



OFFICIAL NOTICE AND AGENDA

Notice is hereby given that the Common Council of the City of Wausau, Wisconsin will hold a regular or special meeting on the date, time and location shown below.

Meeting of the: **COMMON COUNCIL OF THE CITY OF WAUSAU**
 Date/Time: **Wednesday, June 10, 2015 at 7:00 pm.**
 Location: **City Hall (407 Grant Street, Wausau WI 54403) - Council Chambers**
 Members: Bill Nagle, Romey Wagner, David Nutting, Tom Neal, Gary Gisselman, Keene Winters, Lisa Rasmussen, Karen Kellbach, David Oberbeck, Sherry Abitz, Robert Mielke

Call to Order

Pledge of Allegiance / Roll Call / Proclamations

Presentations:

Public Comment: (Pre-registered citizens for matters appearing on the agenda)

Communications: (Mayor / Alderpersons / Department Heads or designee)

14-0403 Mayor's Appointments to Standing Committees 2014-2016 (filling vacancies)

Committee Reports: (All standing and non-standing committees, commissions or boards)

File #	CMT	Consent Agenda	ACT
15-0604	ED	Resolution Adopting a new Economic Development Agreement Process strategy and guideline document.	Approved 4-0
15-0614	ED	Resolution Issuing a consensus statement in support of the reinvigoration and redevelopment of the Wausau Center Mall facility.	Approved 4-0
13-1116	ED	Resolution Approving lease agreement between the City of Wausau and CAG Industrial, Inc. for city property located in the area of 250 South 80th Avenue	Approved 4-0
89-0925	ED	Resolution Approving waiver of right to repurchase property from Hydrite Chemical Company located at 7400 Highland Drive	Approved 4-0
15-0410	FIN	Resolution Supporting the Expansion of Bank Qualified Bonds	Approved 5-0
99-1104	FIN	Resolution Modifying the Procurement Policy	Approved 5-0
15-0607	P&T	Ordinance Designating no parking on E. Kent Street from Curling Way to approximately 725 feet east of the centerline of Curling Way	Approved 3-0
15-0615	PLAN	Ordinance Amending Sections 23.02.326.5 Microbrewery, 23.12.110 Size of parking spaces, 23.26.120 Size of parking spaces, 23.30.070 Signs, 23.34.030 Conditional uses, 23.38.100 Size of parking spaces, 23.40.030 Conditional uses, 23.58.010 Statutory authorization, and repealing Sections 23.02.326.5 Microbrewery and 23.12.055 Home satellite communication dishes and outdoor radio and television antennas and towers	Approved 4-0
10-0209	PLAN	Ordinance Amending Sections 23.08.030, 23.58.060, 23.58.060(b)(2), 23.58.060(c), 23.58.060(d)(1), 23.58.060(e), 23.58.060(g)(2), 23.58.080, 23.76.010, 23.76.020, 23.76.030, 23.80.010, 23.80.020, 23.86.010, 23.88.010, 23.88.020, 23.88.030 replacing "director of inspections and electrical systems" with "zoning administrator"	Approved 4-0
15-0612	PH&S	Resolution Authorizing City Participation in the Marathon County Restorative Justice Teen Traffic Violation Program.	Approved 5-0
15-0605	PH&S	Resolution Urging the Wisconsin State Legislature to Enact Additional Amendments to Chapter 125, Wisconsin Statutes to Enable the Issuance of "Class C" Liquor Licenses to Painting Studios.	Approved 5-0
15-0108	PH&S	Resolution Approving or Denying Various Licenses as Indicated	Approved 5-0

File #	CMT	Resolutions and Ordinances	ACT
15-0503		Confirmation of Mayor's Appointments	
15-0611	CISM & PLAN	Joint Ordinance Annexing Territory from the Town of Wausau to the City of Wausau (Ashley Luczaj - 1707 E. Hamilton Street)	Approved 4-0 Approved 5-0
15-0613	ED	Resolution Initiating a design process for City owned parcels within the East Riverfront Planning Area (in the vicinity of Short St.) for new infill housing options (River East Brownstones) and accepting a grant from the Judd S. Alexander Foundation in the amount of \$13,500 to fund this process.	Approved 4-0
15-0608	FIN	Initial Resolution Providing for the Sale of \$4,285,000 General Obligation Promissory Notes	Approved 4-0
15-0609	FIN	Initial Resolution Authorizing \$5,705,000 General Obligation Bonds for Community Development Projects in Tax Incremental District Nos. 3 and 10 and Swimming Pool Projects	Approved 4-0
15-0610	FIN	Initial Resolution Authorizing \$2,655,000 Taxable General Obligation Bonds for Community Development Projects	Approved 4-0
		Suspend Rule 1(D) Transmission of Committee Business to Council - (2/3 Vote required) <i>for items with pending committee action.</i>	
15-0616	FIN	Resolution urging the Governor to veto budget language that changes room tax control.	
00-0808	FIN	Resolution approving Successor Trustee for Wausau Cemetery Association Perpetual Care Fund.	Pending

03-1116	PLAN	Resolution amending the general development plan and approving the precise implementation plan for 1801 and 1901 Westwood Center Boulevard to allow for a single multi-story healthcare facility in an existing Unified Development District.	Approved 4-0
15-0606	PH&S	Ordinance Creating Section 8.08.05 Feral cat caregiver and TNR program requirements	Approved 5-0
92-0627	PH&S	Ordinance Amending Section 8.08.001 Definitions adding "Domesticated cat or dog" and amending "owner"	Approved 5-0

Public Comment & Suggestions - (for matters not appearing on the agenda)
Adjournment

Signed by James E. Tipple, Mayor

This Notice was posted at City Hall and faxed to the Daily Herald newsroom on 06/05/15 @ 2:30 pm. Questions regarding this agenda may be directed to the City Clerk.

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids & services. For information or to request this service, contact the City Clerk at (715) 261-6620.

COMMUNICATION TO CITY COUNCIL

Mayor's Standing Committee Assignments for 2014-2016 to fill vacancies

File Number: 14-0403 Date Introduced: June 10, 2015

3) Economic Development Committee

Represents	Name	Address	Term	Phone #
Chairperson	William Nagle	1018 Graves Avenue	2014-2016	848-3993
Member	Romey Wagner	3500 Golf View Drive	2014-2016	848-5506
Member	David Nutting	534 S 1st Avenue	2014-2016	842-2589
Member	Lisa Rasmussen	1310 Crescent Drive	2014-2016	675-4872
Member (VC)_	Tom Neal	916 Hamilton Street	2014-2016	573-6042

*Filling vacancy for David Oberbeck

4) Finance Committee

Represents	Name	Address	Term	Phone #
Member (VC)	Karen Kellbach	502 Knox Street	2014-2016	675-2694
Member	David Nutting	534 S 1st Avenue	2014-2016	842-2589
Member	David Oberbeck	110 S 36th Avenue	2014-2016	843-5639
Member	William Nagle	1018 Graves Avenue	2014-2016	848-3993
Member	Robert Mielke	315 S 8th Avenue	2014-2016	845-1830

*Filling vacancy for Keene Winters

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

RESOLUTION OF THE ECONOMIC DEVELOPMENT COMMITTEE	
Adopting a new Economic Development Agreement Process strategy and guideline document.	
Committee Action:	Approved 4-0
Fiscal Impact:	None
File Number:	15-0604
Date Introduced:	June 10, 2015

FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
	<i>Included in Budget:</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

WHEREAS, the City supports the effective use of Tax Increment Financing (TIF) and other economic development tools where necessary for redevelopment; and

WHEREAS, the City effectively utilizes public resources and investments to leverage substantial private investment and promote meaningful economic development; and

WHEREAS, the City endeavors to better define the economic development investment strategy and to better communicate with potential investors the City’s economic development commitment; and

WHEREAS, the City also endeavors to clarify the steps and process by which City economic development investments can be accessed by adopting a process guideline; and

NOW THEREFORE BE IT RESOLVED by the Common Council of the City of Wausau approves the Economic Development Agreement Process strategy and guideline process as detailed.

Economic Development Agreement Process

1. Applicant meets with City Staff, potential City investments in development should:
 - a. Improve identified blighted and/or strategic areas

- b. Meet the City Urban Design Standards
 - c. Support the Comprehensive Plan and relevant neighborhood plans
 - d. Encourage loans over grants
 - e. Serve as gap financing, not be possible 'but for' City assistance
 - f. Primarily used for public infrastructure and publicly accessible areas
 - g. Create jobs, commerce and economic activity
 - h. Include substantial private investment of the applicant
 - i. Receive support from neighborhood and stakeholder organizations
2. Potential development presented by Staff to the weekly Development Team Meeting, feedback provided to the Applicant (*within 14 days of receipt*)
 3. Applicant submits TIF Application & Draft Development Agreement (*at least 30 days before Committee Review*)
 - a. TIF Application must include:
 - i. Development plans and cost estimates
 - ii. Job creation commitments
 - iii. Gap financing requirements
 - iv. Substantial public benefit details
 - b. Draft Development Agreement must be based on a City Model Development Agreement or substantially comply with the City Attorney's standards. Applicant may utilize their own attorney or, at the applicant's expense, the City will contract outside-counsel
 4. Staff verifies TIF Application and Draft Development Agreement completeness, assigns a file number, distributes the file for review to relevant City departments and draft to Economic Development Committee members (*within 14 days of receipt*)
 5. City Staff Review of TIF Application and Draft Development Agreement begins:
 - a. by City Attorney
 - b. by City Finance Director
 - c. by City Assessor
 - d. by City Engineering/Public Works
 - e. reviews compiled by Community Development Staff- Staff Report Created
 6. Committee Review
 - a. by Economic Development/Finance/CISM/Plan Commission or joint meetings thereof
 7. Resolution by Common Council
 8. Development Agreement Signed/Closed with City Attorney
 9. File Entered into Development Agreement Database, performance standards are tracked by:
 - a. City Assessor's- valuation attained
 - b. Community Development- job creation verification, occupancy, equipment, construction, etc.
 - c. Finance- payments received
 10. Status and updates on Agreements routinely reported by Community Development Staff to the Committee

Approved:

James E. Tipple, Mayor

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

RESOLUTION OF THE ECONOMIC DEVELOPMENT COMMITTEE	
Issuing a consensus statement in support of the reinvigoration and redevelopment of the Wausau Center Mall facility.	
Committee Action:	Approved 4-0
Fiscal Impact:	None
File Number:	15-0614
Date Introduced:	June 10, 2015

FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
	<i>Included in Budget:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

WHEREAS, the Wausau Center Mall is currently a successful retail facility owned by CBL Associates and serves as a key partner in the continued investment in downtown Wausau; and

WHEREAS, the Mayor convened two stakeholder meetings with local partners to discuss continued support of the Wausau Center Mall and ways in which the facility can be reinvigorated for long-term growth; and

WHEREAS, the key stakeholder partners including Marathon County, the Wausau Region Chamber of Commerce, the Wausau River District and Central Wausau Progress, have for the first time, united with the City of Wausau, commit to cooperate on the important reinvigoration of the Wausau Center Mall; and

WHEREAS, the above-mentioned stakeholder partners have determined it important to express their cooperation and support for the Wausau Center Mall in a unified way by jointly passing consensus and similar-worded statements of support committing to said cooperation;

NOW, THEREFORE, BE IT RESOLVED, that the Common Council of the City of Wausau in unity with the other stakeholder partners issues the following consensus statement of cooperation and support for the facility and welcomes continued discussions and proposals on the future of the Wausau Center Mall.

Approved:

James E. Tipple, Mayor

We, as community stakeholders, support the Wausau Center Mall as a successful retail facility and a key partner in the continued investment in downtown Wausau. As local officials, partners and stakeholders, we provide this consensus statement in support of the present facility and provide our commitment for the future redevelopment of the Wausau Center Mall.

- We support the continued reinvigoration of the existing facility which positions it for continued long term growth and are committed to partnering with the facility's current owner (CBL Associates), as well as other partners or potential owners.
- We are committed to leveraging private and public resources to provide the necessary support for long term growth.
- We are committed to facilitating an effective reinvigoration of the facility which benefits investors, the City and our region.

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

RESOLUTION OF THE ECONOMIC DEVELOPMENT COMMITTEE	
<p>Approving lease agreement between the City of Wausau and CAG Industrial, Inc. for city property located in the area of 250 South 80th Avenue</p>	
Committee Action:	Approved 4-0
Fiscal Impact:	Payment of \$360 per year for five years totaling \$1,800
File Number:	13-1116
Date Introduced:	June 10, 2015

FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
	<i>Included in Budget:</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	<i>Budget Source: Payment of \$360 per year for five years totaling \$1,800</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

WHEREAS, the City presently has vacant property in the area of 250 South 80th Avenue located in the Wausau Business Campus; and

WHEREAS, CAG Industrial, Inc. wishes to lease from the City this adjacent property for storage trailer parking for a period of five years with one five-year possible renewal term; and

NOW, THEREFORE, and in consideration of the rents, covenants, and agreement herein contained, LESSOR does hereby lease to LESSEE, and LESSEE does lease from LESSOR the following premises, rights and privileges, on and to that land described on "Exhibit 1" contained in the lease agreement attached hereto; and

WHEREAS, your Economic Development Committee, at their May 21, 2015 meeting, recommended approval of leasing the property to CAG Industrial, Inc.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Wausau that the proper city officials are hereby authorized to execute a lease agreement with CAG Industrial, Inc. for the purpose of storage trailer parking in substantial compliance with the terms of the proposed lease attached.

Approved:

James E. Tipple, Mayor

ECONOMIC DEVELOPMENT COMMITTEE

Time and Place: The Economic Development Committee met on Thursday, May 21, 2015 at 4:30 p.m. in the 2nd Floor Board Room at City Hall, 407 Grant Street, Wausau

ED Members Present: Bill Nagle (C), Romey Wagner, Tom Neal (VC) and Lisa Rasmussen

Others Present: Mayor Jim Tipple, Ann Werth, MaryAnne Groat, Chris Schock, Eric Lindman, Travis Lepinski, Gary Gisselman, Brad Lenz, Kristin Fish, Forest Young, John Smith, Rob Flashinski, Kevin Malovrh, Elizabeth Fields, Karen Kellbach and Chuck Ghidorzi

DISCUSSION AND POSSIBLE ACTION ON THE POTENTIAL SHORT-TERM LEASE AGREEMENT BETWEEN THE CITY OF WAUSAU AND CAG INDUSTRIAL FOR CITY PROPERTY LOCATED IN THE AREA OF 250 SOUTH 80TH AVENUE

Rasmussen motioned to approve lease contingent upon legal review from staff to insure proper provisions. Neal seconded and the motion carried unanimously 4-0



Building Community Today
for Tomorrow's Generation

May 12, 2015

Chris Schock
Wausau Economic Development
407 Grant Street
Wausau, WI 54403

Chris,

Attached is the illustration for the land in the West Business Park that we would like to lease from the city for the purpose of trailer parking for a potential tenant at CAG Industrial, 305 84th Avenue. This land is to the north of Wausau Container's new expansion.

I would propose the following terms:

Lease Term: five years

Option to Extend: one five-year renewal

Improvements: by Lessee

Rent: 10% of the value of land

Calculation: .30 acres @ \$12,000/acre X 10% = \$360.00/year

Cancellation: by Lessee if no longer needed.

by Lessor if Wausau Container needs to purchase land for additional expansion.

Thank you for the city's consideration.

Regards,

A handwritten signature in black ink, appearing to read "Chuck Ghidorzi". The signature is enclosed in a large, hand-drawn oval.

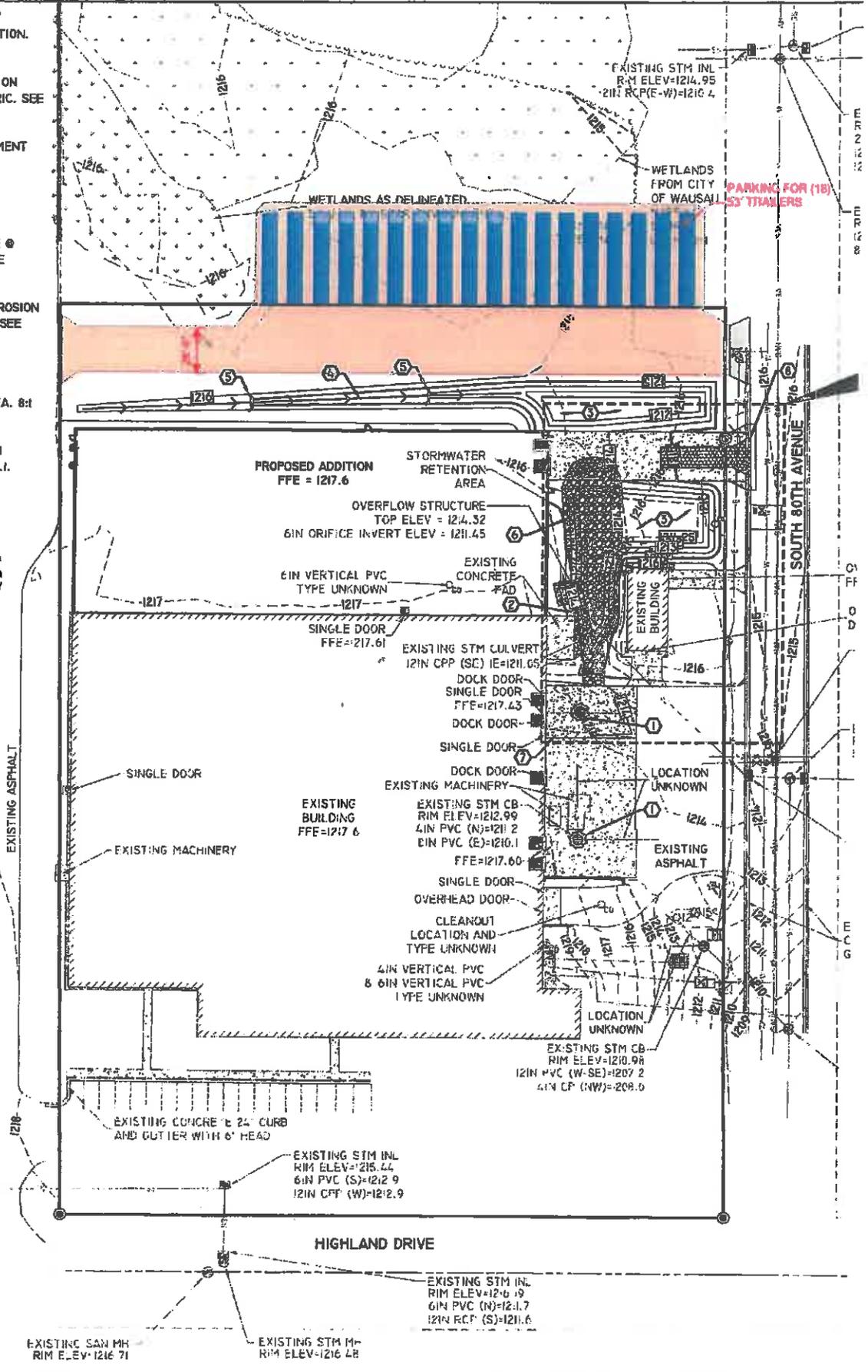
Chuck Ghidorzi
CAG Industrial

KEYED NOTES

1. PROVIDE INLET PROTECTION. SEE DETAIL A/C2.1.
2. INSTALL LIGHT RIPRAP ON TYPE R GEOTEXTILE FABRIC. SEE DETAIL B/C2.1.
3. STORMWATER MANAGEMENT FACILITY.
BOTTOM (N) = 1212.00
BOTTOM (S) = 1211.25
WEIR = 1215.00
4. FORM DRAINAGE SWALE @ 1.00% MINIMUM SLOPE. SEE DETAIL C/C2.1.
5. INSTALL TEMPORARY EROSION BALES @ 100' INTERVALS. SEE DETAIL D/C2.1.
6. REMOVE RIPRAP.
7. GRADE TRANSITION AREA. 8:1 MAX SLOPE.
8. INSTALL CONSTRUCTION ACCESS. SEE DETAIL E/C2.1.

NOTES:

- (A) CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION, AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- (B) CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND COORDINATING ALL PROPOSED UTILITY RUNS, INSTALLATIONS AND RELOCATIONS.
- (C) CALL DIGGERS HOTLINE @ 811 OR 1-800-242-8511 AT LEAST 3 WORKING DAYS PRIOR TO EXCAVATING.
- (D) ADJUST ALL MANHOLES, INLETS, AND VALVE BOXES TO FINISH GRADE.
- (E) INSTALL EROSION MAT ON ALL REVEGETATED SLOPES 4:1 OR GREATER AND WITHIN SWALE BOTTOM.
- (F) CONTRACTOR SHALL ABIDE BY THE WDMR CONSERVATION PRACTICE STANDARDS FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL. REFER TO C2.1 FOR TECHNICAL STANDARDS EMPLOYED.
- (G) GRADING CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE BETWEEN PROPOSED IMPROVEMENTS AND EXISTING CONTOURS.
- (H) IN AREAS WHERE THE PARKING LOT DRAINS ONTO ADJACENT GRASS AREAS, MAINTAIN ASPHALT 1' ABOVE GRASS.
- (I) SPOT ELEVATIONS SHOWN ALONG CURBLINE DENOTE FLOWLINE UNLESS SPECIFIED. REFER TO LAYOUT PLAN FOR CURB TYPES.



