I Type A	sy	235	2.50	235	587.50	587.50			
67	Inlet Protection, Type A	ea	39	150.00	39	5,850.00		5,850.00		
68	Inlet Protection, Type C	ea	30	50.00	30	1,500.00		1,500.00		
69	Temporary Ditch Checks	lf	8	20.00	8	160.00		160.00		
70	Tracking Pad	ea	2	1,600.00	2	3,200.00	3,200.00			
71	Temporary Traffic Control	ls	1	5,000.00	1	5,000.00	1,250.00	1,250.00	1,250.00	1,250.00
72	Geotextile Fabric Type HR	sy	172	4.00	172	688.00		688.00		
73	Geotextile Fabric Type SAS (Under Breaker Run)	sy	4,170	3.00	4,170	12,510.00	12,510.00			
74	Water For Seeded Areas	Mgal	55	52.50	55	2,887.50	2,887.50			
75	Topsoil, Seed and Fertilizer	sy	2,464	6.05	2,464	14,907.20	14,907.20			
76	Mulch	sy	2,151	0.20	2,151	430.20	430.20			
77	Sawing Asphalt	lf	758	2.50	758	1,895.00	1,895.00			
						1,183,648.07	410,247.82	168,544.52	246,214.17	358,641.57

Agenda Item No.

12

*STAFF REPORT TO CISM COMMITTEE – June 11, 2015*

**AGENDA ITEM**

Update on 2015 Street Construction Projects

**BACKGROUND**

The construction season is underway, staff will give a brief overview of the start of the construction season and anticipated schedules.

**FISCAL IMPACT**

Projects included in the 2015 budget.

**STAFF RECOMMENDATION**

None as this item is for informational purposes only.

Staff contact: Allen Wesolowski 715-261-6762

Agenda Item No.

13

*STAFF REPORT TO CISM COMMITTEE – June 11, 2015*

**AGENDA ITEM**

Update on 2016 Capital Improvement Projects

**BACKGROUND**

The list of street reconstruction projects and budget estimates are included for discussion.

**FISCAL IMPACT**

Budgets for the projects will be considered in the 2016 budget process.

**STAFF RECOMMENDATION**

None as this item is for informational purposes only.

Staff contact: Allen Wesolowski 715-261-6762



**ASPHALT PAVING (formerly Asphalt Overlay)**

**2016**

**150 2326 9 \_\_\_\_\_**

Acct		Budget Request	Budget Adopted	Adjusted Budget
8230	Asphalt Paving	750,000		
8236	Alley Paving	40,000		

**SIDEWALK**

**150 2330 9 \_\_\_\_\_**

Acct		Budget Request	Budget Adopted	Adjusted Budget
8240	Annual sidewalk replacement contract	300,000		
8244	New sidewalk (Miscellaneous) 5th Street (Athletic Park)	60,000		

<b>AGENDA ITEM</b>
Presentation on street ratings
<b>BACKGROUND</b>
<p>CISM has requested Engineering give a presentation regarding the condition of the roadways in the City. Staff rates the roadways every 2 years using PASER rating system. These ratings are logged and put into a WDOT data base. The rating system is based on a 1-10 scale, 10 being a brand new street and 1 being failed. Staff worked with the GIS department to create the attached map. The map highlights streets that rate 5 or below using the PASER scale. It should be noted these ratings are 2013. These rating will be redone this summer/fall. The last two winters have been very hard on the streets and it is anticipated these ratings will decrease significantly.</p>
<b>FISCAL IMPACT</b>
This item is for informational purposes only to inform the committee on overall street conditions.
<b>STAFF RECOMMENDATION</b>
None
Staff contact: Allen Wesolowski 715-261-6762

PASER Ratings for Pave (Asphalt and Concrete) Roads	
Rating	Pavement Condition
1	FAILED - Needs total reconstruction.
2	VERY POOR - Severe deterioration.
3	POOR - Needs patching and major overlay.
4	FAIR - Significant aging. Would benefit from overlay.
5	FAIR - Surface aging. Needs sealcoat or nonstructural overlay.
6	GOOD - Shows sign of aging. Could extend with seal coat.
7	GOOD - First signs of aging. Maintain with crack filling.
8	VERY GOOD - Recent sealcoat or new road mix. Little or no maintenance required.
9	EXCELLENT - Recent overlay, like new.
10	EXCELLENT - New Construction.

### Legend

#### Ratings

- 2 - Very Poor
- 3 - Poor
- 4 - Fair
- 5 - Fair
- Constructed 2013 and Later

### Centerline Mileages

- 0.47 Miles - Rating 2
- 3.69 Miles - Rating 3
- 16.66 Miles - Rating 4
- 30.54 Miles - Rating 5