S: FILE: P:\2500-2599\2582A-WAUSAU-CONTAINER DRUM PLANS\2582B-C2-GRADING-EC.DWG LAYOUT: C2
 D: FEB 16, 2015 - 2:47PM PLOTTED BY: 7002W

LEASE AGREEMENT BETWEEN THE CITY OF WAUSAU
AND CAG INDUSTRIAL, INC.

THIS AGREEMENT, made this ____ day of _____, 2015, by and between the City of Wausau, a municipal corporation of the State of Wisconsin, hereinafter referred to as "LESSOR," and CAG Industrial, Inc., hereinafter referred to as "LESSEE";

WITNESSETH:

WHEREAS, LESSOR presently owns property in the City of Wausau, a description of such property being attached hereto as "Exhibit 1" and incorporated herein by reference; and

WHEREAS, the property described on "Exhibit 1" is vacant land and LESSEE wishes to lease from LESSOR this property, and LESSOR wishes to lease to LESSEE this property, all upon terms and conditions as follows:

NOW, THEREFORE, and in consideration of the rents, covenants, and agreement herein contained, LESSOR does hereby lease to LESSEE, and LESSEE does lease from LESSOR the following premises, rights and privileges, on and to that land described on "Exhibit 1" attached hereto:

1. **PREMISES.** LESSOR hereby leases to LESSEE and LESSEE hereby leases from LESSOR that certain tract of vacant land as described as follows:

See "Exhibit 1" attached hereto and incorporated herein by reference.

2. **DURATION OF LEASE.** The term of this lease shall be five (5) years, beginning on the date of first written, and terminating on the last day of the fifth year thereafter. This lease may be renewed for one additional five-year period upon the mutual agreement of the parties, after notice of the intent to renew given by LESSEE 120 days prior to the expiration of the original term; if the parties cannot agree on the terms for a new lease, then this agreement will terminate on the last day of the original term.

3. **RENT.** LESSEE agrees to pay to LESSOR as follows:

The rent shall be Three Hundred Sixty Dollars (\$360) per year. Payments shall be made at the office of the City Treasurer at City Hall, 407 Grant Street, Wausau, Wisconsin, or mailed to that address. Payment shall be received by the 1st day of the month following execution of this agreement and annually thereafter until the expiration of the lease agreement.

4. CONDITION OF PREMISES. LESSEE having inspected the demised premises, agrees to accept the premises in their present condition and state of repair and acknowledges that LESSOR has made no representation as to the condition of the premises.
5. USE OF PREMISES. The premises shall be used for trailer parking, provided that any use shall be a use which is permitted by the zoning ordinances of the City of Wausau.
6. CARE OF PREMISES. LESSEE shall, during the term of this lease and any renewal or extension thereof, keep the exterior premises reasonably free of debris and in good order and in a presentable manner. LESSOR shall have the right to inspect the premises at all reasonable times and if LESSEE fails to keep the premises in a reasonably clean condition, LESSOR may clean the premises and charge the costs thereof to LESSEE.
7. CHANGES/IMPROVEMENTS. It is agreed by and between the parties hereto that LESSEE shall make any necessary improvements to the land at LESSEE'S expense, and upon LESSOR's consent, which shall not be unreasonably withheld.
8. GOVERNMENTAL REGULATIONS. LESSEE agrees to keep and occupy the premises in accordance with all police, sanitary, health, safety, and other rules, laws, and regulations imposed by any governmental authority. LESSEE agrees to comply with all ordinances of the City of Wausau, including zoning, storage and setback ordinances.
9. LIABILITY INSURANCE. LESSEE agrees to carry and pay the premiums for public liability insurance, including liability under the safe place statute, insuring LESSOR against liability for injury to property for at least Five Hundred Thousand Dollars (\$500,000) and against liability for injury to persons or for loss of life arising out of the use and occupancy of the demised premises, with limits of Two Million Dollars (\$2,000,000) per person and per occurrence, and shall furnish evidence of such insurance to LESSOR. In lieu of the foregoing, if LESSEE carries such public liability insurance under a blanket policy, LESSEE shall furnish LESSOR a current certificate to that effect which states the amount thereof, the type of coverage, and that LESSOR has been added as a coinsured for the demised premises. LESSOR shall have the right at any time to force LESSEE to raise the herein described limits of coverage. Such increase shall be implemented by LESSEE within thirty (30) days of notice by LESSOR.
10. INDEMNIFY AND HOLD HARMLESS. LESSEE agrees to indemnify LESSOR, and to save and hold LESSOR free and harmless from and against any and all judgments, damages, losses, costs, claims, expenses, suits, demands, actions, and/or causes of action of any kind or of any nature, which may be sustained by reason of damage or damages or injury to any person or persons or property or death to any person or

persons, or by reason of any other liability imposed by law or by anything or by anyone else upon LESSOR, as the result of and/or due to LESSEE's operations on the premises which are the subject of this lease and/or as a result of and/or due to the presence of LESSEE on the premises which are the subject of this lease agreement and/or the result of and/or due to the existence of this lease agreement; and LESSEE agrees to indemnify and save and hold free and harmless any of LESSOR's appointed, hired, and elected officers, agents, employees and designees from the aforementioned judgments, damages, losses, costs, claims, expenses, suits, demands, actions and/or causes of action of any kind or of any nature, and this specifically includes within this indemnification and hold harmless, attorney's fees and other costs of defense which may be sustained by and/or occasioned to LESSOR and/or any of LESSOR's appointed, hired, and elected officers, agents, employees and designees.

11. RELEASE. LESSEE hereby releases LESSOR, and its officers, agents, employees and designees from all judgments, damages, losses, costs, claims, expenses, suits, demands, actions and/or causes of action of any kind or of any nature, which may result from or be due to LESSEE's operations on the premises which are the subject of this lease and/or as a result of and/or due to the present of LESSEE on the premises which are the subject of this lease and/or as the result of and/or due to the existence of this lease agreement.
12. ASSIGNMENT—SUBLETTING. LESSEE may not assign or sublet all or any portion of the demised premises without the approval of LESSOR, which approval shall not be unreasonably withheld. LESSOR shall have the right to sell, assign, or transfer LESSOR's interest in this lease agreement.
16. TERMINATION OF LEASE BY LESSOR. If default is made in the payment of rent, at the times above stated, or if LESSEE shall break any of the covenants and agreements herein contained, or shall willfully or maliciously do injury to the premises, or shall file a petition in bankruptcy or have an involuntary petition in bankruptcy filed against him, or make an assignment for the benefit of creditors, LESSOR or its legal representatives shall have the right at any time thereafter, without notice, to declare this lease void and the term herein contained ended, and may re-enter the premises and expel LESSEE, without prejudice to any remedies which LESSOR may have to collect arrears of rent.

This lease may be terminated at any time by the LESSEE if no longer needed or by the LESSOR at any time if an option is exercised or if the LESSOR has an accepted offer for such property for development purposes.

17. LESSOR'S OPTION TO CURE LESSEE'S BREACH. In the event of any breach hereunder by LESSEE, either in payment of insurance premiums, personal property taxes, charges, rents, fees or licenses levied, charged, or assessed by governmental

authority, or in the making of repairs or maintenance, or in failing to deposit policies, or in any other covenants and agreements herein contained, LESSOR may immediately, or at any time thereafter, after five (5) days written notice to LESSEE, cure such breach at the expense of LESSEE. If LESSOR, at any time, by reason of such breach, is compelled to pay, or elects to pay, any money or to do any act which will require the payment of any money, or is compelled to incur any expenses, including reasonable attorney's fees, in instituting or prosecuting any action or proceeding to enforce LESSOR's rights hereunder, the sums so paid by LESSOR with interest at the rate of 10 percent per annum from the date of payment thereof, shall be deemed additional rent hereunder and shall be due from LESSEE to LESSOR from the time of disbursement. It is agreed that after the service of any notice, or the commencement of suits, or after final judgment for possession of the premises, LESSOR may receive and collect any rent or additional rent due without prejudice to or waiver of an effect upon the said notice, suit, or judgment.

18. CUMULATIVE REMEDIES. All rights and remedies of LESSOR herein enumerated shall be cumulative and none shall exclude any other right or remedy allowed by law, and said rights and remedies may be exercised and enforced concurrently and whenever and as often as occasion therefor arises.
19. NOTICES. Any notice required or permitted under this lease agreement shall be deemed sufficiently given or served if sent by certified mail, return receipt requested, to LESSEE at 2100 Stewart Avenue, Wausau, WI 54401, and to LESSOR at City Hall, 407 Grant Street, Wausau, WI 54403. Either party may, by proper notice, at any time from time to time, designate a different address to which notice shall be sent. Notices given in accordance with these provisions may also be made through personal receipt by the party to whom the notice is addressed.
22. SNOW REMOVAL, GRASS CUTTING, AND MAINTENANCE. LESSEE shall be responsible for removal of snow and ice from the parking lot and from the drive approaches, and LESSEE shall place the snow, or haul away the snow, so as not to cause visual obstructions for traffic or problems for neighbors; LESSEE shall be responsible for cutting the grass and other growth on the premises and for surface maintenance of the parking lot.

Should LESSEE remain on the premises subsequent to the termination date, LESSEE shall be considered as a month-to-month tenant upon the same terms and conditions as this lease and LESSOR shall have the right to terminate said tenancy upon thirty (30) days notice.

IN WITNESS WHEREOF, this lease agreement has been duly executed the day and year first above written.

CITY OF WAUSAU BY:

Witness

James E. Tipple, Mayor

Witness

Toni Rayala, Clerk

CAG INDUSTRIAL, INC. BY:

Witness

Charles A. Ghidorzi, President

RESOLUTION OF THE ECONOMIC DEVELOPMENT COMMITTEE

Approving waiver of right to repurchase property from Hydrite Chemical Company located at 7400 Highland Drive

Committee Action: Approved 4-0

Fiscal Impact: None

File Number: 89-0935

Date Introduced: June 10, 2015

FISCAL IMPACT SUMMARY

		COSTS		SOURCE	
	<i>Budget Neutral</i>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>		
	<i>Included in Budget:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Budget Source:</i>	
	<i>One-time Costs:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>	
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>	
	<i>Fee Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>	
	<i>Grant Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>	
	<i>Debt Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount</i>	<i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>	
	<i>TID Source: Increment Revenue <input type="checkbox"/> Debt <input type="checkbox"/> Funds on Hand <input type="checkbox"/> Interfund Loan <input type="checkbox"/></i>				

RESOLUTION

WHEREAS, Apogee Wausau Group, Inc. wishes to purchase the property at 7400 Highland Drive from Hydrite Chemical Company; and

WHEREAS, deed restrictions on the property give the City of Wausau first right to repurchase the property; and

WHEREAS, your Economic Development Committee, at their June 2, 2015 meeting, considered the matter and wishes to decline to exercise the right to repurchase the property.

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Wausau that the City hereby declines to exercise its right to repurchase the property from Hydrite Chemical Company located at 7400 Highland Drive in the Wausau Business Campus, and approves the sale of the property to Apogee Wausau Group, Inc.

BE IT FURTHER RESOLVED Apogee Wausau Group, Inc. will abide by all terms and conditions set forth in the Wausau Business Campus Deed Restrictions and that any previous deed restrictions on the property at 7400 Highland Drive run with the property.

Approved:

James E. Tipple, Mayor



Memorandum

From: Anne L. Jacobson, City Attorney

To: Economic Development Committee

Date: May 28, 2015

Re: City's Waiver of Right to Repurchase the land located at 7400 Highland Drive to be transferred by Hydrite Chemical Company to Apogee Wausau Group, Inc.

Purpose: The purpose of this item is to take action upon the City's right to repurchase a property in the Wausau Business Campus.

The City received a Notice of Intent to Convey on May 8, 2015, from Hydrite Chemical Company pursuant to the city's right to repurchase the property located at 7400 Highland Drive. According to the deed restrictions recorded with the Warranty Deed, the City has the right to exercise its right to repurchase the property:

Facts: The City deeded 7400 Highland Drive to Hydrite Chemical Company on October 10, 1989. Hydrite is now interested in selling the property to Apogee Wausau Group, Inc., and has an accepted Offer to Purchase, dated March 20, 2015.

The first paragraph of the recorded Deed Restrictions includes:

In the event GRANTEE elects to convey all or any portion of said land, the land shall first be offered to CITY and CITY shall have the option of repurchasing the land at the lesser of the following: The price and terms offered to GRANTEE by a prospective buyer; or at the original sale price, plus interest at the rate of 5 percent per annum from the date of closing, plus the fair market value of any improvements made to the property as determined at the time of the offer, plus any outstanding, unpaid special assessments levied against that portion of the parcel.

The offer to CITY shall be by registered mail, return receipt requested, mailed to the City Clerk.

CITY shall have 90 days after the expiration of the one year time limit, or after the notice of intent to convey, to exercise its option to repurchase, unless an extension of time is mutually agreed upon and set forth in writing. Action on the repurchase shall be by a resolution adopted by the Common Council of CITY. If the option is exercised, conveyance to CITY shall be by warranty deed free and clear of all liens or encumbrances created by act or default of the GRANTEE.

The City has the right to repurchase this parcel for the lesser of \$985,000.00 or \$1,848,823.00.

Staff Recommendation: Approval by Committee and Council.

cc: Mayor

WAIVER OF RIGHT TO REPURCHASE

Document Number

Document Title

- A. The City of Wausau, a Wisconsin Municipal Corporation reserved certain rights, including a right to repurchase the property under certain circumstances, in that certain Warranty Deed dated October 10, 1989, recorded November 24, 1989 with the Marathon County Register of Deeds as Document No. 917169 (the "Warranty Deed") for the property described below (the "Property").
- B. Hydrite Chemical Company intends to sell the Property to Apogee Wausau Group, Inc. (the "Transfer").
- C. The City of Wausau does not wish to exercise its option of repurchasing the land with regard to this transfer of title.

Land described in Certified Survey Map No. 5604 recorded in the office of the Register of Deeds for Marathon County, Wisconsin, on September 22, 1989, in Volume 20 of Certified Survey Maps on page 197, as Document No. 913679; being a part of the Southeast quarter (SE1/4) of the southeast quarter (SE1/4) of Section twenty-five (25), Township twenty-nine (29) North, Range six (6) East, in the City of Wausau, Marathon County, Wisconsin.

Recording Area

Name and Return Address:

City of Wausau Attorney's Office
407 Grant Street
Wausau, WI 54403

Charge City of Wausau

PIN: 291.2906.254.0996

NOW, THEREFORE, for good and valuable consideration, the sufficiency of which is hereby acknowledged, the City of Wausau, Wisconsin, hereby waives any right to exercise its option to repurchase the Property with respect to or as a result of this Transfer.

Dated this ____ day of _____, 2015.

CITY OF WAUSAU

By: _____
James E. Tipple, Mayor

ATTEST:

By: _____
Toni Rayala, City Clerk

STATE OF WISCONSIN)
) ss.
COUNTY OF MARATHON)

Personally came before me this ____ day of _____, 2015, James E. Tipple, Mayor and Toni Rayala, City Clerk, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

_____, Notary Public
Marathon County, Wisconsin
My Commission _____.

This instrument was drafted by Anne L. Jacobson, City Attorney, 407 Grant Street, Wausau, Wisconsin 54403

RESOLUTION OF THE FINANCE COMMITTEE

Supporting the Expansion of Bank Qualified Bonds

Committee Action: Approved 5-0

Fiscal Impact: None

File Number: 15-0410

Date Introduced: June 10, 2015

FISCAL IMPACT SUMMARY

COSTS	<i>Budget Neutral</i>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
	<i>Included in Budget:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

WHEREAS, Legislation has been introduced which would increase the annual issuance limit for issuers of bank-qualified bonds from \$10 million to \$30 million; and

WHEREAS, Ron Kind of Wisconsin is a current sponsor of the legislation; and

WHEREAS, Bank qualified designation provides tax incentives to banks who purchase municipal bonds which reduces the interest rate on municipal borrowing, thus saving interest costs; and

WHEREAS, bond financing is an important financing source for the city’s economic development projects and annual capital plan; and

NOW THEREFORE BE IT RESOLVED, that the City of Wausau supports the expansion of annual issuance limit for issuers of bank-qualified bonds from \$10 million to \$30 million

BE IT FURTHER RESOLVED, that the City Clerk is directed to forward this legislation to our local US legislators, and the sponsoring legislators listed above.

Approved:

James E. Tipple, Mayor

FINANCE COMMITTEE

Date and Time: Tuesday, **May 26, 2015** @ 5:30 pm., Board Room

Members Present: Winters, Kellbach, Nagle, Oberbeck

Members Excused: Nutting

Others Present: Groat, Jacobson, Giese, Hebert, Kerntop, Kujawa, Lindman, Tipple, Rasmussen, Mielke, Neal, Elizabeth Field, Dick Barrett, Lisa Barry

Discussion and Possible Action on Support of Increasing the Bank Qualified Limits to \$30,000,000 - Groat

Groat stated during the slowdown in the economy the US Government temporarily increased the limit to \$30 million with a built in sunset provision. Last year as well as this year, there is some desire from legislators to increase it back up to \$30 million. She stated the benefit to the City of Wausau is to provide us flexibility; while we don't generally borrow more than \$10 million, there are instances that we do. She pointed out this year would be a good example, as well as the year we did the borrowing for the Jefferson Street ramp. Also, if we are doing a large refinancing plus borrowing we still have to live within that \$10 million. She explained "bank qualified" means when a bank holds your bonds they get a deduction for that interest, so they are willing to take a lower interest rate because they don't have to pay taxes on the income. She noted once you go over the \$10 million, none of it qualifies, so you have to stay under or the whole thing doesn't qualify.

Motion by Nagle, second by Oberbeck to approve the resolution supporting increasing the bank qualified limits to \$30,000,000. Motion carried 4-0.

THE BOND BUYER

Wednesday, May 20, 2015 | as of 12:27 AM
ET

Taxation

Bill on Bank-Qualified Bonds Introduced in the House

by [Naomi Jagoda](#)

MAY 4, 2015 7:29pm ET

WASHINGTON - Rep. Tom Reed, R-N.Y., has reintroduced legislation that would increase the annual issuance limit for issuers of bank-qualified bonds to \$30 million from \$10 million.

The Municipal Bond Market Support Act of 2015, H.R. 2229, was introduced on Friday. It is co-sponsored by Reps. Richard Neal, D-Mass., Todd Young, R-Ind., John Larson, D-Conn., Randy Hultgren, R-Ill., and Ron Kind, D-Wis. The bill, which is similar to a measure that was offered in July of last year, has been referred to the House Ways and Means Committee.

Currently, banks can buy the bonds of issuers who issue \$10 million or less of tax-exempt bonds per year and deduct 80% of their carrying costs, the interest expense they incur from purchasing or carrying an inventory of tax-exempt bonds. The \$10 million limit was temporarily increased to \$30 million under the American Recovery and Reinvestment Act, but that expired at the end of 2010. Outside of that temporary increase, the bank-qualified limit has never been raised or indexed to inflation.

The bill would raise the bank-qualified limit to \$30 million and index it to inflation.

Additionally, it would apply the limit at the borrower level for 501(c)(3) nonprofit bonds. As a result, bonds issued for nonprofits that borrow no more than \$30 million in bond proceeds in a year could be bank-qualified even if the issuer sells more than that amount of bonds annually.

"Municipal bonds are a lifeline to local communities looking to expand a high school or repair their infrastructure," Hultgren said in a release. "These tools of 'fiscal federalism' allow municipalities to raise their own funds tax-free, using their own expertise and avoiding the heavy bureaucracy of the federal government. We should expand this Main Street financing tool for municipalities intimately connected to the needs of their communities."

Larson said that under the Municipal Bond Market Support Act, "bank-qualified bonds will enable smaller communities to finance these vital improvements, which in turn will create jobs, improve local economies, and ensure the safety of our citizens through much needed upgrades."

Reed and some of same co-sponsors introduced the similar bank-qualified bond bill last year, but it failed to gain traction.

A version of the Municipal Bond Market Support Act was introduced in the Senate in 2011. The Senator who introduced it - Jeff Bingaman, a Democrat from New Mexico - retired from the Senate in 2013.

Updating the bank-qualified bond rules is a priority for a number of municipal market groups. Associations including the Bond Dealers of America, the Government Finance Officers Association and the Independent Community Bankers of America lobbied for changes to the bank-qualified bond rules in recent letters to the Senate Finance Committee tax reform working group on community development and infrastructure.

"The increased limit and other fixes in the bill will give more opportunities particularly to the smaller issuers that our regional and middle market dealers serve," said Mike Nicholas, BDA's chief executive officer.



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GFOA Secures Introduction of Legislation to Expand Availability of Bank-Qualified Bonds

Tuesday, July 29, 2014

Last week, a bipartisan group of House lawmakers introduced legislation (H.R. 5199) that would permanently raise the issuer limit on bank-qualified bonds from \$10 million to \$30 million. The legislation, which breathes new life into the effort to restore the annual issuer limit to \$30 million, is the culmination of several months of work by GFOA's Federal Liaison Center with the offices of congressmen Tom Reed (R-NY), Randy Hultgren (R-IL), John Larson (D-CT) and Richard Neal (D-MA).

Bank-qualified bonds were created in 1986 to give smaller issuers more cost-effective access to credit by allowing them to bypass the traditional underwriting system and sell their tax-exempt bonds directly to local banks. In addition to the higher costs of issuance in the normal underwriting process, many small issuers have a difficult time selling their bonds because investors are not as familiar with their jurisdictions. As a result of these factors, many small issuers have been forced to pay higher interest rates on their bond issuances. Recognizing the utility of bank-qualified bonds to overcome these cost barriers, Congress temporarily expanded their use by raising the issuer limit to \$30 million annually in 2009, and as a result, the market for bank-qualified bonds increased in 2009 to approximately \$32 billion. However, despite the effectiveness of bank-qualified bonds and bi-partisan support on Capitol Hill, Congress did not extend these provisions beyond their December 31, 2010, sunset date, and on January 1, 2011, the annual issuer limit for bank-qualified bonds reverted to \$10 million.

The GFOA urges members to reach out to their members of Congress and request that they co-sponsor HR 5199.

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

RESOLUTION OF THE FINANCE COMMITTEE	
Modifying the Procurement Policy	
Committee Action:	Approved 5-0
Fiscal Impact:	None
File Number:	99-1104
Date Introduced:	June 10, 2015

FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
	<i>Included in Budget:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

WHEREAS, the Finance Committee has considered and recommends the attached revisions of the procurement policy which incorporate the following changes:

- Clarification of when contracts may be signed without council approval

NOW THEREFORE, BE IT RESOLVED, by the Common Council of the City of Wausau that the procurement policy which is attached hereto and incorporated herein by reference is hereby adopted as the procurement policy of the City of Wausau and that its administration and enforcement shall be done under the direction of the Mayor and department heads.

Approved:

James E. Tipple, Mayor

FINANCE COMMITTEE

Date and Time: Tuesday, **May 26, 2015** @ 5:30 pm., Board Room

Members Present: Winters, Kellbach, Nagle, Oberbeck

Members Excused: Nutting

Others Present: Groat, Jacobson, Giese, Hebert, Kerntop, Kujawa, Lindman, Tipple, Rasmussen, Mielke, Neal, Elizabeth Field, Dick Barrett, Lisa Barry

Discussion and Possible Action regarding proposed Procurement Policy language clarification regarding contract approval - Groat

Groat indicated this was basically a housekeeping change, by moving some language in item 2 to the introduction section, as well as a few specific word changes for clarity. Nagle was concerned it was getting too complicated and did not want it to become cumbersome for staff. Jacobson indicated she was in agreement with the language changes for clarification as presented.

Motion by Nagle, second by Kellbach to approve the changes to the Procurement Policy. Motion carried 4-0.

CITY OF WAUSAU, WISCONSIN

PROCUREMENT POLICY

POLICY OBJECTIVE

The City of Wausau has adopted this procurement policy in order to provide City employees with uniform guidance in the purchase of supplies, equipment, services and property. The controls and procedures set forth are intended to provide reasonable assurance that the lowest cost, highest quality good or service is obtained, while balancing the need for flexibility and efficiency in departmental operations.

COVERAGE

This policy applies to the purchases of all departments and divisions of the City of Wausau. The provisions of Wisconsin Statutes s 62.15 and Wausau Municipal Code 12.08 apply to the procurement of public construction and take precedence over any portion of this policy that may conflict with that statute. Procurement activities for MetroRide are subject to the provisions of the Federal Transit Administration and take precedence over any portion of this policy which may conflict with their guidelines. More restrictive procurement procedures required by grants, aids, statutes or other external requirements or funding sources will take precedence.

GOALS

1. To encourage open and free competition to the greatest extent possible.
2. To receive maximum value and benefits for each public dollar spent.
3. To ensure that all purchases are made in compliance with federal, state and local laws.
4. To prevent potential waste, fraud, abuse and conflicts of interest in the procurement process.
5. To assure proper approvals are secured prior to the purchase and disbursement of public funds.

ETHICAL STANDARDS

1. All procurement shall comply with applicable federal, state and local laws, regulations, policies and procedures. Municipal Code 2.03 Code of Ethics for Public Officials and Employees provides general ethical standards and conduct expectations.
2. In general, employees are not to engage in any procurement related activities that would actually or potentially create a conflict of interest, or which might reasonably be expected to contribute to the appearance of such a conflict.
3. No employee shall participate in the selection, award or administration of a contract if a conflict of interest would be involved. Such a conflict would arise when the employee, any member of his immediate family, business partner or any organization that employs, or is about to employ, any of the above, has a financial interest or other interest in the firm selected for award.
4. To promote free and open competition, technical specifications shall be prepared to meet the minimum legitimate need of the City and to the extent possible, will not exclude or discriminate against any qualified contractors.
5. No employee shall solicit or accept favors, gratuities, or gifts of monetary value from actual or potential contractors or subcontractors.
6. Employees must maintain strict confidentiality in the procurement process and shall not impart privileged information to any contractors that would give them advantage over other potential contractors.
7. Personal purchases for employees by the City are prohibited. City employees are also prohibited from using the

City's name or the employee's position to obtain special consideration in personal purchases. Employee purchase programs may be established with vendors with prior approval from the Mayor, provided that the vendor provides similar programs to employees of other private entities.

GENERAL GUIDELINES

These general guidelines shall be adhered to as closely as possible by all departments in the procurement of goods and services.

1. Procurements are classified into the following two major categories:
 - Purchasing Goods is defined as equipment, furnishings, supplies, materials and vehicles or other rolling stock. The rental, leasing of these items is also considered to fall within this category and the cost shall be determined by considering the maximum total expenditure over the term of the agreement.
 - Purchase of Services is classified into additional categories of professional services, contractor services, construction services and combined goods and service contracts.
2. Buy Local - It is the desire of the City to purchase locally when possible. This can be accomplished by ensuring that local vendors who have goods or services available are included in the competitive solicitation process that will precede major purchases. It is also the desire of the City to purchase from disadvantaged enterprise businesses whenever possible as defined by Wisconsin Statute 84.06(1).
3. Cooperative Procurement Programs – Departments are encouraged to use cooperative purchasing programs sponsored by the State of Wisconsin or other jurisdictions. Purchases of goods and services secured through these programs are considered to have met the requirements of competitive procurement outlined in this policy. Additionally, if identical products can be obtained at a lower price than current cooperative purchasing contracts, no additional quotes are required.
4. Purchasing Oversight – Department heads have the responsibility for procurement issues in their individual departments. A department head is defined as the City employee having responsibility for the department on behalf of which moneys were appropriated in the City budget for purchases.
5. Emergencies – When an emergency situation does not permit the use of the competitive process outlined in the policy, the applicable department head, Finance Director and Mayor may determine the procurement methodology most appropriate to the situation. Appropriate documentation of the basis for the emergency should be maintained and filed with the City Clerk. All emergency purchases exceeding \$50,000 shall require the Department Head to provide written notice to the Common Council.
6. Identical Quotes or Bids – If two or more qualified bids/quotes are for the same total amount or unit price, and quality or service is considered equal the contract shall be awarded to the local bidder. Where this is not practical the contract will be awarded by drawing lots in public.
7. Serial Contracting – No contract or purchase shall be subdivided to avoid the requirements of this policy. Serial contracting is the practice of issuing multiple purchase order to the same vendor for the same good or service in any 90 day period in order to avoid the requirements of the procurement policy.
8. Purchase Orders and Purchase Order Cover Sheet – Shall be issued for all purchases of goods and services in excess of \$5,000.
9. Policy Review – This policy will be reviewed by the Finance Committee every two years or sooner at the discretion of the Common Council.
10. Protest Procedures – Any interested party who wishes to protest at any point in the procurement process, evaluation, award, or post-award, may do so. An “interested party” must, however, be an actual or prospective bidder or offeror whose direct economic interest would be affected by the award of the contract or by failure to award the contract. Protests must be submitted timely, in writing to the City Clerk, 407 Grant Street, Wausau WI 54403 but no later than five (5) working days following the City's procurement decision. The protest must contain a detailed statement of the grounds for the protest and any supporting documentation. Upon the receipt

of the written protest, the City Clerk will notify the City Attorney and Finance Director who will work to resolve the matter within five (5) working days. If the protester is not satisfied and indicates the intention to appeal to the next step the award will be temporarily suspended unless it is determined that: 1)the item to be procured is urgently required; 2) delivery or performance will be unduly delayed by failure to make the award promptly; 3) Failure to make the prompt award will otherwise cause harm to the City; or 4) The protest has no merit. If the protester wishes to appeal the decision of the City Attorney and Finance Director the matter will be forwarded to the City of Wausau Finance Committee and the Common Council for the ultimate local disposition.

PURCHASE OF GOODS

1. Purchase of Goods under \$5,000 – may be made based on the best judgment of the department head or division director. However, it is recommended that competitive quotes be obtained. Specific procurement documentation is not required.
2. Purchase of Goods \$5,000 to \$25,000 – requires department head approval PRIOR to placing the order and the issuance of a purchase order. The cost of the purchase must have been included within the approved department budget. The department **MUST** obtain (3) three written quotations, if possible. Quote summary, request for quote documentation and written quotes must be submitted to the Finance Department with the purchase order request. Purchase orders will not be processed without the proper documentation.
3. Purchase of Goods in excess of \$25,000 – a formal bid process is required.
 - a. Requests for such bids shall be formally noticed. All notices and solicitations of bids shall state the time and place of the bid opening.
 - b. All bids shall be submitted sealed to the City Official designated in the bid packet and shall have the bid name and date identified on the envelope.
 - c. All sealed bids shall be opened and recorded by the Board of Public Works. The department head shall be responsible for the preparation of all plans, bid specifications, notices and advertising. Prequalification of bidders may be done at the discretion of the department head. A tabulation of bids received shall be available for public inspection. The Board of Public Works shall have the authority to award the contract when the costs of the purchase have been included within the approved City budget. Purchases that do not meet this criteria and are not otherwise authorized by law, rule or regulation, shall be authorized separately by the Common Council. All bid documentation shall be placed on file with the City Clerk.
 - d. In general, the contract shall be awarded to the lowest priced responsible bid, taking into consideration the following factors: the qualities of the goods supplied, conformity with specifications, product compatibility, maintenance costs, vendor support and delivery terms. Written documentation or explanation shall be required if the contract is awarded to other than the lowest responsible bidder. This documentation will include a justification as to why it was in the City’s best interest to award the contract to other than the lowest responsible bidder.
4. Commodities \$5,000-\$50,000 – commodities subject volatile pricing such as fuel may through via written quotes. These purchases require department head approval prior to placing the order and the issuance of a purchase order. The cost of the purchase must have been included within the approved department budget. The department must obtain (3) written quotations, if possible. Quote summary, written quotes and any other available documentation must be submitted to the Finance Department with the purchase order request.
5. The department head shall administer the purchase.
6. The following items must be purchased using a centralized purchasing process:
 - a. Copiers - coordinated by the CCITC.
 - b. Computer hardware/software - coordinated by CCITC.
 - c. Cellular telephone, telephones, security cameras and similar communication and technology equipment – coordinated by CCITC.
 - d. Furniture – coordinated by Department of Public Works.
 - e. Office Supplies – coordinated by the Finance Department.
 - f. Janitorial Services – coordinated by Department of Public Works.
 - g. Vehicles and other rolling Stock – coordinated by Department of Public Works.
 - h. Facility Maintenance, Repair and Improvement – coordinated by Department of Public Works.
 - i. Procurement of Legal Services – coordinated by the City Attorney’s office.

PURCHASE OF SERVICES

Whenever practical the purchase of services should be conducted based upon a competitive process:

- Contractor services is defined as the furnishing of labor, time or effort by a contractor, usually not involving the delivery of specific goods or products other than those that are the end result of and incidental to the required performance. Examples of contractor service include: refuse and recycling collection, snow removal, EMS billing services, janitorial, elevator maintenance, mailing, or delivery services. Contractor services shall follow the competitive procurement policy for the Purchase of Goods subject to the same spending guidelines. The cost shall be determined by considering the maximum total expenditure over the term of the contract.
- Construction services is defined as substantial repair, remodeling, enhancement construction or other changes to any City owned land, building or infrastructure. Procedures found with in State of Wisconsin Statute 62.15 and Wausau Municipal Code 12.08 shall take precedence. In absence of guidance in these areas, construction services shall follow the competitive procurement policy for the Purchase of Goods subject to the same spending guidelines.
- Combined Goods and Services in situations where the purchase combines goods and services (exclusive of construction and contractor services), such as many technology projects, the purchase shall be treated as a purchase of professional services.
- Professional services is defined as consulting and expert services provided by a company, organization or individual. Examples of professional services include: attorneys, certified public accountants, appraiser, financial and economic advisors, engineers, architect, planning and design. Professional services are generally measured by the professional competence and expertise of the provider rather than cost alone.
 - a) If it is estimated that the service being solicited has a total cost of over \$25,000 a formal Request for Proposal shall be used to solicit vendor responses. The department head shall be responsible for the preparation of all Requests for Proposal specifications, notices and advertising. Prequalification of proposers may be done at the discretion of the department head. A formal RFP will not be required to solicit legal services for representation in a specific matter, regardless of cost. The City Attorney will consult with the Finance Committee if it is anticipated that expenses (fees and costs) in excess of \$25,000 for a single matter will be incurred. When retention of legal services to perform ongoing services in one type of matter, such as bond counsel or prosecution services, is required, the procurement policy, for professional services shall be followed.
 - b) The Purpose of an RFP is to solicit proposals with specific information on the proposer and the service offered which will allow the City to select the best proposal. The best proposal is not necessarily the proposal with the lowest cost.
 - c) Based upon the services or project and the magnitude of the outcome a selection committee may be advisable.
 - d) Requests for proposals shall be formally noticed. All notices and solicitations of proposals shall state the time and place of the proposal opening.
 - e) Information to be requested of the proposer should include: Years of experience in the area desired services, financial strength of the company, examples of similar services/projects completed, resumes of staff associated with the project/service, list of references, insurance information, In addition the proposal should provide information about the City, scope of services requested and desired outcomes or deliverables. The proposal should also identify evaluation factors and relative importance.
 - f) Establish selection criteria and include this information with the RFP. It is generally advisable to establish a numeric ranking matrix. This reduces the subjective nature of the rating process.

- g) Proposals should be solicited from an adequate number of qualified sources. Requests for proposal should be formally noticed. All notices and solicitations should provide the issue date, response due date, date and time of opening responses and a contact person.
 - h) Proposals shall be opened and recorded by the Board of Public Works. A tabulation of proposals received shall be available for public inspection. All proposal documentation shall be placed on file with the City Clerk. The Department Head and selection committee (if applicable) will then review the proposals and make a selection.
- Service contracts or agreements should be reviewed by the City Attorney and placed on file with the City Clerk.

SOLE SOURCE

Sole source purchasing allows for the procurement of goods and services from a single source without soliciting quotes or bids from multiple sources. Sole source procurement cannot be used to avoid competition, rather it is used in certain situations when it can be documented that a vendor or contractor holds a unique set of skills or expertise, that the services are highly specialized or unique in character or when alternate products are unavailable or unsuitable from any other source. Sole source purchasing should be avoided unless it is clearly necessary and justifiable. The justification must withstand public and legislative scrutiny. In advance of the purchase, the Department Head is responsible for providing written documentation justifying the valid reason to purchase from one source or that only one source is available. Sole source purchasing criteria include: urgency due to public safety, serious injury financial or other, other unusual and compelling reasons, goods or service is available from only one source and no other good or service will satisfy the City's requirements, legal services provided by an attorney, lack of acceptable bids or quotes, an alternate product or manufacturer would not be compatible with current products resulting in additional operating or maintenance costs, standardization of a specific product or manufacturer will result in a more efficient or economical operation, aesthetic purposes or compatibility is an overriding consideration, the purchase is from another governmental body, continuity achieved in a phased project, the supplier or service demonstrates a unique capability not found elsewhere, economical to the city on the basis of time and money of proposal development.

1. Sole source purchase under \$5,000 shall be evaluated and determined by the Department Head.
2. Sole source purchase of \$5,000 to \$25,000 a formal written justification shall be forwarded to the Finance Director in advance of the purchase, who will concur with the sole source or assist in locating additional competitive sources.
3. Sole source purchase exceeding \$25,000 must be approved by the Finance Committee.

Sole Source Exemptions: The following purchases are exempt from competitive purchasing requirements and sole source documentation:

1. Software maintenance and support services when procured from the proprietary owner of the software.
2. Original equipment manufacturer maintenance service contracts, and parts purchases when procured directly from the original manufacturer/authorized dealer or representative.
3. Insurance policy purchases and services through CVMIC and TMIC of Wisconsin
4. Property Insurance purchases from the Local Property Insurance Fund.
5. Utility Services and Charges.

BUDGET

All purchases shall be made in accordance with the budget approved by the Common Council. The department head has the responsibility for managing departmental spending to ensure the line item budget is not overspent and for initiating Transfer of Funds Requests when appropriate.

CONTRACT AUTHORIZATION

The Mayor is authorized to enter into contracts on behalf of the City of Wausau without additional council approval if the contracts meet the following criteria:

1. Purchase of Goods – The City may purchase equipment, furnishings, goods, supplies materials and rolling stock when the costs of the same have been included in the approved City Budget.
2. Purchase of Services – The City may contract for the purchase of services without Council resolution when the following conditions have been met:
 - a) The funds for services are included in the approved City budget.
 - b) The procurement for services complies with the procurement policy.
 - c) The City Attorney has reviewed and approved the form of the contract.

- d) The contract complies with other laws, resolutions and ordinances.
 - e) The contract term meets one of the following criteria:
 - 1. The contract is for a period of one year or less, or
 - 2. The contract is for a specific project, or
 - 3. The contract is for a period of not more than three years and the annual average cost of the services does not exceed \$25,000.
3. The following contracts require council approval:
- (a) Collective Bargaining Agreements – Any contract between the City of Wausau and any collective bargaining unit representing City employees.
 - (b) Real Estate Purchases – Contracts for the sale or purchase of real estate where the City of Wausau is the proposed seller or purchaser. Council approval is **not** required for commencement of foreclosure action to collect a loan or other debt owed to the City when the debtor has failed to cure any default in payment of the loan or other obligation.
 - (c) Leases – Contracts for lease of real estate where the City is either a proposed landlord or a proposed tenant exclusive of airport hangar, parking stall rentals and short term park facilities rentals.
 - (d) Easements and Land Use Restrictions – Contracts for easements, restrictive covenants or other limitations which may be placed upon the use of any City-owned property.
 - (e) Intergovernmental Contracts in excess of \$5,000 – Contracts between the City of Wausau and other local, state or federal governments or agencies except, cooperative purchasing agreements.
 - (f) Development Agreements – Contracts for the provision of infrastructure, financial assistance or other incentives by the City for the benefit of a developer or business venture.
 - (g) City Services – Contracts whereby the City of Wausau agrees to provide services to another party.
 - (h) Managed competition, outsourcing contracts – Contracts for labor or personal services to be performed by persons who are not city employees for work that has been performed by city employees within the past five (5) years and the contract will result in the elimination of positions and the layoff of personnel.
4. The common council delegates contract approval to the department level for the following:
- (a) Community Development Housing and Commercial Development Loans and Grants issued from grants and related program income.

Contracts shall be signed by the Mayor and counter-signed by the City Clerk, City Finance Director and City Attorney. The City Finance Director shall certify that funds have been provided by the Council to pay the liability that may be incurred under the contract. The City Attorney shall approve the contract as to form and the City Clerk shall attest to the Mayor's signature. Contract change orders may be signed by the Board of Public Works as long as the change order does not materially change the work performed and funds are available within the budget. Purchase contracts for goods or services valued at \$5,000 or less may be signed by individual department directors as long as the purchase is provided in the budget.

H:\fwcommon\financialpolicies\procurementpolicy.wpd

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

ORDINANCE OF PARKING & TRAFFIC COMMITTEE

Designating no parking on E. Kent Street from Curling Way to approximately 725 feet east of the centerline of Curling Way

Committee Action: Approved 3-0

Ordinance Number:

Fiscal Impact: Minimal cost and time to install signs

File Number: 15-0607

Date Introduced: June 10, 2015

The Common Council of the City of Wausau do ordain as follows:

Section 1. That Section 10.20.080(a) of the Wausau Municipal Code is hereby amended as follows:

There shall be no parking:

Both sides of E. Kent Street from Curling Way to approximately 725 feet east of the centerline of Curling Way

Section 2. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 3. This ordinance shall be in full force and effect on the day after its publication.

Adopted:
Approved:
Published:
Attest:

Approved:

James E. Tipple, Mayor

Attest:

Toni Rayala, Clerk

Parking and Traffic Committee Meeting Minutes

Date of Meeting: Thursday, May 21, 2015 at 5:15pm, in the Birch Room at City Hall
Members Present: Abitz{C}, Winters {VC}, Kellbach (arrived 5:30), Mielke, (Nutting absent)
Others Present: Lt. Pekarske, Alfonso, Wesolowski, Friday, Gary Gisselman, Pat Peckham

In accordance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and sent to the Daily Herald in the proper manner. It was noted that there was a quorum present and the meeting was called to order by Chairperson Abitz at 5:15 pm.

(2) Discussion and possible action: To prohibit parking on E. Kent St., from Curling Way east to the termination point of the roadway

Discussion:

Lt. Pekarske directed the committee to a memo from Dan Fiorenza of the Marathon County Parks Department which details why the Parks Department is requesting “no parking” along E Kent St. They are concerned about erosion caused by foot traffic on the side slopes, pedestrian safety if walking in roadway on E Kent St. and easier access to unauthorized use if parking is allowed in the roadway. They want to encourage parking in the designated lots only.

Winters questioned whether the roadway was wide enough for parking and Wesolowski indicated that it is not and was not designed for parking. Winters also inquired as to whether there is currently enough parking for large events and Wesolowski stated that there are several lots available as well as some on-street parking on Curling Way.

Motion by Winters, second by Mielke to prohibit parking on E. Kent St., from Curling Way east to the termination point of the roadway.

Motion carried 3-0

ORDINANCE OF PLAN COMMISSION

Amending Sections 23.02.326.5 Microbrewery, 23.12.110 Size of parking spaces, 23.26.120 Size of parking spaces, 23.30.070 Signs, 23.34.030 Conditional uses, 23.38.100 Size of parking spaces, 23.40.030 Conditional uses, 23.58.010 Statutory authorization, and repealing Sections 23.02.326.5 Microbrewery and 23.12.055 Home satellite communication dishes and outdoor radio and television antennas and towers

Committee Action: Approved 4-0

Ordinance Number:

Fiscal Impact: None

File Number: 15-0615

Date Introduced: June 10, 2015

Add ()

Delete ()

Section 1. Section 23.02.326.5 Microbrewery, is hereby repealed:

Section 2. Section 23.12.055 Home satellite communication dishes and outdoor radio and television antennas and towers, is hereby repealed.

Section 3. Section 23.12.110 Size of parking spaces, is hereby amended to read as follows:

23.12.110 Size of parking spaces. Each required off-street parking space shall be at least ~~eight~~ **nine** feet ~~six inches~~ in width and at least ~~nineteen~~ **eighteen** feet in length, exclusive of access drives or aisles, ramps, columns, or office or work areas. Such space shall have a vertical clearance of at least six feet six inches and shall be measured at right angles to the axis of the vehicle. Aisles shall be not less than twenty-four feet wide for ninety degree parking, eighteen feet wide for sixty degree parking, fifteen feet wide for forty-five degree parking (angle shall be measured between centerline of parking space and centerline of aisle), and twelve feet wide for parallel parking. For parallel parking, the minimum length of the parking space shall be increased to twenty-three feet.

Section 4. Section 23.26.120 Size of parking spaces, is hereby amended to read as follows:

23.26.120 Size of parking spaces. A required off-street parking space shall be at least ~~eight~~ **nine** feet ~~six inches~~ in width and at least ~~nineteen~~ **eighteen** feet in length, exclusive of access drives or aisles, ramps, columns, or office or work areas. A space shall have a vertical clearance of at least six feet six inches, and shall be measured at right angles to the axis of the vehicle. Aisles shall be not less than twenty-four feet wide for ninety degree parking, eighteen feet wide for sixty degree parking, fifteen feet wide for forty-five degree parking (angle shall be measured between centerline of parking space and centerline of aisle), and twelve feet wide for parallel parking. For parallel parking, the length of the parking space shall be increased to twenty-three feet.

Section 5. Section 23.30.070 Signs, is hereby amended to read as follows:

23.30.070 Signs. In the B2 district, advertising devices are expressly prohibited. Business signs are permitted, subject to the following conditions:

(a) General Application.

- (1) Area. The gross area in square feet of all signs on a zoning lot shall not exceed five times the lineal feet of frontage of the zoning lot. However, the gross area of all ~~flashing~~ illuminated signs shall not exceed two times the lineal feet of frontage of the zoning lot.

Section 6. Section 23.34.030 Conditional uses, is hereby amended to read as follows:

23.34.030 Conditional uses. Any use allowed as a conditional use in the B1 district is allowed in the B4 district (unless already permitted in section 23.34.020), subject to the provisions of Chapters 23.60, 23.64 and 23.70 and in addition, the following:

(a) Amusement establishments (indoor), including: bowling alleys, dancehalls and recreation centers;

....

~~(f) — Microbreweries;~~

and reletter (g) – (l) to (f) – (k)

Section 7. Section 23.38.100 Size of parking spaces, is hereby amended to read as follows:

23.38.100 Size of parking spaces. A required off-street parking space shall be at least ~~eight~~ **nine** feet ~~six inches~~ in width and at least ~~nineteen~~ **eighteen** feet in length, exclusive of access drives or aisles, ramps, columns, or office or work areas. A space shall have a vertical clearance of at least six feet six inches, and shall be measured at right angles to the axis of the vehicle. Aisles shall be not less than twenty-four feet wide for ninety degree parking, eighteen feet wide for sixty degree parking, fifteen feet wide for forty-five degree parking (angle shall be measured between centerline of parking space and centerline of aisle), and twelve feet wide for parallel parking. For parallel parking, the length of the parking space shall be increased to twenty-three feet.

Section 8. Section 23.40.030 Conditional uses, is hereby amended to read as follows:

23.40.030 Conditional uses. The following conditional uses may be allowed in the M1 district subject to the provisions of Chapters 23.60, 23.64 and 23.72:

(a) Advertising devices;

....

~~(l) — Microbreweries;~~

and reletter (m) – (z-1) to (1) – (z)

Section 9. Section 23.58.010 Statutory authorization, findings of fact, statement of purpose and title, is hereby amended to read as follows:

23.58.010 Statutory authorization, findings of fact, statement of purpose and title. (a) Statutory Authorization. The ordinance codified in this chapter is adopted pursuant to the authorization in Sections 62.23, 62.231, 87.30 and ~~444.26~~ 281.31 of the Wisconsin Statutes.

Section 10. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 11. This ordinance shall be in full force and effect from and after its date of publication.

Adopted:
Approved:
Published:
Attest:

Approved:

James E. Tipple, Mayor

Attest:

Toni Rayala, Clerk

PLAN COMMISSION

Time and Date: The Plan Commission met on Tuesday, March 17, 2015, at 5:00 p.m. in the Common Council Chambers of Wausau City Hall.

Members Present: Mayor Tipple, Rosenberg, Bohlken, Gisselman

Others Present: Lenz, Hebert, Skrzypchak

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Mayor Tipple called the meeting to order at 5:00 p.m. noting that a quorum was present. Mayor Tipple welcomed students to the meeting to learn more about municipal procedures.

Discuss various zoning text amendments and authorize public hearing.

Lenz said that a list has been compiled of items that need to be clarified and updated in the ordinance. This action would be to setup a public hearing.

Hebert said that the staff report outlines the changes and that this is generally some housecleaning changes. The brew pubs ordinance could be changed to 10,000 barrels, which would be in line with the state regulation. Home satellites do not require a permit and have not been regulated. This should be removed from the ordinance. These are clarifications of what staff has been seeing. #6 on the list pertains to signage issues that staff have been seeing. The last item would be to update some title changed.

Rosenberg motioned to authorize a public hearing for zoning amendments. Gisselman seconded and the motion carried unanimously 4-0.

PLAN COMMISSION

Time and Date: The Plan Commission met on Tuesday, May 19, 2015, at 5:00 p.m. in the Common Council Chambers of Wausau City Hall.

Members Present: Lindman, Rosenberg, Gisselman, Oberbeck

Others Present: Lenz, Hebert, DeSantis, Stephenson, Ghidorzi, Sullivan, Pratt, Bawling, Rolling

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Lindman called the meeting to order at 5:00 p.m. noting that a quorum was present.

PUBLIC HEARING: Amend various sections of the *Wausau Zoning Code* pertaining to: (a) Brewpubs and microbreweries; (b) Size of parking spaces; (c) Illuminated signs; (d) Shoreland-wetland zoning; and (e) Director's position title.

Lindman closed the public hearing.

Hebert said that this item is to update the zoning code and get it in-line with some state statutes and design standards. This item is also for clarification for personnel titles. Part of this item is removing of satellite dishes from the ordinance. There has never been a permit issued and staff have not been enforced the ordinance. This list will be reviewed by the city attorney prior to going to the Common Council meeting.

Oberbeck asked if the parking sizes would set a new standard. Hebert answered yes. Oberbeck said he has concerns of 9' wide and 18' long parking spaces, as there seems to be an influx of larger vehicles. Hebert said that all proposals have been having 9' wide and 18' long parking spaces with a 24' drive aisle. It was just not noted. These are the standards that are being used. Lenz said that it is a minimum, it can be increased. Oberbeck said that minimum seems to be the design book. Lindman added that the drive lane is a minimum of 24', which is not included. Oberbeck said some lots are designed without the overhang and it could be tough for emergency vehicles. Gisselman said with the wave of smaller cars and asked if there is thought about opening it up for smaller car spaces. Hebert said that this was a quick review of the what is currently in the zoning code and if there is anything that needs to be changed with what is going on right now. There isn't a design standard in the zoning code that reflects compact cars, at this time.

Rosenberg motioned to amend various sections of the *Wausau Zoning Code* pertaining to: (a) Brewpubs and microbreweries; (b) Size of parking spaces; (c) Illuminated signs; (d) Shoreland-wetland zoning; and (e) Director's position title. Gisselman seconded and the motion carried unanimously 4-0. This item will go to Common Council on June 10, 2015.



Memorandum

From: Bill Hebert, Chief Inspector/Zoning Administrator
To: Plan Commission
Date: 06/04/2015
Re: Recommended Updates of Zoning Code

Purpose: To obtain your approval for holding a public hearing on text amendments to WMC Title 23, Zoning Code.

Facts OR Considerations:

1. Background: WMC 23.80.020(i) states that the director of inspections and electrical systems shall initiate, direct, and review, from time to time, a study of the provisions of this title and make reports of its recommendations to the city plan commission. Staff has made smaller recommendations often throughout the year. We have proposed a more thorough review this year that entails mostly housekeeping items.
2. Rationale: Over the last several years organizational restructuring has changed some of the responsibilities and job titles. We are correcting some of those changes. We have proposed various changes to definitions so we can better align with state statutes, removing some language that is in conflict with state and/or federal law, and modifying some language to better reflect today's standard in design.

Recommendation: Your approval is requested for the following changes:

1. 23.02.057 Brew pub. "Brew pub" means an establishment which brews beer and sells it for consumption on premises, and which can sell wholesale and/or retail up to 500 10,000 barrels of beer per year. (Ord. 61-5330 '1(part), 2007, File No. 07-0404.)
2. 23.02.326.5 Microbrewery. "Microbrewery" means an establishment which brews beer and sells less than 8,000 barrels (250,000 gallons) of beer per year to the public through wholesalers or retailers or directly to the consumer through carry-outs and/or on-site sales. (Ord. 61-5330 '1(part), 2007, File No. 07-0404.) Possibly eliminate this definition and use throughout the zoning code.

3. ~~23.12.055 Home satellite communication dishes and outdoor radio and television antennas and towers.~~ Remove section entirely. We have never required a permit.
4. 23.12.110 Size of parking spaces. Each required off-street parking space shall be at least eight **nine** feet ~~six inches~~ in width and at least ~~nineteen~~ **eighteen** feet in length, exclusive of access drives or aisles, ramps, columns, or office or work areas. Such space....
5. 23.26.120 Size of parking spaces. A required off-street parking space shall be at least eight **nine** feet ~~six inches~~ in width and at least ~~nineteen~~ **eighteen** feet in length, exclusive of access drives or aisles, ramps, columns, or office or work areas. A space shall....
6. 23.30.070 (a) (1) Area. The gross area in square feet of all signs on a zoning lot shall not exceed five times the lineal feet of frontage of the zoning lot. However, the gross area of all ~~flashing~~ **illuminated** signs shall not exceed two times the lineal feet of frontage of the zoning lot.
7. 23.38.100 Size of parking spaces. A required off-street parking space shall be at least eight **nine** feet ~~six inches~~ in width and at least ~~nineteen~~ **eighteen** feet in length, exclusive of access drives or aisles, ramps, columns, or office or work areas. A space shall....
8. 23.58.010 Statutory authorization – Verify Statutes
9. Replace “director of electrical systems” with “zoning administrator” (several occurrences within zoning code) 23.08.030, 23.58.060(a), 23.58.060(b)(2), 23.58.060(c)(1), 23.58.060(c)(2), 23.58.060(c)(3), 23.58.060(d)(1), 23.58.060(e), 23.58.060(g)(2), 23.58.080, 23.76.010, 23.76.020, 23.76.030, 23.80.010, 23.80.020, 23.86.010, 23.88.010, 23.88.020, 23.88.030

Impact:

1. These changes will better align the zoning code with state statutes, design standards for parking, and update responsibilities with current job titles.

ORDINANCE OF PLAN COMMISSION

Amending Sections 23.08.030, 23.58.060, 23.58.060(b)(2), 23.58.060(c), 23.58.060(d)(1), 23.58.060(e), 23.58.060(g)(2), 23.58.080, 23.76.010, 23.76.020, 23.76.030, 23.80.010, 23.80.020, 23.86.010, 23.88.010, 23.88.020, 23.88.030 replacing “director of inspections and electrical systems” with “zoning administrator”

Committee Action: Approved 4-0

Ordinance Number:

Fiscal Impact: None

File Number: 10-0209

Date Introduced: June 10, 2015

The Common Council of the City of Wausau do ordain as follows:

Add ()

Delete (———)

Section 1. Section 23.08.030 Time limit of permits, is hereby amended to read as follows:

23.08.030 Time limit of permits. Where the has issued a permissive use permit, a conditional use permit, or a permit for a variance pursuant to the provisions of this title, the permit shall become null and void unless work thereon is substantially underway within six months of the date of the issuance of the permit by the ~~director of inspections and electrical systems~~ zoning administrator.

Section 2. Section 23.58.060 Administrative provisions, is hereby amended to read as follows:

23.58.060 Administrative provisions. (a) ~~Director of Inspections and Electrical Systems~~ Zoning administrator. The ~~director of inspections and electrical systems~~ zoning administrator shall have the following duties and powers:

Section 3. Section 23.58.060(b)(2) Zoning Certificate or Building Permits, is hereby amended to read as follows:

(b) Zoning Certificate or Building Permits.

....

(2) Application. An application for a zoning certificate or building permit shall be made to the ~~director of inspections and electrical systems~~ zoning administrator upon forms furnished by the city and shall include, for the purpose of proper enforcement of these regulations, the following information:

Section 4. Section 23.58.060(c) Certificates of Compliance, is hereby amended to read as

follows:

(c) Certificates of Compliance.

(1) Except where no zoning certificate, building permit or special exception permit is required, no land shall be occupied or used, and no building which is hereafter constructed, altered, added to, modified, rebuilt or replaced shall be occupied, until a certificate of compliance is issued by the ~~director of inspections and electrical systems~~ zoning administrator subject to the following provisions:

(2) The ~~director of inspections and electrical systems~~ zoning administrator may issue a temporary certificate of compliance for a building, premises or part thereof pursuant to rules and regulations established therefor by the common council

(3) Upon written request from the owner, the ~~director of inspections and electrical systems~~ zoning administrator shall issue a certificate of compliance for any building or premises existing at the time of the adoption, certifying, after inspection, the extent and type of use made of the building premises and whether or not such use conforms to the provisions of this chapter.

Section 7. Section 23.58.060(d)(1) Special Exception Permits, is hereby amended to read as follows:

(d) Special Exception Permits.

(1) Application. Any use listed as a special exception in this chapter shall be permitted only after an application has been submitted to the ~~director of inspections and electrical systems~~ zoning administrator and a special exception permit has been granted by the board of appeals, following the procedures in subdivisions (2), (3) and (4) of subsection (g) of this section for hearing and deciding appeals.

Section 8. Section 23.58.060(e) Recording, is hereby amended to read as follows:

(e) Recording. Where a zoning certificate, building permit or special exception permit is approved, an appropriate record shall be made by the ~~director of inspections and electrical systems~~ zoning administrator of the land use and structures permitted.

Section 9. Section 23.58.060(g)(2) Board of Appeals, is hereby amended to read as follows:

(g) Board of Appeals. The city shall appoint a board of appeals under Section 62.23(7)(e) of the Wisconsin Statutes, consisting of five members, subject to confirmation by the common council. The board of appeals shall adopt rules for the conduct of the business of the board of appeals as required by Section 63.23(7)(e)3. of the Wisconsin Statutes.

....

(2) Appeals to the Board. Appeals to the board of appeals may be taken by any person aggrieved, or by an officer, department, board or bureau of the community affected by any order, requirement, decision or determination of the ~~director of inspections and electrical systems~~ zoning administrator or other administrative official. Such appeals shall be taken within a reasonable time, as provided by the rules of the board, by filing with the official from whom the appeal is taken, and with the board of appeals, a notice of appeal specifying the reasons therefor. The ~~director of inspections and electrical systems~~ zoning administrator or other official from whom the appeal is taken shall transmit to the board all the papers constituting the record on which the appeal action was taken.

Section 10. Section 23.58.080 Enforcement and penalties, is hereby amended to read as follows:

23.58.080 Enforcement and penalties. Any development, building or structure, or accessory building or structure constructed, altered, added to, modified, rebuilt or replaced, or any use or accessory use established after the effective date of the ordinance codified in this chapter in violation of the provisions of this chapter, by any person, firm, association, corporation (including building contractors or their agents) shall be deemed a violation. The ~~director of inspections and electrical systems~~ zoning administrator shall refer violations to the city plan commission and the city attorney who shall prosecute such violations. Any person, firm, association or corporation who violates or refuses to comply with any of the provisions of this chapter shall be subject to a forfeiture of not less than ten dollars nor more than two hundred dollars per offense. Every violation of this chapter is a public nuisance, and the creation thereof may be enjoined and the maintenance thereof may be abated by action at suit of the city, the state, or any citizen thereof pursuant to Section 87.30(2) of the Wisconsin Statutes.

Section 11. Section 23.76.010 Scope, is hereby amended to read as follows:

23.76.010 Scope. An appeal may be taken to the board of appeals by any person, firm, or corporation, or by any office, department, board, or bureau aggrieved by a decision of the ~~director of inspections and electrical systems~~ zoning administrator. An appeal shall be taken within thirty days after the decision or the action complained of, by filing with the ~~director of inspections and electrical systems~~ zoning administrator a notice of appeal specifying the grounds thereof. The ~~director of inspections and electrical systems~~ zoning administrator shall forthwith transmit to the board of appeals all of the papers constituting a record upon which the action appealed from was taken.

Section 12. Section 23.76.020 Findings, is hereby amended to read as follows:

23.76.020 Findings. An appeal shall stay all proceedings in furtherance of the action appealed from unless the ~~director of inspections and electrical systems~~ zoning administrator certifies to the board of appeals, after the notice of the appeal has been filed with him, that by reason of facts stated in the certificate a stay would, in his opinion, cause imminent peril to life and property, in which case the proceedings shall not be stayed unless otherwise by a restraining order which may be granted by the board of appeals or by a court of record on application, on notice of the ~~director of inspections and electrical systems~~ zoning administrator and on due cause shown.

Section 13. Section 23.76.030 Hearing Notice, is hereby amended to read as follows:

23.76.030 Hearing Notice. The board of appeals shall select a reasonable time and place for the hearing of the appeal and give due notice thereof to the parties by one publication in a newspaper of general circulation in the city and also by mailing notice thereof to the parties in interest, the publication and mailing to be made at least ten days prior to the date of hearing. The board shall thereafter reach its decision within ninety days from the filing of the appeal. The board of appeals may affirm or may, upon the concurring vote of four members, reverse, wholly or in part, or modify the order, requirement, decision, or determination that, in its opinion, ought to be done, and to that end, shall have all the powers of the officer from whom the appeal is taken. The ~~director of inspections and electrical systems~~ zoning administrator shall maintain records of all actions of the board of appeals relative to appeals.

Section 14 Section 23.80.010 Organization, is hereby amended to read as follows:

23.80.010 Organization. The administration of this title is hereby vested in three offices of the government of the city as follows:

(a) ~~Director of inspections and electrical systems~~ Zoning administrator;

Section 15. Section 23.80.020 Director of inspections and electrical systems, is hereby amended to read as follows:

23.80.020 Director of inspections and electrical systems Zoning administrator. The ~~director of inspections and electrical systems~~ zoning administrator of the city and the deputies or assistants that have been, or shall be, duly appointed by the common council shall enforce this title, and in addition thereto, and in furtherance of such authority shall:

Section 16. Section 23.86.010 Building permit requirements, is hereby amended to read as follows:

23.86.010 Building permit requirements. Except as hereinafter provided, no permit pertaining to the use of land or buildings shall be issued by any officer, department, or employee of the city unless the application for the permit has been examined by the ~~director of inspections and electrical systems~~ zoning administrator and has affixed to it a certificate of the ~~director of inspections and electrical systems~~ zoning administrator, indicating that the proposed building or structure complies with all the provisions of this title. Any permit or certificate of occupancy, issued in conflict with the provisions of this title, shall be null and void.

Section 17. Section 23.88.010 Required, is hereby amended to read as follows:

23.88.010 Required. No building, or addition thereto, constructed after the effective date of the ordinance codified in this title, and no addition to a previously existing building shall be occupied, and no land, vacant on the effective date of the ordinance codified in this title, shall be used for any purpose until a certificate of occupancy has been issued by the ~~director of inspections and electrical systems~~ zoning administrator. No change in a use, other than that of a permitted use to another similar permitted use, shall be made until a certificate of occupancy has been issued by the ~~director of inspections and electrical systems~~ zoning administrator. Every certificate of occupancy shall state that the use or occupancy complies with the provisions of this title.

Section 18. Section 23.88.020 Application, is hereby amended to read as follows:

23.88.020 Application. Every application for a building permit shall be deemed to be an application for an occupancy certificate. Every application for an occupancy certificate for a new use of land where no building permit is required shall be made directly to the ~~director of inspections and electrical systems~~ zoning administrator.

Section 19. Section 23.88.030 Issuance, is hereby amended to read as follows:

23.88.030 Issuance. No occupancy certificate for a building, or portion thereof, constructed after the effective date of the ordinance codified in this title, shall be issued until construction has been completed and the premises inspected and certified by the ~~director of inspections and electrical systems~~ zoning administrator to be in conformity with the plans and specifications upon which the zoning certificate was based. Pending the issuance of a regular certificate, a temporary certificate may be issued to be valid for a period not to exceed six months from its date during the completion of any addition or during partial occupancy of the premises. The occupancy certificate shall be issued or written notice shall be given to the applicant stating the reasons why a certificate cannot be issued, not later than fourteen days after the ~~director of inspections and electrical systems~~ zoning administrator is notified in writing that the building or premises is ready for occupancy. Upon written request from the owner, the ~~director of inspections and electrical systems~~ zoning administrator shall issue an occupancy certificate for any building or premises existing at the time of adoption of the ordinance codified in this title certifying, after inspection, the extent and kind of use made of the building or premises and whether or not the use conforms to the applicable provisions of this title.

Section 20. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 21. This ordinance shall be in full force and effect on the day after its publication.

Adopted:
Approved:
Published:
Attest:

Approved:

James E. Tipple, Mayor

Attest:

Toni Rayala, Clerk

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

RESOLUTION OF THE PUBLIC HEALTH & SAFETY COMMITTEE	
Authorizing City Participation in the Marathon County Restorative Justice Teen Traffic Violation Program.	
Committee Action:	Approved 5-0
Fiscal Impact:	Variable loss of annual revenue from municipal court citations. 5/2014-5/2015 approx. lost revenue of \$4092.00
File Number:	15-0612
Date Introduced:	June 10, 2015

FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Variable loss of annual revenue from municipal court citations. 5/2014-5/2015 approx. lost revenue of \$4092.00.
	<i>Included in Budget:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

WHEREAS, Marathon County Restorative Justice has implemented a Teen Traffic Violation Program (“Program”) which is a program of Goodwill NCW; and

WHEREAS, under such Program new teen drivers with probationary drivers licenses with no prior traffic violations, or only minor violations, may have the opportunity, upon successful completion of the Program’s requirements, to achieve dismissal of their traffic citation, as well as avoid the extension of their probationary license period; and

WHEREAS, the Program requires an eligible teen to attend an hour long conference concerning their offense with the goal of having the teen driver take responsibility for the traffic offense; complete an essay on their Program experience; and, complete community service at an approved location as determined by the initial citation amount for the applicable traffic violation issued to the teen offender; and

WHEREAS, Marathon County has made the Program available for use by the City of Wausau in connection with its traffic enforcement activities; and

WHEREAS, the City has conducted a preliminary study of such Program and the Wausau Police Department, the Municipal Court, and the Municipal prosecutor find the availability of this diversion Program beneficial in connection with teen age driver traffic enforcement activities and the related Municipal Court traffic prosecutions; and

WHEREAS, your Public Health & Safety Committee, at their May 18, 2015, meeting recommended that the City adopt this diversion Program on a permanent basis as a beneficial resource for the Wausau City Police Department, the Municipal Court, Municipal prosecutor and the community at large.

NOW THEREFORE BE IT RESOLVED, by the Common Council of the City of Wausau that the City adopt the Marathon County Restorative Justice Teen Traffic Violation Program for use by the City of Wausau Police Department, the Municipal Court and the Municipal prosecutor in connection with teen age driver traffic enforcement activities and the related Municipal Court traffic prosecutions.

Approved:

James E. Tipple, Mayor

PUBLIC HEALTH & SAFETY COMMITTEE

Date and Time: Monday, May 18, 2015, at 5:15 pm, (Council Chambers)

Members Present: Rasmussen (C), Wagner, Gisselman, Kellbach, Neal

Others Present: Alfonso, Hardel, Kujawa, Groat, Rayala, Goede, Deb Ryan, Milton Giese, Lindsey Lewitzky, Elizabeth Field, Vernon Sugimoto, Amy Frolick, Matt Paulsen, Amie Leanoff.

Resolution Authorizing City Participation in the Marathon County Restorative Justice Teen Traffic Violation Program.

Alfonso explained this was discussed at the last meeting and this is the resolution for Council consideration to formalize the committee consensus to continue the program.

Motion by Gisselman, second by Neal to approve the resolution. Motion carried 4-0.

PUBLIC HEALTH & SAFETY COMMITTEE

Date and Time: Monday, April 20, 2015, at 5:15 pm, (Council Chambers)

Members Present: Rasmussen (C), Wagner, Gisselman, Kellbach, Neal

Tavern Activities / Compliance Checks / Law Enforcement Activities

Ofc. Nick Stetzer, Wausau Police Department and Paula Schultz, facilitator for the Marathon County Restorative Justice Program, addressed the committee to explain the program. Stetzer stated it is designed to educate teen drivers, who are cited for violation of a red flashing light, running a stop sign/light, etc., by offering this program to as an alternative to just paying a fine. The program consists of an hour meeting with an officer and the facilitator, where they discuss the violation and what harm was caused by it or what potentially could have happened. They also discuss the interaction they had with law enforcement in an attempt to build a positive relationship with the person and the police. After the hour meeting they will have to complete specified hours of community service and an write an essay to the judge, facilitator and officer. He stated they ask that they write about their experience receiving the citation, dealing with the officer and what they learned from the program. Stetzer indicated there have been a lot of good comments from parents and teens. He noted they had 52 teens in the program so far with an 83% success rate. Rasmussen commented she was glad they took the initiative to test this as a pilot program and questioned if an ordinance change was necessary to keep it going.

Alfonso stated the Restorative Justice Program will need to be approved by Council like the Peer Court was, because the citation is dismissed if they successfully complete the program. The Council can decide if they want to stick it to probationary drivers or give these young people a chance. She pointed out when operating under a probationary license, the first citation carries the appropriate points, but the second citation doubles them. Parents are typically in a panic because of the insurance and the kids are in a predicament because of doubling points. She indicated she was very much in favor of the program.

Motion by Neal, second by Kellbach to support and recommend continuance of the Restorative Justice Program to the Common Council. Motion carried 5-0.

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

RESOLUTION OF THE PUBLIC HEALTH & SAFETY COMMITTEE

Urging the Wisconsin State Legislature to Enact Additional Amendments to Chapter 125, Wisconsin Statutes to Enable the Issuance of “Class C” Liquor Licenses to Painting Studios.

Committee Action: Approved 5-0

Fiscal Impact: None

File Number: 15-0605	Date Introduced: June 10, 2015
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FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
	<i>Included in Budget:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

WHEREAS, the Wisconsin State Legislature has recently enacted amendments to certain alcohol beverage licensing laws (2015 Wisconsin Act 8) that now enable the issuance of a retail alcohol beverage license to a “painting studio” as defined in the Act; and

WHEREAS, the City of Wausau (“City”) anticipates being requested to issued Class B Beer and Liquor licenses to painting studios located or to be located within its corporate city limits; and

WHEREAS, the City’s understanding is that painting studio businesses typically desire to serve only wine to their customers and do not require or desire the full service of alcohol beverages; and

WHEREAS, the typical painting studio will be ineligible for a “Class C” wine license as the applicant for a “Class C” wine license must be a restaurant engaged in the preparation, service, or sale of meals to transients or the general public; and

WHEREAS, the lawful service of wine to painting studio customers will necessitate a painting studio to apply for and obtain a full Class B Beer and Liquor license; and

PUBLIC HEALTH & SAFETY COMMITTEE

Date and Time: Monday, May 18, 2015, at 5:15 pm, (Council Chambers)

Members Present: Rasmussen (C), Wagner, Gisselman, Kellbach, Neal

Others Present: Alfonso, Hardel, Kujawa, Groat, Rayala, Goede, Deb Ryan, Milton Giese, Lindsey Lewitzky, Elizabeth Field, Vernon Sugimoto, Amy Frolick, Matt Paulsen, Amie Leanoff.

Resolution Urging the Wisconsin State Legislature to Enact Additional Amendments to Chapter 125, Wisconsin Statutes to Enable the Issuance of "Class C" Liquor Licenses to Painting Studios.

Rasmussen explained the State Legislature has allowed an exception for painting studios to hold a liquor license and serve on premises. She commented most really only want to serve wine but the state is allowing the full Class B Beer & Liquor license which has a quota based on population. Once the quota of regular licenses are in use, additional reserve licenses are available but come with an upfront fee of \$10,000. Currently the city has only a couple of regular licenses available. We are in the process of developing our riverfront into an entertainment and dining venue, so if we give all those licenses out we will only have the \$10,000 reserves left. There is a Class C Wine license that does not have a quota but is currently for restaurants only. She stated we are proposing to ask our legislators to make an exception for painting studios under the Class C Wine license so that we have an alternative for those that only want to serve wine.

Wagner commented this could potentially explode for us; he indicated he has had been approached by four individuals at the Entrepreneurial Center to write business plans for more paint studios. He felt the resolution was extremely important. Rayala agreed and noted the Clerk's Office has already received three inquiries and if we give them to the paint studios it will totally wipe us out of regular liquor licenses. Rasmussen stated it is possible that many other communities will be in this same situation so she has asked the Assistant City Attorney to share it with the League of Municipalities and perhaps we can get support from other communities as well.

Motion by Neal, second by Gisselman to approve the resolution urging the state to enable the issuance of Class C Wine licenses to paint studios. Motion carried 5-0.

WHEREAS, the issuance of “Class B” liquor licenses is limited due to the quota limitations under Wis. Stat. s. 125.51(4); and

WHEREAS, the City desires to accommodate the growth of small businesses in its community including painting studios; and

WHEREAS, the City simultaneously desires to accommodate the growth of restaurants and food establishments in its community, particularly along its newly developing river front; and

WHEREAS, the City likely does not have a sufficient number of “Class B” liquor licenses available under its quota to accommodate the growth and economic benefits of all of these types of business establishments; and

WHEREAS, the City believes it would be in its best interests, as well as the best interests of other communities similarly situated, to be able to issue painting studios “Class C” wine licenses as an alternative to, or in lieu of, full Class B Beer and Liquor licenses; and

WHEREAS, the ability of the City and other communities similarly situated to issue “Class C” wine licenses to painting studios would require the Wisconsin State Legislature to enact additional amendments to certain alcohol licensing laws set forth in chapter 125, Wisconsin Statutes.

NOW THEREFORE BE IT RESOLVED, that Common Council of the City of Wausau urges the Wisconsin State Legislature to enact additional changes to the alcohol licensing laws set forth in chapter 125, Wisconsin Statutes to permit it and other communities similarly situated to issue “Class C” wine licenses to painting studios so as not to deplete its limited quota of Class B Beer & Liquor licenses.

BE IT FURTHER RESOLVED, that the City Clerk is directed to forward this Resolution to our local State Legislatures, the Governor, and the Wisconsin League of Municipalities.

Approved:

James E. Tipple, Mayor

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

RESOLUTION OF THE PUBLIC HEALTH & SAFETY COMMITTEE	
Approving or Denying Various Licenses as Indicated	
Committee Action:	Approved 5-0
Fiscal Impact:	None
File Number:	15-0108
Date Introduced:	June 10, 2015

FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
	<i>Included in Budget:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
	<i>TID Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/>		
<i>Funds on Hand</i> <input type="checkbox"/>			<i>Interfund Loan</i> <input type="checkbox"/>

RESOLUTION

WHEREAS, your Public Health and Safety Committee considered certain license applications at its May 18, 2015 meeting and has made recommendations that are attached hereto in the meeting minutes and recommends these actions to the Council for its approval, now therefore

BE IT RESOLVED by the Common Council of the City of Wausau that the City Clerk be hereby authorized to issue the licenses on the attached list, incorporated as part of this resolution, according to recommendations made by the Public Health & Safety Committee and upon successful completion and acceptable proof that all applicable state and municipal regulations and requirements have been met by the applicants.

Approved:

James E. Tipple, Mayor

CLERK'S REPORT TO PUBLIC HEALTH & SAFETY COMMITTEE

May 18, 2015 Meeting

AGENDA ITEM

Approve or deny various licenses as indicated on the attached summary report of all applications received.

ADDITIONAL INFORMATION

Applications as listed have or will have a background check run by staff and reviewed by the Police Chief or his designee. Applications marked pending will have a status update at the meeting. In accordance with city ordinance, **all permits approved are held for debts owed to the city until the debt is paid in full.**

1. All Retail Liquor License Renewals for 2015-2016: Class A Beer, Class A Beer & Liquor, Class B Beer, Class B Beer & Liquor, Class C Wine, and Class B Liquor-Wine Only (Wineries); and all other related establishment licenses: Amusement Devices, Cigarette & Tobacco, Tavern Entertainment, and Dance Hall.
2. New Applications from 80 Proof Mgt. Group LLC, (Vernon Sugimoto) for Class B Beer & Liquor, Third Avenue Café, 932 S 3rd Ave, (formerly Paradox) – *Revoked premise, cannot license for 6 months*; also applied for Class A Beer, Triple 8, 1819 Rosecrans St.
3. Public Transport Driver application for Milton Giese, has been recommended for denial. Mr. Giese was previously denied by PH&S and Council and is re-applying now that the pending charges have been concluded in court. (See attached)
4. The deadline for Operator Renewals is Friday, May 15, 2015, and therefore the attached list is not complete at the time of this report. We request the committee approve the licenses contingent upon approval by the Police Chief. Any denial recommendations will be held over to the next PH&S meeting. Renewals included on list for Public Transport Drivers, Public Transport Businesses, Adult Oriented, Pawn Broker/2nd Hand, and several other miscellaneous licenses
5. Special Event applications in your packet: Chalkfest Wausau, Kayak & Canoe Summer Race Series, The Wausau 400 Block Party (new), Labor Day Parade, and Sidewalk Sales (Main Street).

STAFF RECOMMENDATION

Staff recommendation is to approve or deny as indicated on the summary report including those that may be introduced at the meeting. Please let me know if you have any question regarding any license applications listed.

Mary Goede, Deputy Clerk

Date of Report: May 14, 2015

(715) 261-6621

PUBLIC HEALTH & SAFETY COMMITTEE

Date and Time: Monday, May 18, 2015, at 5:15 pm, (Council Chambers)

Members Present: Rasmussen (C), Wagner, Gisselman, Kellbach, Neal

Others Present: Alfonso, Hardel, Kujawa, Groat, Rayala, Goede, Deb Ryan, Milton Giese, Lindsey Lewitzky, Elizabeth Field, Vernon Sugimoto, Amy Frolick, Matt Paulsen, Amie Leanoff.

Consider various license applications and renewals, including the Retail Liquor Licenses for the 2015-2016 license year.

Rasmussen indicated there was a denial recommendation for Milton Giese for a Public Transport Driver license.

Mr. Giese addressed the committee stating that he originally applied for this license back in February and was denied by the Chief and the committee due to three pending felony charges, of which he had been convicted at the time. He indicated he has since gone to court on April 8, 2015 and pled guilty to Manufacture of THC / Possession of Drug Paraphernalia and is currently on electronic monitoring and will be on probation for the next three years.

Hardel stated his recommendation of denial has not changed because his conviction includes a felony charge Manufacture/Delivery THC. He did not feel it was safe for our taxi drivers to have a history of drug involvement especially Manufacture/Delivery. Neal commented Mr. Giese understands one false step will land him in jail and he needs a job that he can do with his disability. He noted he had no previous record before this incident, felt he could be trusted and wanted to give him a chance. Wagner felt he should serve out his probation and get off the ankle bracelet before he could see licensing him. Giese commented the reason he started growing marijuana is because his wife had terminal cancer, but he understands he should have stopped when she passed away.

Motion by Neal, second by Gisselman to approve the Public Transport Driver license for Milton Giese. Motion failed 2-3.

Lindsey Lewitzke spoke regarding Chalkfest requesting the closure of Jefferson Street for extra space for overflow of pedestrians from the sidewalks that will have the chalk art. Rasmussen stated there is a wedding at the Grand that day and this could be an issue for them. Amy Frolick, Chalkfest Committee member, stated they would like to move the vendors to the Jefferson Street side and close the parking spaces for people to walk. She suggested they could close one lane of Jefferson Street and leave one lane open.

Matt Paulsen, organizer of a new event, The Wausau 400 Block Party on August 1st, was present to answer questions. Wagner stated he was concerned because it is already being advertised on Facebook and that music will be playing until 11:30 pm, which would not be allowed. Paulsen apologized and stated this is his first time doing this and he was bound to make mistakes. Rasmussen stated that typically we ask music to stop at 10:30 pm because of the residential area. Paulsen indicated he has revised the event plan to have the music end at 10:40 pm., and a radio announcer will help disperse the crowd by 11:00 pm.

Rasmussen stated there were two applications from 80 Proof Mgt LLC, Vernon Sugimoto, one is for a Class B Beer & Liquor license for Third Avenue Café, formerly the Paradox. She explained no license can be issued for the Paradox premise until August due to revocation. The city has an ordinance that provides for a 6 month cooling off period for a premise that is revoked. The second application is for a Class A Beer license for a store. Alfonso stated it appears that Mr. Sugimoto was not truthful on the auxiliary questionnaire in regard to disclosure of any convictions of offenses to any federal, state or municipal laws. He indicated no to the question, however, he was found guilty on 9/25/2013 by the City of Marshfield Municipal Court for selling or dispensing alcohol to underage persons. She noted the committee can deny the application for nondisclosure. Rasmussen stated this committee expects business owners to be honest and to commit to high standards in serving alcohol.

Vernon Sugimoto addressed the committee stating he was not trying to hide anything, he did not know the citation was part of his record. He stated he was caught in a "sting" and did not intentionally serve a minor and did not check the ID. He pled no contest and paid the fine and thought that was the end of it and not a part of his record. He stated it was not an attempt to deceive the committee, more an oversight on his part.

Motion by Wagner second by Kellbach to approve the application for a Class A Beer License submitted by Vernon Sugimoto for 80 Proof Mgt, LLC, dba Triple 8, 1819 Rosecrans St. Motion failed 0-5.

Rayala stated JK Gumbo submitted a letter to her office requesting an extension to open for business due to a delay in construction. Rasmussen indicated the extension will be approved along with the renewal of the license.

Motion by Neal, second by Kellbach to approve or deny the licenses all the other licenses on the list as recommended by staff. Motion carried 5-0.

HEALTH AND SAFETY LIST
 ALL LICENSES
 MAY 18, 2015

 REPORT ID: LRS530I
 RUN DATE: 6/03/15
 RUN TIME: 10:59:10

<u>NAME</u> <u>ADDRESS</u>	<u>RECORD</u> <u>YEAR</u>	<u>APPLICATION</u> <u>DATE</u>	<u>EVENT START</u> <u>DATE</u>	<u>EXPIRATION</u> <u>DATE</u>	<u>REVOCAATION</u> <u>DATE</u>	<u>BUSINESS NAME</u>	<u>LICENSE TYPE</u>	<u>APR</u>	<u>DEN</u>	<u>PEN</u>	<u>OWES</u> <u>DEBT</u>
ANGELO'S PIZZA VILLA INC 1206 N 6TH ST WAUSAU, WI 54403	2015	4/01/2015	7/01/2015	6/30/2016		ANGELO'S PIZZA VILLA	AMUSEMENT DEVICES	___	___	___	___
BAKER'S RETREAT INC 1418 LENARD ST WAUSAU, WI 54401	2015	3/31/2015	7/01/2015	6/30/2016		BAKER'S RETREAT	AMUSEMENT DEVICES	___	___	___	___
BLAZIN WINGS INC 5500 WAYZATA BLVD SUITE 1600 MINNEAPOLIS, MN 55416	2015	4/06/2015	7/01/2015	6/30/2016		BUFFALO WILD WINGS	AMUSEMENT DEVICES	___	___	___	___
BOB & RANDY'S BAR INC 1515 N 6TH ST WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		BOB & RANDY'S	AMUSEMENT DEVICES	___	___	___	___
BURNS POST 388 VFW PO BOX 388 WAUSAU, WI 54402-0388	2015	4/15/2015	7/01/2015	6/30/2016		VFW BURNS POST 388	AMUSEMENT DEVICES	___	___	___	___
CALHOUN BRENDA 929 S 7TH AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		CABARET	AMUSEMENT DEVICES	___	___	___	___
CAMPUS PUB INC 1110 W CAMPUS DR WAUSAU, WI 54401-0007	2015	4/14/2015	7/01/2015	6/30/2016		CAMPUS PUB	AMUSEMENT DEVICES	___	___	___	___
COP SHOPPE PUB INC 701 WASHINGTON ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		COP SHOPPE PUB	AMUSEMENT DEVICES	___	___	___	___
DAY'S BOWL-A-DOME INC 1715 W STEWART AVE WAUSAU, WI 54401	2015	4/09/2015	7/01/2015	6/30/2016		DAY'S BOWL-A-DOME	AMUSEMENT DEVICES	___	___	___	___
DOMINO BAR LLC R8457 WHITE BIRCH RD RINGLE, WI 54471	2015	4/15/2015	7/01/2015	6/30/2016		THE DOMINO BAR	AMUSEMENT DEVICES	___	___	___	___
GD4 LLC 123 E DOTY ST MADISON, WI 53703	2015	4/01/2015	7/01/2015	6/30/2016		THE GREAT DANE PUB &	AMUSEMENT DEVICES	___	___	___	___
HERZOG GERALD 209 CALLON ST WAUSAU, WI 54401	2015	3/27/2015	7/01/2015	6/30/2016		CALLON STREET PUB	AMUSEMENT DEVICES	___	___	___	___
HIAWATHA RESTAURANT & LOUNGE, 713 GRANT ST WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		HIAWATHA LOUNGE	AMUSEMENT DEVICES	___	___	___	___

HEALTH AND SAFETY LIST
ALL LICENSES
MAY 18, 2015REPORT ID: LRS530I
RUN DATE: 6/03/15
RUN TIME: 10:59:10

<u>NAME</u> <u>ADDRESS</u>	<u>RECORD</u> <u>YEAR</u>	<u>APPLICATION</u> <u>DATE</u>	<u>EVENT START</u> <u>DATE</u>	<u>EXPIRATION</u> <u>DATE</u>	<u>REVOCAION</u> <u>DATE</u>	<u>BUSINESS NAME</u>	<u>LICENSE TYPE</u>	<u>APR</u>	<u>DEN</u>	<u>PEN</u>	<u>OWES</u> <u>DEBT</u>
ITS OUR CLUBHOUSE LLC 738 S 3RD AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		ITS OUR CLUBHOUSE	AMUSEMENT DEVICES	___	___	___	___
JAMES W KRUESEL LLC 614 PLUMER ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		INTERMISSION	AMUSEMENT DEVICES	___	___	___	___
JOY & KEVIN'S PROPERTIES LLC 1905 EDGEWOOD DR SCHOFIELD, WI 54476	2015	4/09/2015	7/01/2015	6/30/2016		DEN MAR TAVERN	AMUSEMENT DEVICES	___	___	___	___
JUSUFI 707 S 3RD AVE WAUSAU, WI 54401	ZENEL 2015	4/21/2015	7/01/2015	6/30/2016		RED APPLE SOCIAL CLU	AMUSEMENT DEVICES	___	___	___	___
LABOR TEMPLE COOPERATIVE ASSOC RANDY OLMSTED, AGENT 828 N 2ND AVE WAUSAU, WI 54401	2015	3/30/2015	7/01/2015	6/30/2016		WAUSAU LABOR TEMPLE	AMUSEMENT DEVICES	___	___	___	___
LOPPNOW'S SPORTS BAR LLC 1502 N 3RD ST WAUSAU, WI 54403	2015	4/02/2015	7/01/2015	6/30/2016		LOPPNOW'S SPORTS BAR	AMUSEMENT DEVICES	___	___	___	___
MAJOR PRANK-BB JACKS LLC 3829 N 14TH ST WAUSAU, WI 54403	2015	4/16/2015	7/01/2015	6/30/2016		BB JACK'S	AMUSEMENT DEVICES	___	___	___	___
MERRILL AVENUE INVESTMENTS LLC N7663 FIRST ST ELAND, WI 54427	2015	3/30/2015	7/01/2015	6/30/2016		CRUSIN 1724	AMUSEMENT DEVICES	___	___	___	___
NAWROCKI 718 MCCLELLAN ST WAUSAU, WI 54403	TIMOTHY 2015	4/14/2015	7/01/2015	6/30/2016		ROC'S PLACE	AMUSEMENT DEVICES	___	___	___	___
NORTH END PUB LLC 1002 N 3RD AVE WAUSAU, WI 54401	2015	4/13/2015	7/01/2015	6/30/2016		NORTH END PUB	AMUSEMENT DEVICES	___	___	___	___
OPPER 1501 BEECHWOOD DR WAUSAU, WI 54401	MARY JANE 2015	4/01/2015	7/01/2015	6/30/2016		CHEER'S BAR	AMUSEMENT DEVICES	___	___	___	___
OZ NIGHT CLUB LLC 320 WASHINGTON ST WAUSAU, WI 54403	2015	3/25/2015	7/01/2015	6/30/2016		OZ NIGHT CLUB	AMUSEMENT DEVICES	___	___	___	___
PIGGYS PUB LLC 896 HWY N MARATHON, WI 54448	2015	4/15/2015	7/01/2015	6/30/2016		CHAPTER 2	AMUSEMENT DEVICES	___	___	___	___

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PLAYER'S OF WAUSAU INC 4411 STEWART AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		PLAYER'S	AMUSEMENT DEVICES	___	___	___	___
POLITO'S PIZZA OF WAUSAU LLC 311 N 3RD ST WAUSAU, WI 54403	2015	4/03/2015	7/01/2015	6/30/2016		POLITO'S PIZZA	AMUSEMENT DEVICES	___	___	___	___
R.E.M.B.S., LLC 821 ADAMS ST WAUSAU, WI 54403	2015	3/24/2015	7/01/2015	6/30/2016		THE GLASS HAT	AMUSEMENT DEVICES	___	___	___	___
RICHARD/MARY GORDON DBA M&R ST W1667 LEITZ LN RIB LAKE, WI 54470	2015	5/18/2015	7/01/2015	6/30/2016		M&R STATION	AMUSEMENT DEVICES	___	___	___	___
SAM'S PIZZA OF WAUSAU INC 5811 BUS HWY 51 S PO BOX 444 SCHOFIELD, WI 54476-0444	2015	4/14/2015	7/01/2015	6/30/2016		SAM'S PIZZA	AMUSEMENT DEVICES	___	___	___	___
SHULTZ RYAN 1206 N 3RD STREET WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		POLACK INN	AMUSEMENT DEVICES	___	___	___	___
SLK LLC PO BOX 224 SCHOFIELD, WI 54476	2015	4/14/2015	7/01/2015	6/30/2016		TREMOR'S BAR	AMUSEMENT DEVICES	___	___	___	___
THE BAR & GRILL LLC 1025 S 3RD AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		THE BAR & GRILL	AMUSEMENT DEVICES	___	___	___	___
THE CHATTERBOX, INC 102 S 2ND AVE WAUSAU, WI 54401	2015	4/08/2015	7/01/2015	6/30/2016		CHATTERBOX	AMUSEMENT DEVICES	___	___	___	___
THE SIDEWAYS BADGER, LLC 821 STARK ST WAUSAU, WI 54403	2015	4/06/2015	7/01/2015	6/30/2016		LIMERICKS PUBLIC HOU	AMUSEMENT DEVICES	___	___	___	___
THOMAS W FEHL LLC 314 MAPLE ST WAUSAU, WI 54401	2015	4/08/2015	7/01/2015	6/30/2016		101 PUB	AMUSEMENT DEVICES	___	___	___	___
TRC BAR, LLC 223 E THOMAS ST WAUSAU, WI 54401	2015	4/10/2015	7/01/2015	6/30/2016		LUMPY'S	AMUSEMENT DEVICES	___	___	___	___
TREU'S TIC T0C LTD 1201 W THOMAS ST WAUSAU, WI 54401	2015	4/13/2015	7/01/2015	6/30/2016		TREU'S TIC TOC	AMUSEMENT DEVICES	___	___	___	___

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VOGT TYLER 408 N 3RD ST STE 100 WAUSAU, WI 54403	2015	3/27/2015	7/01/2015	6/30/2016		MALARKEY'S PUB	AMUSEMENT DEVICES	___	___	___	___
WAGSON ENTERPRISE LTD 3904 W STEWART AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		WAUSAU MINE COMPANY	AMUSEMENT DEVICES	___	___	___	___
WAUSAU AERIE 251 FOE 1703 S 3RD AVE WAUSAU, WI 54402-0448	2015	4/15/2015	7/01/2015	6/30/2016		EAGLE'S CLUB	AMUSEMENT DEVICES	___	___	___	___
WAUSAU ELKS LODGE #248 414 SCOTT ST WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		WAUSAU ELKS CLUB 248	AMUSEMENT DEVICES	___	___	___	___
WGC OPERATIONS, LLC 1001 GOLF CLUB RD WAUSAU, WI 54403	2015	4/08/2015	7/01/2015	6/30/2016		BUNKERS/TRIBUTE GOLF	AMUSEMENT DEVICES	___	___	___	___
WOLD TODD 132 N 11TH AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		WHISKEY RIVER BAR &	AMUSEMENT DEVICES	___	___	___	___
WOLLER ALLEN 1009 HENRIETTA ST WAUSAU, WI 54403	2015	4/08/2015	7/01/2015	6/30/2016		6TH STREET PUB	AMUSEMENT DEVICES	___	___	___	___
17TH AVENUE LTD INC 201 N 17TH AVE WAUSAU, WI 54401	2015	4/10/2015	7/01/2015	6/30/2016		THE PLAZA HOTEL & SU	AMUSEMENT DEVICES	___	___	___	___
1709 CORPORATION 1709 MERRILL AVE WAUSAU, WI 54401	2015	4/01/2015	7/01/2015	6/30/2016		SHOWTIME	AMUSEMENT DEVICES	___	___	___	___
LIL' OLE WINEMAKER SHOPPE, LLC 602 JEFFERSON ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		LIL' OLE WINEMAKER S	CLASS B LIQUOR-WINE ONLY	___	___	___	___
HMONG EGGROLLS, LLC 1040 S 10TH AVE WAUSAU, WI 54401	2015	4/16/2015	7/01/2015	6/30/2016		HMONG EGGROLLS	CLASS B BEER/CLASS C WINE	___	___	___	___
IWI VENTURES LLC 5352 KING JAMES WAY FITCHBURG, WI 53719	2015	4/08/2015	7/01/2015	6/30/2016		NOODLES & COMPANY	CLASS B BEER/CLASS C WINE	___	___	___	___
BHAGAVATI, LLC 320 W THOMAS ST WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		FAST BREAK MOBIL	CLASS A BEER	___	___	___	___
BMW FUEL MART LLC 102 N 3RD AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		BMW FUEL MART	CLASS A BEER	___	___	___	___

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PINE RIDGE WAUSAU LLC 1205 MERRILL AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		PINE RIDGE WAUSAU LL	CLASS A BEER	___	___	___	___
WISCONSIN FUEL LLC 1840 BELOIT AVE JANESVILLE, WI 53546	2015	3/30/2015	7/01/2015	6/30/2016		WAUSAU BP	CLASS A BEER	___	___	___	___
80 PROOF MGT. GROUP LLC 3005 BELLFLOWER ST WAUSAU, WI 54401	2014	4/15/2015	7/01/2014	6/30/2015		TRIPLE 8	CLASS A BEER	___	___	___	___
DOWNTOWN GROCERY.COM LLC 607 3RD ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		DOWNTOWN GROCERY.COM	CLASS A BEER & LIQUOR	___	___	___	___
FAST FUEL MART, LLC 802 E WAUSAU AVE WAUSAU, WI 54403-74	2015	5/18/2015	7/01/2015	6/30/2016		FAST FUEL MART	CLASS A BEER & LIQUOR	___	___	___	___
JERRY'S ENTERPRISES INC ATTN: SUE BERG 5101 VERNON AVE EDINA, MN 55436	2015	4/09/2015	7/01/2015	6/30/2016		CROSSROADS COUNTY MA	CLASS A BEER & LIQUOR	___	___	___	___
KOHLMAN'S INC 735 S 3RD AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		KOHLMAN'S INC	CLASS A BEER & LIQUOR	___	___	___	___
KRIST OIL COMPANY INC 303 SELDEN RD IRON RIVER, MI 49935	2015	4/15/2015	7/01/2015	6/30/2016		KRIST FOOD MART	CLASS A BEER & LIQUOR	___	___	___	___
KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		TOBACCO OUTLET PLUS	CLASS A BEER & LIQUOR	___	___	___	___
KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		TOBACCO OUTLET PLUS	CLASS A BEER & LIQUOR	___	___	___	___
KWIK TRIP INC 1626 OAK ST PO BOX 2107 LA CROSSE, WI 54602-2107	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #322	CLASS A BEER & LIQUOR	___	___	___	___
KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #601	CLASS A BEER & LIQUOR	___	___	___	___
KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #728	CLASS A BEER & LIQUOR	___	___	___	___

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KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #735	CLASS A BEER & LIQUOR	___	___	___	___
KWIK TRIP, INC. 1626 OAK ST PO BOX 2107 LA CROSSE, WI 54602-2107	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #851	CLASS A BEER & LIQUOR	___	___	___	___
RIISER OIL COMPANY INC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R STORE #5	CLASS A BEER & LIQUOR	___	___	___	___
RIISER OIL COMPANY INC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R STORE #6	CLASS A BEER & LIQUOR	___	___	___	___
RIISER OIL COMPANY INC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R STORE #7	CLASS A BEER & LIQUOR	___	___	___	___
RIISER OIL COMPANY INC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R STORE #8	CLASS A BEER & LIQUOR	___	___	___	___
RSTORE BRIDGE STREET LLC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R-STORE #31	CLASS A BEER & LIQUOR	___	___	___	___
RSTORES LLC SUBSIDIARY OF RIISER HOLDINGS LLC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R-STORE #34	CLASS A BEER & LIQUOR	___	___	___	___
SCHIERL SALES CORPORATION 2201 MADISON ST STEVENS POINT, WI 54481	2015	4/15/2015	7/01/2015	6/30/2016		THE STORE #62	CLASS A BEER & LIQUOR	___	___	___	___
T.A. SOLBERG CO., INC. ATTN: JUDY DEBRUYNE PO BOX 50 MINOCQUA, WI 54548-0050	2015	4/02/2015	7/01/2015	6/30/2016		TRIG'S WAUSAU	CLASS A BEER & LIQUOR	___	___	___	___
TOWNLINE MARKET LLC 916 TOWNLINE RD WAUSAU, WI 54403	2015	4/13/2015	7/01/2015	6/30/2016		TOWNLINE MARKET	CLASS A BEER & LIQUOR	___	___	___	___
ULTRA MART FOODS LLC SUB ROUNDYS SUPERMARKETS PO BOX 473 MS 2650 MILWAUKEE, WI 53201-0473	2015	4/15/2015	7/01/2015	6/30/2016		PICK 'N SAVE #6405	CLASS A BEER & LIQUOR	___	___	___	___
WAGNER SHELL 4611 LLC 4611 STEWART AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		WAGNER SHELL 4611	CLASS A BEER & LIQUOR	___	___	___	___

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WALGREEN COMPANY ATTN: AMANDA MISTRETТА PO BOX 901 DEERFIELD, IL 60015-0901	2015	4/07/2015	7/01/2015	6/30/2016		WALGREEN'S STORE #07	CLASS A BEER & LIQUOR	___	___	___	___
WALGREEN COMPANY ATTN: AMANDA MISTRETТА PO BOX 901 DEERFIELD, IL 60015	2015	4/07/2015	7/01/2015	6/30/2016		WALGREENS #13371	CLASS A BEER & LIQUOR	___	___	___	___
WAUSAU FOODS INC 730 E WAUSAU AVE WAUSAU, WI 54403	2015	4/06/2015	7/01/2015	6/30/2016		QUALITY FOODS	CLASS A BEER & LIQUOR	___	___	___	___
WISCONSIN CVS PHARMACY, L.L.C. ONE CVS DRIVE LICENSING DEPT-23062A WOONSOCKET, RI 02895	2015	4/15/2015	7/01/2015	6/30/2016		CVS/PHARMACY #10172	CLASS A BEER & LIQUOR	___	___	___	___
JUSUFI 707 S 3RD AVE WAUSAU, WI 54401	ZENEL 2015	4/21/2015	7/01/2015	6/30/2016		RED APPLE SOCIAL CLU	CLASS B BEER	___	___	___	___
LIL' OLE WINEMAKER SHOPPE, LLC 602 JEFFERSON ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		LIL' OLE WINEMAKER S	CLASS B BEER	___	___	___	___
NEW KING BUFFET AT WAUSAU INC 358 S 18TH AVE WAUSAU, WI 54401	2015	3/23/2015	7/01/2015	6/30/2016		KING BUFFET	CLASS B BEER	___	___	___	___
POLITO'S PIZZA OF WAUSAU LLC 311 N 3RD ST WAUSAU, WI 54403	2015	4/03/2015	7/01/2015	6/30/2016		POLITO'S PIZZA	CLASS B BEER	___	___	___	___
RAMIREZ 808 3RD STREET #100 WAUSAU, WI 54401	GONZALO 2015	4/02/2015	7/01/2015	6/30/2016		TAQUERIA TRES HERMAN	CLASS B BEER	___	___	___	___
SAM'S PIZZA OF WAUSAU INC 5811 BUS HWY 51 S PO BOX 444 SCHOFIELD, WI 54476-0444	2015	4/14/2015	7/01/2015	6/30/2016		SAM'S PIZZA	CLASS B BEER	___	___	___	___
SAWADEE THAI RESTAURANT INC 1720 MERRILL AVE #500 WAUSAU, WI 54401	2015	5/04/2015	7/01/2015	6/30/2016		SAWADEE THAI RESTAUR	CLASS B BEER	___	___	___	___
THE DINER LLC C/O GERARDO MARTINEZ 811 S 8TH AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		THE DINER	CLASS B BEER	___	___	___	___

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WAUSAU AREA SOFTBALL ASSOC INC 1000 S 66TH AVE PO BOX 285 WAUSAU, WI 54402-0285	2015	3/27/2015	7/01/2015	6/30/2016		WAUSAU AREA SOFTBALL	CLASS B BEER	___	___	___	___
ALLISTER DEACONS LLC 300 THIRD STREET SUITE 103 WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		ALLISTER DEACON'S	CLASS B BEER & LIQUOR	___	___	___	___
ANGELO'S PIZZA VILLA INC 1206 N 6TH ST WAUSAU, WI 54403	2015	4/01/2015	7/01/2015	6/30/2016		ANGELO'S PIZZA VILLA	CLASS B BEER & LIQUOR	___	___	___	___
APPLE HOSPITALITY GROUP LLC ATTN: CHERYL DETMANN 2120 PEWAUKEE RD WAUKESHA, WI 53188	2015	4/09/2015	7/01/2015	6/30/2016		APPLEBEE'S NEIGHBORH	CLASS B BEER & LIQUOR	___	___	___	___
BACK WHEN LUCCI INC 606 3RD ST WAUSAU, WI 54403	2015	3/30/2015	7/01/2015	6/30/2016		BACK WHEN CAFE	CLASS B BEER & LIQUOR	___	___	___	___
BAKER'S RETREAT INC 1418 LENARD ST WAUSAU, WI 54401	2015	3/31/2015	7/01/2015	6/30/2016		BAKER'S RETREAT	CLASS B BEER & LIQUOR	___	___	___	___
BLAZIN WINGS INC 5500 WAYZATA BLVD SUITE 1600 MINNEAPOLIS, MN 55416	2015	4/06/2015	7/01/2015	6/30/2016		BUFFALO WILD WINGS	CLASS B BEER & LIQUOR	___	___	___	___
BOB & RANDY'S BAR INC 1515 N 6TH ST WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		BOB & RANDY'S	CLASS B BEER & LIQUOR	___	___	___	___
BRANDENBURG'S WAGON WHEEL INC 3901 N 6TH ST WAUSAU, WI 54403	2015	4/13/2015	7/01/2015	6/30/2016		WAGON WHEEL SUPPER C	CLASS B BEER & LIQUOR	___	___	___	___
BURNS POST 388 VFW PO BOX 388 WAUSAU, WI 54402-0388	2015	4/15/2015	7/01/2015	6/30/2016		VFW BURNS POST 388	CLASS B BEER & LIQUOR	___	___	___	___
CALHOUN 929 S 7TH AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		CABARET	CLASS B BEER & LIQUOR	___	___	___	___
CAMPUS PUB INC 1110 W CAMPUS DR WAUSAU, WI 54401-0007	2015	4/14/2015	7/01/2015	6/30/2016		CAMPUS PUB	CLASS B BEER & LIQUOR	___	___	___	___
COP SHOPPE PUB INC 701 WASHINGTON ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		COP SHOPPE PUB	CLASS B BEER & LIQUOR	___	___	___	___

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DAY'S BOWL-A-DOME INC 1715 W STEWART AVE WAUSAU, WI 54401	2015	4/09/2015	7/01/2015	6/30/2016		DAY'S BOWL-A-DOME	CLASS B BEER & LIQUOR	___	___	___	___
DOMINO BAR LLC R8457 WHITE BIRCH RD RINGLE, WI 54471	2015	4/15/2015	7/01/2015	6/30/2016		THE DOMINO BAR	CLASS B BEER & LIQUOR	___	___	___	___
ESPRESSO SENSORY PERCEPTION, L 700 GRAND AVE WAUSAU, WI 54403	2015	4/09/2015	7/01/2015	6/30/2016		VINO LATTE	CLASS B BEER & LIQUOR	___	___	___	___
GD4 LLC 123 E DOTY ST MADISON, WI 53703	2015	4/01/2015	7/01/2015	6/30/2016		THE GREAT DANE PUB &	CLASS B BEER & LIQUOR	___	___	___	___
GREENWOOD HILLS COUNTRY CLUB I 2002 POPLAR LN WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		GREENWOOD HILLS	CLASS B BEER & LIQUOR	___	___	___	___
HIAWATHA RESTAURANT & LOUNGE, 713 GRANT ST WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		HIAWATHA LOUNGE	CLASS B BEER & LIQUOR	___	___	___	___
HUDSON BURGER, LLC 2200 STEWART AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		MILWAUKEE BURGER COM	CLASS B BEER & LIQUOR	___	___	___	___
INDIGER LTD 2510 STEWART AVE WAUSAU, WI 54401	2015	3/23/2015	7/01/2015	6/30/2016		2510 RESTAURANT	CLASS B BEER & LIQUOR	___	___	___	___
ITS OUR CLUBHOUSE LLC 738 S 3RD AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		ITS OUR CLUBHOUSE	CLASS B BEER & LIQUOR	___	___	___	___
JALAPENOS MEXICAN RESTAURANTE 300 N 3RD ST SUITE L01 WAUSAU, WI 54403	2015	3/27/2015	7/01/2015	6/30/2016		JALAPENOS MEXICAN RE	CLASS B BEER & LIQUOR	___	___	___	___
JAMES W KRUESEL LLC 614 PLUMER ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		INTERMISSION	CLASS B BEER & LIQUOR	___	___	___	___
JK GUMBOS OF WISCONSIN LLC PO BOX 194 WESTON, WI 54476	2015	4/21/2015	7/01/2015	6/30/2016		J. GUMBO'S	CLASS B BEER & LIQUOR	___	___	___	___
JOY & KEVIN'S PROPERTIES LLC 1905 EDGEWOOD DR SCHOFIELD, WI 54476	2015	4/09/2015	7/01/2015	6/30/2016		DEN MAR TAVERN	CLASS B BEER & LIQUOR	___	___	___	___

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LABOR TEMPLE COOPERATIVE ASSOC RANDY OLMSTED, AGENT 828 N 2ND AVE WAUSAU, WI 54401	2015	3/30/2015	7/01/2015	6/30/2016		WAUSAU LABOR TEMPLE	CLASS B BEER & LIQUOR	___	___	___	___
LOPPNOW'S SPORTS BAR LLC 1502 N 3RD ST WAUSAU, WI 54403	2015	4/02/2015	7/01/2015	6/30/2016		LOPPNOW'S SPORTS BAR	CLASS B BEER & LIQUOR	___	___	___	___
MAJOR PRANK-BB JACKS LLC 3829 N 14TH ST WAUSAU, WI 54403	2015	4/16/2015	7/01/2015	6/30/2016		BB JACK'S	CLASS B BEER & LIQUOR	___	___	___	___
MANDARIN LLC 150 E STEWART AVE WAUSAU, WI 54401	2015	4/09/2015	7/01/2015	6/30/2016		MANDARIN	CLASS B BEER & LIQUOR	___	___	___	___
MERRILL AVENUE INVESTMENTS LLC N7663 FIRST ST ELAND, WI 54427	2015	3/30/2015	7/01/2015	6/30/2016		CRUSIN 1724	CLASS B BEER & LIQUOR	___	___	___	___
MOUNTAIN LANES INC 1401 ELM ST WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		MOUNTAIN LANES	CLASS B BEER & LIQUOR	___	___	___	___
NAWROCKI TIMOTHY 718 MCCLELLAN ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		ROC'S PLACE	CLASS B BEER & LIQUOR	___	___	___	___
NEW CITY GRILL, LLC 203 JEFFERSON STREET WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		NEW CITY GRILL/JEFFE	CLASS B BEER & LIQUOR	___	___	___	___
NORTH END PUB LLC 1002 N 3RD AVE WAUSAU, WI 54401	2015	4/13/2015	7/01/2015	6/30/2016		NORTH END PUB	CLASS B BEER & LIQUOR	___	___	___	___
OPPER MARY JANE 1501 BEECHWOOD DR WAUSAU, WI 54401	2015	4/01/2015	7/01/2015	6/30/2016		CHEER'S BAR	CLASS B BEER & LIQUOR	___	___	___	___
OZ NIGHT CLUB LLC 320 WASHINGTON ST WAUSAU, WI 54403	2015	3/25/2015	7/01/2015	6/30/2016		OZ NIGHT CLUB	CLASS B BEER & LIQUOR	___	___	___	___
PEKING CORP 221 SCOTT ST WAUSAU, WI 54403	2015	4/13/2015	7/01/2015	6/30/2016		PEKING RESTAURANT	CLASS B BEER & LIQUOR	___	___	___	___
PERFORMING ARTS FOUNDATION, IN 401 N 4TH ST WAUSAU, WI 54403-5420	2015	4/13/2015	7/01/2015	6/30/2016		GRAND THEATER / GREA	CLASS B BEER & LIQUOR	___	___	___	___
PIGGYS PUB LLC 896 HWY N MARATHON, WI 54448	2015	4/15/2015	7/01/2015	6/30/2016		CHAPTER 2	CLASS B BEER & LIQUOR	___	___	___	___

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PLAYER'S OF WAUSAU INC 4411 STEWART AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		PLAYER'S	CLASS B BEER & LIQUOR	___	___	___	___
R.E.M.B.S., LLC 821 ADAMS ST WAUSAU, WI 54403	2015	3/24/2015	7/01/2015	6/30/2016		THE GLASS HAT	CLASS B BEER & LIQUOR	___	___	___	___
RED EYE BREWING CO LLC 911 STEUBEN ST WAUSAU, WI 54403	2015	4/09/2015	7/01/2015	6/30/2016		RED EYE BREWING COMP	CLASS B BEER & LIQUOR	___	___	___	___
RICHARD/MARY GORDON DBA M&R ST W1667 LEITZ LN RIB LAKE, WI 54470	2015	5/18/2015	7/01/2015	6/30/2016		M&R STATION	CLASS B BEER & LIQUOR	___	___	___	___
SHULTZ RYAN 1206 N 3RD STREET WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		POLACK INN	CLASS B BEER & LIQUOR	___	___	___	___
SLK LLC PO BOX 224 SCHOFIELD, WI 54476	2015	4/14/2015	7/01/2015	6/30/2016		TREMOR'S BAR	CLASS B BEER & LIQUOR	___	___	___	___
THE BAR & GRILL LLC 1025 S 3RD AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		THE BAR & GRILL	CLASS B BEER & LIQUOR	___	___	___	___
THE CHATTERBOX, INC 102 S 2ND AVE WAUSAU, WI 54401	2015	4/08/2015	7/01/2015	6/30/2016		CHATTERBOX	CLASS B BEER & LIQUOR	___	___	___	___
THE MINT CAFE INC 422 3RD ST WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		THE MINT CAFE	CLASS B BEER & LIQUOR	___	___	___	___
THE SIDEWAYS BADGER, LLC 821 STARK ST WAUSAU, WI 54403	2015	4/06/2015	7/01/2015	6/30/2016		LIMERICKS PUBLIC HOU	CLASS B BEER & LIQUOR	___	___	___	___
THOMAS W FEHL LLC 314 MAPLE ST WAUSAU, WI 54401	2015	4/08/2015	7/01/2015	6/30/2016		101 PUB	CLASS B BEER & LIQUOR	___	___	___	___
THRIVE FOODERY LLC 2105 NORTH 2ND ST WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		THRIVE FOODERY	CLASS B BEER & LIQUOR	___	___	___	___
TRC BAR, LLC 223 E THOMAS ST WAUSAU, WI 54401	2015	4/10/2015	7/01/2015	6/30/2016		LUMPY'S	CLASS B BEER & LIQUOR	___	___	___	___
TREU'S TIC T0C LTD 1201 W THOMAS ST WAUSAU, WI 54401	2015	4/13/2015	7/01/2015	6/30/2016		TREU'S TIC T0C	CLASS B BEER & LIQUOR	___	___	___	___

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VOGT TYLER 408 N 3RD ST STE 100 WAUSAU, WI 54403	2015	3/27/2015	7/01/2015	6/30/2016		MALARKEY'S PUB	CLASS B BEER & LIQUOR	___	___	___	___
WAGSON ENTERPRISE LTD 3904 W STEWART AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		WAUSAU MINE COMPANY	CLASS B BEER & LIQUOR	___	___	___	___
WAUSAU AERIE 251 FOE 1703 S 3RD AVE WAUSAU, WI 54402-0448	2015	4/15/2015	7/01/2015	6/30/2016		EAGLE'S CLUB	CLASS B BEER & LIQUOR	___	___	___	___
WAUSAU CURLING CLUB INC PO BOX 627 WAUSAU, WI 54402-0627	2015	4/15/2015	7/01/2015	6/30/2016		WAUSAU CURLING CENTE	CLASS B BEER & LIQUOR	___	___	___	___
WAUSAU ELKS LODGE #248 414 SCOTT ST WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		WAUSAU ELKS CLUB 248	CLASS B BEER & LIQUOR	___	___	___	___
WESTWOOD CONFERENCE CENTER LLC 1800 WEST BRIDGE ST WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		WESTWOOD CONFERENCE	CLASS B BEER & LIQUOR	___	___	___	___
WGC OPERATIONS, LLC 1001 GOLF CLUB RD WAUSAU, WI 54403	2015	4/08/2015	7/01/2015	6/30/2016		BUNKERS/TRIBUTE GOLF	CLASS B BEER & LIQUOR	___	___	___	___
WOLD TODD 132 N 11TH AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		WHISKEY RIVER BAR &	CLASS B BEER & LIQUOR	___	___	___	___
WOLLER ALLEN 1009 HENRIETTA ST WAUSAU, WI 54403	2015	4/08/2015	7/01/2015	6/30/2016		6TH STREET PUB	CLASS B BEER & LIQUOR	___	___	___	___
17TH AVENUE LTD INC 201 N 17TH AVE WAUSAU, WI 54401	2015	4/10/2015	7/01/2015	6/30/2016		THE PLAZA HOTEL & SU	CLASS B BEER & LIQUOR	___	___	___	___
1709 CORPORATION 1709 MERRILL AVE WAUSAU, WI 54401	2015	4/01/2015	7/01/2015	6/30/2016		SHOWTIME	CLASS B BEER & LIQUOR	___	___	___	___
80 PROOF MGT. GROUP LLC 3005 BELLFLOWER ST WAUSAU, WI 54401	2014	4/15/2015	7/01/2014	6/30/2015		THIRD AVENUE CAFE	CLASS B BEER & LIQUOR	___	___	___	___
BURNS POST 388 VFW 388 RIVER DR PO BOX 388 WAUSAU, WI 54402-0388	2015	4/15/2015	8/04/2015	8/09/2015		WISCONSIN VALLEY FAI TEMP	CLASS B RETAILER	___	___	___	___

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MARATHON COUNTY LABOR COUNCIL 318 S 3RD AVE WAUSAU, WI 54401	2015	4/10/2015	9/07/2015	9/07/2015		WAUSAU LABOR DAY PAR	TEMP CLASS B RETAILER	___	___	___	___
MID STATE SISTERS OF SKATE 222 RADTKE ST SCHOFIELD, WI 54476	2015	5/18/2015	6/27/2015	6/27/2015		ROLLER DERBY BOUT	TEMP CLASS B RETAILER	___	___	___	___
WAUSAU AREA 4TH OF JULY CELEBR PO BOX 2121 WAUSAU, WI 54402-2121	2015	5/15/2015	7/02/2015	7/05/2015		WAUSAU AREA 4TH OF J	TEMP CLASS B RETAILER	___	___	___	___
CORPORATE COVE LODGING, LLC 1000 S 22ND AVE WAUSAU, WI 54401	2015	4/02/2015	7/01/2015	6/30/2016		COURTYARD BY MARRIOT	RESERVE CLASS B BEER/LIQU	___	___	___	___
HERZOG GERALD 209 CALLON ST WAUSAU, WI 54401	2015	3/27/2015	7/01/2015	6/30/2016		CALLON STREET PUB	RESERVE CLASS B BEER/LIQU	___	___	___	___
TB CHANG LLC 3820 CRYSTAL DR WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		CHANG GARDEN	RESERVE CLASS B BEER/LIQU	___	___	___	___
BOLTMAN, JOE M 1121 N 4TH AVE APT 8 WAUSAU, WI 54401	2015	5/13/2015		6/30/2016		APPLEBEE'S NEIGHBORH	OPERATOR NEW	___	___	___	___
DZWONKOWSKI, NATHAN 704 WESTON AVE WAUSAU, WI 54403	2015	5/11/2015		6/30/2016		KWIK TRIP #851	OPERATOR NEW	___	___	___	___
GRAYBILL, JOY M 801 FULTON ST #C WAUSAU, WI 54401	2014	4/21/2015		6/30/2015		R-STORE #31	OPERATOR NEW	___	___	___	___
GROTJAHN, ANDREW A 816 1/2 PLUMER ST WAUSAU, WI 54403	2015	5/13/2015		6/30/2016		R STORE #7	OPERATOR NEW	___	___	___	___
GUSTAFSON, CONNIE M 1114 N 2ND AVE WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2016		PINE RIDGE WAUSAU LL	OPERATOR NEW	___	___	___	___
GUTOWSKI, HEIDI L 225 W LAZY ACRE RD WAUSAU, WI 54401	2014	4/22/2015		6/30/2015		CRUSIN 1724	OPERATOR NEW	___	___	___	___
HILLMANN, ROBYN L PO BOX 1831 WAUSAU, WI 54402	2015	5/14/2015		6/30/2016		KWIK TRIP #735	OPERATOR NEW	___	___	___	___
KELLOGG, AMBER D 930 1/2 S 4TH AVE WAUSAU, WI 54401	2015	5/05/2015	7/01/2015	6/30/2016		SHOWTIME	OPERATOR NEW	___	___	___	___

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KRAHN, CASEY W 1906 ROBIN LN WAUSAU, WI 54401	2015	5/15/2015		6/30/2016		TREMOR'S BAR	OPERATOR NEW	___	___	___	___
MAHONEY, ERIN E 920 S 25TH AVE APT 2 WAUSAU, WI 54401	2015	5/04/2015	7/01/2015	6/30/2016		WALGREEN'S STORE #07	OPERATOR NEW	___	___	___	___
MAMMANO, ELIZABETH 1901 N 2ND ST WAUSAU, WI 54403	2015	4/30/2015	7/01/2015	6/30/2016		JALAPENOS MEXICAN RE	OPERATOR NEW	___	___	___	___
MARTIN, MITCHELL R 5112 MAPLE ST SCHOFIELD, WI 54476	2015	5/06/2015	7/01/2015	6/30/2016		KWIK TRIP #601	OPERATOR NEW	___	___	___	___
MOENKE, AMANDA D N5070 CHURCH RD TIGERTON, WI 54486	2015	5/06/2015	7/01/2015	6/30/2016		ITS OUR CLUBHOUSE	OPERATOR NEW	___	___	___	___
MOUA, PHOUA 715 JEFFERSON ST WAUSAU, WI 54403	2015	5/07/2015	7/01/2015	6/30/2016		ITS OUR CLUBHOUSE	OPERATOR NEW	___	___	___	___
ROBL, COLLEEN P N2446 STATE HWY 17 MERRILL, WI 54452	2015	5/13/2015		6/30/2016		KWIK TRIP #322	OPERATOR NEW	___	___	___	___
SCHADE, MIKAYLA L 2405 MERRILL AVE WAUSAU, WI 54401	2015	4/20/2015		6/30/2016		WAGNER SHELL 4611	OPERATOR NEW	___	___	___	___
STEFFEN, PAIGE 5709 MOYER AVE WESTON, WI 54476	2015	5/11/2015		6/30/2016		KWIK TRIP #851	OPERATOR NEW	___	___	___	___
TESCH, RYAN J R5895 CLUB HOUSE RD RINGLE, WI 54471	2015	5/15/2015		6/30/2016		KWIK TRIP #728	OPERATOR NEW	___	___	___	___
TULISAARI, SALLY T865 GOETSCH ROAD WAUSAU, WI 54403	2015	5/11/2015		6/30/2016		KWIK TRIP #851	OPERATOR NEW	___	___	___	___
VANG, KONMONG 521 N 8TH AVE WAUSAU, WI 54401	2015	5/13/2015		6/30/2016		KWIK TRIP #322	OPERATOR NEW	___	___	___	___
WENDT, MARY E T14133 COUNTY RD WW WAUSAU, WI 54403	2015	4/29/2015	7/01/2015	6/30/2016		ITS OUR CLUBHOUSE	OPERATOR NEW	___	___	___	___

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WISZ, TRACI E 799 STONE RIDGE DRIVE MOSINEE, WI 54455	2015	5/08/2015		6/30/2016		WISCONSIN WOODCHUCKS	OPERATOR NEW	___	___	___	___
ABADEER, JOSEPH S 302 S 7TH AVE WAUSAU, WI 54401	2015	4/29/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___
ABRAHAM, CYNTHIA M T895 GRANITE HEIGHTS RD WAUSAU, WI 54403	2015	4/24/2015	7/01/2015	6/30/2017		KWIK TRIP #601	OPERATOR RENEWAL - 2 YR	___	___	___	___
ADAMCZAK, NICOLE R 3503 STERNBERG AVE APT 8 WESTON, WI 54476	2015	5/07/2015	7/01/2015	6/30/2017		TOBACCO OUTLET PLUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
ALWIN, CHRISTIAN S 1409 GRAHAM ST WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		MILWAUKEE BURGER COM	OPERATOR RENEWAL - 2 YR	___	___	___	___
ATCHISON, GREGORY A 3719 HENRY ST WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		BAKER'S RETREAT	OPERATOR RENEWAL - 2 YR	___	___	___	___
BABCOCK, LISA A 1820 MERRILL AVE WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		R-STORE #34	OPERATOR RENEWAL - 2 YR	___	___	___	___
BAKER, SUSAN K 1301 ORIOLE LN WAUSAU, WI 54401	2015	3/31/2015	7/01/2015	6/30/2017		BAKER'S RETREAT	OPERATOR RENEWAL - 2 YR	___	___	___	___
BALLENGER, TAMMY R 5507 CAMP PHILLIPS RD WESTON, WI 54476	2015	5/06/2015	7/01/2015	6/30/2017		CHATTERBOX	OPERATOR RENEWAL - 2 YR	___	___	___	___
BARLOW, JEAN M 1809 EVERGREEN RD WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___
BARTZ, SALLY A 5551 SHERMAN ST APT 112 WAUSAU, WI 54401	2015	5/04/2015	7/01/2015	6/30/2017		WAGNER SHELL 4611	OPERATOR RENEWAL - 2 YR	___	___	___	___
BARTZ JR, MICHAEL R 5551 SHERMAN ST APT 112 WAUSAU, WI 54401	2015	5/13/2015	7/01/2015	6/30/2017		WAGNER SHELL 4611	OPERATOR RENEWAL - 2 YR	___	___	___	___
BAUMANN, JESSICA 1156 COUNTY ROAD 6 EDGAR, WI 54426	2015	5/15/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___

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BAYER, RORY A 618 BOPF STREET WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		TOBACCO OUTLET PLUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
BEER, ROBYN M 121 ASPEN GROVE LANE WAUSAU, WI 54403	2015	5/12/2015	7/01/2015	6/30/2017		HIAWATHA LOUNGE	OPERATOR RENEWAL - 2 YR	___	___	___	___
BEEVER, JEFFREY A 2625 OAKWOOD BLVD WAUSAU, WI 54403	2015	5/01/2015	7/01/2015	6/30/2017		WAUSAU STETTIN LIONS	OPERATOR RENEWAL - 2 YR	___	___	___	___
BENZ, PATTI J 1709 PLUM DRIVE WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2017		QUALITY FOODS	OPERATOR RENEWAL - 2 YR	___	___	___	___
BERANEK, ERIN E 903 S 21ST PLACE WAUSAU, WI 54401	2015	4/29/2015	7/01/2015	6/30/2017		BAKER'S RETREAT	OPERATOR RENEWAL - 2 YR	___	___	___	___
BERNDT, STACY L 2008 SHERMAN STREET WAUSAU, WI 54401	2015	2/13/2015	7/01/2015	6/30/2017		THE GREAT DANE PUB &	OPERATOR RENEWAL - 2 YR	___	___	___	___
BESSETTE, RYAN M 615 S 56TH AVE WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		OZ	OPERATOR RENEWAL - 2 YR	___	___	___	___
BICKFORD, SHARON R 3413 HALDER DR MOSINEE, WI 54455	2015	4/29/2015	7/01/2015	6/30/2017		KWIK TRIP #728	OPERATOR RENEWAL - 2 YR	___	___	___	___
BLASCHKA, TAMMY L 505 N 6TH STREET APT B9 WAUSAU, WI 54403	2015	3/23/2015	7/01/2015	6/30/2017		R STORE #6	OPERATOR RENEWAL - 2 YR	___	___	___	___
BOYER, BETH E 1350 COUNTY RD KK MOSINEE, WI 54455	2015	5/15/2015	7/01/2015	6/30/2017		LOPPNOW'S SPORTS BAR	OPERATOR RENEWAL - 2 YR	___	___	___	___
BRANDT, DANIEL L 1401 STARK ST WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		BOB & RANDY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
BRENDEMUEHL, BRANDY J 13130 1/2 N 3RD ST WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		6TH STREET PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
BRENT, CHARLES R 281 GRAND AVE LOT E 5 SCHOFIELD, WI 54476	2015	4/30/2015	7/01/2015	6/30/2017		KWIK TRIP #728	OPERATOR RENEWAL - 2 YR	___	___	___	___
BRICKO, LYLE M 906 S 12TH ST WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		VFW BURNS POST 388	OPERATOR RENEWAL - 2 YR	___	___	___	___

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BRIDENHAGEN, DANIELLE M 2310 BUCKHORN AVE SCHOFIELD, WI 54476	2015	5/15/2015	7/01/2014	6/30/2016		GREENWOOD HILLS	OPERATOR RENEWAL - 2 YR	___	___	___	___
BRUSKY, CHELSEA 12307 WOODLAND DR WAUSAU, WI 54401	2015	5/11/2015	7/01/2015	6/30/2017		KWIK TRIP #851	OPERATOR RENEWAL - 2 YR	___	___	___	___
BUNTIN, GINA 1108 BROWN ST WAUSAU, WI 54403	2015	5/06/2015	7/01/2015	6/30/2017		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___
BUSHA, STEVEN J 721 BROADWAY AVE WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		WAUSAU AREA EVENTS	OPERATOR RENEWAL - 2 YR	___	___	___	___
BUSKA, JEREMY L 625 BROWN ST WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		PICK 'N SAVE #6405	OPERATOR RENEWAL - 2 YR	___	___	___	___
CASPER, ROBERT L 2320 1/2 CUTOFF RD SCHOFIELD, WI 54476	2015	5/15/2015	7/01/2015	6/30/2017		MALARKEY'S PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
CHARNESKI, MORIEL C 2604 16TH RD MOSINEE, WI 54455	2015	5/13/2015	7/01/2015	6/30/2017		GRAND THEATER / GREA	OPERATOR RENEWAL - 2 YR	___	___	___	___
CHENG, MIMI 221 SCOTT ST STE B WAUSAU, WI 54401	2015	4/13/2015	7/01/2015	6/30/2017		PEKING RESTAURANT	OPERATOR RENEWAL - 2 YR	___	___	___	___
CIGEL, DAWN M 6305 ALTA VERDE ST WESTON, WI 54476	2015	5/06/2015	7/01/2015	6/30/2017		R STORE #8	OPERATOR RENEWAL - 2 YR	___	___	___	___
CIHASKI, MEGAN 1211 S 50TH AVE APT 16 WAUSAU, WI 54401	2015	4/27/2015	7/01/2015	6/30/2017		VARIOUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
CLARK, AMANDA S 903 E 6TH ST MERRILL, WI 54452	2015	5/12/2015	7/01/2015	6/30/2017		APPLEBEE'S NEIGHBORH	OPERATOR RENEWAL - 2 YR	___	___	___	___
CLARK, RENEE 223 E THOMAS ST WAUSAU, WI 54403	2015	4/10/2015	7/01/2015	6/30/2017		LUMPY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
CONARD, BRUCE M 1924 ZIMMERMAN ST WAUSAU, WI 54403	2014	4/30/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___

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CONTI, MORGAN A 138 KENT ST WAUSAU, WI 54403	2015	5/01/2015	7/01/2015	6/30/2017		TOBACCO OUTLET PLUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
CRICKS, SAMANTHA A 1502 E WAUSAU AVE WAUSAU, WI 54403	2015	4/30/2015	7/01/2015	6/30/2017		NOODLES & COMPANY	OPERATOR RENEWAL - 2 YR	___	___	___	___
CUNNINGHAM, JODY L 1804 W THOMAS STREET WAUSAU, WI 54401	2015	4/24/2015	7/01/2015	6/30/2017		LIMERICKS PUBLIC HOU	OPERATOR RENEWAL - 2 YR	___	___	___	___
DAVIS, MELISSA J 281 GRAND AVENUE LOT #D9 SCHOFIELD, WI 54476	2015	5/04/2015	7/01/2015	6/30/2017		TOBACCO OUTLET PLUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
DEFFNER, ROGER L 1803 STEWART AVE WAUSAU, WI 54401	2015	5/08/2015	7/01/2015	6/30/2017		WAUSAU NOON OPTIMIST	OPERATOR RENEWAL - 2 YR	___	___	___	___
DELORME, SETH N 3303 VERN LANE WESTON, WI 54476	2015	5/15/2015	7/01/2015	6/30/2017		WAUSAU MINE COMPANY	OPERATOR RENEWAL - 2 YR	___	___	___	___
DIETRICH, BARBARA E 1506 N 15TH AVE WAUSAU, WI 54401	2015	5/11/2015	7/01/2015	6/30/2017		QUALITY FOODS	OPERATOR RENEWAL - 2 YR	___	___	___	___
DOBERSTEIN, SAMANTHA 401 S 10TH AVE WAUSAU, WI 54401	2015	4/11/2015	7/01/2015	6/30/2017		KWIK TRIP #851	OPERATOR RENEWAL - 2 YR	___	___	___	___
DODD, ALEXANDER S 7000 S MOUNTAIN RD WAUSAU, WI 54401	2015	5/14/2015	7/01/2015	6/30/2017		NOODLES & COMPANY	OPERATOR RENEWAL - 2 YR	___	___	___	___
DOLEZAL, EDWARD J 819 N 2ND AVE WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2017		KRIST FOOD MART	OPERATOR RENEWAL - 2 YR	___	___	___	___
DRAVES, NICOLAS E 902 STEUBEN STREET APT 2 WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		BOB & RANDY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
DUBERSTEIN, STEPHANIE L 115 N 5TH AVE WAUSAU, WI 54401	2015	4/29/2015	7/01/2015	6/30/2017		WAGNER SHELL 4611	OPERATOR RENEWAL - 2 YR	___	___	___	___
DUCKETT, DEE A 110 PEARL STREET SCHOFIELD, WI 54476	2015	4/07/2015	7/01/2015	6/30/2017		THE STORE #62	OPERATOR RENEWAL - 2 YR	___	___	___	___

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EADES, ALEXANDRA R 827 S 11TH AVENUE WAUSAU, WI 54401	2015	5/01/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___
EBBINGER, STEPHANIE R 1202 S 6TH AVE WAUSAU, WI 54401	2015	4/29/2015	7/01/2015	6/30/2017		LUMPY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
EBERT, TERESA L 143 EDWARDS ST UNIT A WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		SHOWTIME	OPERATOR RENEWAL - 2 YR	___	___	___	___
EDWARDS, MARIE A 1436 E CHERRY ST WAUSAU, WI 54401	2015	4/29/2015	7/01/2015	6/30/2017		R STORE #5	OPERATOR RENEWAL - 2 YR	___	___	___	___
EYERS, BRIAN M 12703 EVERGREEN DR WAUSAU, WI 54401	2015	4/20/2015	7/01/2015	6/30/2017		CROSSROADS COUNTY MA	OPERATOR RENEWAL - 2 YR	___	___	___	___
FECK, RHONDA R 15400 COUNTY RD A MARATHON, WI 54448	2015	5/12/2015	7/01/2015	6/30/2017		2510 RESTAURANT	OPERATOR RENEWAL - 2 YR	___	___	___	___
FEHLHABER, BRIAN L 1208 S 5TH AVE WAUSAU, WI 54401	2015	5/13/2015	7/01/2015	6/30/2017		CHEER'S BAR	OPERATOR RENEWAL - 2 YR	___	___	___	___
FELIX, KYLIE E 3308 TERRACE CT APT 8 WAUSAU, WI 54401	2015	5/14/2015	7/01/2015	6/30/2017		R-STORE #31	OPERATOR RENEWAL - 2 YR	___	___	___	___
FENHAUS, SHANNON L 6300 BIRCH ST LOT 98 SCHOFIELD, WI 54476	2015	5/13/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___
FENN, CYNTHIA E 2508 GOWEN STREET WAUSAU, WI 54403	2014	5/15/2015	7/01/2014	6/30/2016		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___
FISCHER, CHESTER D 2350 E 4TH ST MARATHON, WI 54448	2015	5/15/2015	7/01/2015	6/30/2017		WAUSAU MINE COMPANY	OPERATOR RENEWAL - 2 YR	___	___	___	___
FISCHER, DANIELLE R 627 1/2 S 5TH AVE 54401, WI	2015	5/15/2015	7/01/2015	6/30/2017		THE GREAT DANE PUB &	OPERATOR RENEWAL - 2 YR	___	___	___	___
FISCHER, HANNAH H N3780 PINE ROAD HATLEY, WI 54440	2015	5/06/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___
FISCHER, LISA A 1214 1/2 S 6TH AVE WAUSAU, WI 54401	2015	5/06/2015	7/01/2015	6/30/2017		CABARET	OPERATOR RENEWAL - 2 YR	___	___	___	___

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FISH, TERRANCE J 909 TURNER STREET WAUSAU, WI 54403	2015	5/06/2015	7/01/2015	6/30/2017		R STORE #8	OPERATOR RENEWAL - 2 YR	___	___	___	___
FLAMINIO, TAMMI P 1014 KICKBUSCH ST WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___
FOOTE, CARYL L 2604 16TH RD MOSINEE, WI 54455	2015	5/11/2015	7/01/2015	6/30/2017		GRAND THEATER / GREA	OPERATOR RENEWAL - 2 YR	___	___	___	___
FOTH, AMY E T861 GOESCH ROAD WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		QUALITY FOODS	OPERATOR RENEWAL - 2 YR	___	___	___	___
FREDA, CYNTHIA M 806 N 3RD AVE WAUSAU, WI 54401-1212	2015	5/13/2015	7/01/2015	6/30/2017		BMW FUEL MART	OPERATOR RENEWAL - 2 YR	___	___	___	___
FURGER, RANDOLPH J 511 LAWRENCE AVE ROTHSCHILD, WI 54474	2015	5/13/2015	7/01/2015	6/30/2017		ROC'S PLACE	OPERATOR RENEWAL - 2 YR	___	___	___	___
GEURINK, JENNI 1001 YAWKEY AVE ROTHSCHILD, WI 54474	2015	5/01/2015	7/01/2015	6/30/2017		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___
GEURINK, JESSICA L 907 S 14TH AVE WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___
GIBSON, GENA M 1105 S 11TH AVE WAUSAU, WI 54401	2015	4/24/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___
GOERS, JENNIFER M 1431 N 1ST AVE WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___
GRAVEEN, BRENDA M 1615 N 1ST AVENUE WAUSAU, WI 54401	2015	4/27/2015	7/01/2015	6/30/2017		CRUSIN 1724	OPERATOR RENEWAL - 2 YR	___	___	___	___
GRAY, SUE 102 JEFFERSON ST WAUSAU, WI 54403	2015	5/14/2015	7/01/2015	6/30/2017		CHANG GARDEN	OPERATOR RENEWAL - 2 YR	___	___	___	___
GRAYBILL, JOY M 801 FULTON ST #C WAUSAU, WI 54401	2015	5/13/2015	7/01/2015	6/30/2017		R-STORE #31	OPERATOR RENEWAL - 2 YR	___	___	___	___
GRAYKOWSKI, ABBY 105 N 10TH ST WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		KWIK TRIP #322	OPERATOR RENEWAL - 2 YR	___	___	___	___

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GRUENING, KERRY 914 E WAUSAU AVE WAUSAU, WI 54403	2015	4/28/2015	7/01/2015	6/30/2017		THE DOMINO BAR	OPERATOR RENEWAL - 2 YR	___	___	___	___
GUILLAUME, TAMMY M 1005 S 16TH AVE WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___
HANICKER, MAURA K 1221 S 11TH AVENUE WAUSAU, WI 54401	2015	4/10/2015	7/01/2015	6/30/2017		COURTYARD BY MARRIOTT	OPERATOR RENEWAL - 2 YR	___	___	___	___
HANNEMAN, ARIK D 618 LAZY ACRE RD WAUSAU, WI 54401	2015	5/14/2015	7/01/2015	6/30/2017		NOODLES & COMPANY	OPERATOR RENEWAL - 2 YR	___	___	___	___
HANNIE, KATHALEEN A 511 S BELLIS ST WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___
HEHLING, LISA M 629 WASHINGTON ST WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		BMW FUEL MART	OPERATOR RENEWAL - 2 YR	___	___	___	___
HEIER, AMBER R 2308 N 75TH AVENUE WAUSAU, WI 54401	2015	4/10/2015	7/01/2015	6/30/2017		RED EYE BREWING COMP	OPERATOR RENEWAL - 2 YR	___	___	___	___
HEIN, CYNTHIA K 1511 FRANKLIN ST WAUSAU, WI 54403	2015	3/19/2015	7/01/2015	6/30/2017		R STORE #6	OPERATOR RENEWAL - 2 YR	___	___	___	___
HENDRICKSON, KRISTI P 1009 N 2ND AVE WAUSAU, WI 54401	2015	5/11/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___
HENRICHS, CINDY 1405 LAKE ST WAUSAU, WI 54401	2015	5/08/2015	7/01/2015	6/30/2017		EAGLE'S CLUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
HEYNE, LORI M 3805 KING BIRD AVE WAUSAU, WI 54401	2015	4/24/2015	7/01/2015	6/30/2017		SAM'S PIZZA	OPERATOR RENEWAL - 2 YR	___	___	___	___
HINCH, JILL K 303 FRANCES ST ROTHSCHILD, WI 54474	2015	5/13/2015	7/01/2015	6/30/2017		KWIK TRIP #322	OPERATOR RENEWAL - 2 YR	___	___	___	___
HOLEWINSKI, HALEY K 1814 FORSYTH RD KROENEWETTER , WI 54455	2015	4/20/2015	7/01/2015	6/30/2017		R STORE #5	OPERATOR RENEWAL - 2 YR	___	___	___	___
HOLLIS, SAMUEL M 2402 JEFFEREY LANE WESTON, WI 54476	2015	5/08/2015	7/01/2015	6/30/2017		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___

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HOLZ, JACOB 1224 S 8TH AVE WAUSAU, WI 54401	2015	5/11/2015	7/01/2015	6/30/2017		KWIK TRIP #851	OPERATOR RENEWAL - 2 YR	___	___	___	___
HOWELL, JONI R 5507 RUSSELL DR WAUSAU, WI 54401	2015	4/29/2015	7/01/2015	6/30/2017		WAUSAU NOON OPTIMIST	OPERATOR RENEWAL - 2 YR	___	___	___	___
HUDSON, RASHIDA M 805 PINE ST MOSINEE, WI 54455	2015	5/14/2015	7/01/2015	6/30/2017		THE FILLMOR	OPERATOR RENEWAL - 2 YR	___	___	___	___
JAEGER, SHARON L 300 N POPLAR ST MERRILL, WI 54452	2015	5/05/2015	7/01/2015	6/30/2017		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___
JENKINS, MICHAEL P 725 GILBERT ST APT #25 WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___
JESKE, MARILYN D 5908 EDWARD ST WESTON, WI 54476	2015	5/06/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___
JOHNSON, RHONDA L 3201 MERRILL AVE WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		TREMOR'S SPORTS BAR	OPERATOR RENEWAL - 2 YR	___	___	___	___
KEEN, MERRILL C 1125 4TH AVE ANTIGO, WI 54409	2015	5/15/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___
KLATT, KENNETH N 1502 BUREK AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2017		CAMPUS PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
KLEINSCHMIDT, KELI A 2817 POLZER DR WAUSAU, WI 54401	2015	5/05/2015	7/01/2015	6/30/2017		WHISKEY RIVER BAR &	OPERATOR RENEWAL - 2 YR	___	___	___	___
KNISS, JENNIFER A 7104 BUTTERNUT RD WAUSAU, WI 54401	2015	4/29/2015	7/01/2015	6/30/2017		LUMPY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
KNOBLOCK, SUSANNA M 210 ASPEN GROVE LN WAUSAU, WI 54403	2015	5/08/2015	7/01/2015	6/30/2017		HIAWATHA LOUNGE	OPERATOR RENEWAL - 2 YR	___	___	___	___
KOEHLER, KAILEAH 810 DUNBAR ST WAUSAU, WI 54403	2015	4/13/2015	7/01/2015	6/30/2017		PLAYER'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
KOSKEY, JASMINE M 519 STEUBEN ST APT 3 WAUSAU, WI 54403	2015	5/04/2015	7/01/2015	6/30/2017		PLAYER'S	OPERATOR RENEWAL - 2 YR	___	___	___	___

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KOSS, SHEILA L 1002 16TH ST MOSINEE, WI 54455	2015	5/07/2015	7/01/2015	6/30/2017		KWIK TRIP #728	OPERATOR RENEWAL - 2 YR	___	___	___	___
KOZLOWSKI, SHANNON N 10105 BALSAM DR WAUSAU, WI 54401	2015	3/31/2015	7/01/2015	6/30/2017		MALARKEY'S PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
KRUEGER, CARMEN L 1421 COUNTY RD KK MOSINEE, WI 54455	2015	5/15/2015	7/01/2015	6/30/2017		COP SHOPPE PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
KRUSE, SHANNAH C 502 BELMONT WAUSAU, WI 54401	2015	5/11/2015	7/01/2015	6/30/2017		CRUSIN 1724	OPERATOR RENEWAL - 2 YR	___	___	___	___
KURTH, GRACE E 12392 NAUGART DRIVE ATHENS, WI 54411	2015	4/07/2015	7/01/2015	6/30/2017		PINE RIDGE WAUSAU LL	OPERATOR RENEWAL - 2 YR	___	___	___	___
LAHR, TAYLOR N 4811 RACHEL LN APT 30 WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___
LAKE, JODIE E 4311 SCHOFIELD AVE LOT 36 WESTON, WI 54476	2015	5/15/2015	7/01/2015	6/30/2017		VFW BURNS POST 388	OPERATOR RENEWAL - 2 YR	___	___	___	___
LAMB, ANDREW J 3807 TROY ST WAUSAU, WI 54403	2015	5/06/2015	7/01/2015	6/30/2017		QUALITY FOODS	OPERATOR RENEWAL - 2 YR	___	___	___	___
LAMB, JAMES R 201 GREENWOOD DRIVE ROTHSCHILD, WI 54474	2015	5/07/2015	7/01/2015	6/30/2017		QUALITY FOODS	OPERATOR RENEWAL - 2 YR	___	___	___	___
LANDWEHR, AMANDA 1300 N 9TH AVE APT 1 A WAUSAU, WI 54401	2015	5/13/2015	7/01/2015	6/30/2017		KWIK TRIP #322	OPERATOR RENEWAL - 2 YR	___	___	___	___
LANG, COURTNEY L 5001 ELM ST WESTON, WI 54476	2015	4/05/2015	7/01/2015	6/30/2017		JIM'S CORNER PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
LANG IV, FRANK H 224 GRAND AVE WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		POLACK INN	OPERATOR RENEWAL - 2 YR	___	___	___	___
LAPSENBERG HANRAHAN , JACOB T N5329 HWY 17 GLEASON, WI 54435	2015	5/15/2015	7/01/2015	6/30/2017		R STORE #7	OPERATOR RENEWAL - 2 YR	___	___	___	___

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LARSON, BRIAN 602 JEFFERSON ST WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		LIL' OLE WINEMAKER S	OPERATOR RENEWAL - 2 YR	___	___	___	___
LASKA, LISA M 5301 ARBOR COURT APT 6 WAUSAU, WI 54401	2015	5/01/2015	7/01/2015	6/30/2017		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___
LAST, TRACY L 1121 S 7TH AVE WAUSAU, WI 54401	2015	5/14/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___
LEHMANN, ASHLEY M 1207 E UNION AVE APT 10 WAUSAU, WI 54401	2015	4/13/2015	7/01/2015	6/30/2017		WAUSAU BP	OPERATOR RENEWAL - 2 YR	___	___	___	___
LEMMER, CHRISTOPHER G 128 LARKSPUR LN WAUSAU, WI 54401	2015	5/12/2015	7/01/2015	6/30/2017		2510 RESTAURANT	OPERATOR RENEWAL - 2 YR	___	___	___	___
LEVIT, SARAH S 1900 KIMBERLY RD KRONENWETTER , WI 54455	2015	5/15/2015	7/01/2015	6/30/2017		COP SHOPPE PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
LEWIS, AMANDA J 707 GRAND AVE WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		BMW FUEL MART	OPERATOR RENEWAL - 2 YR	___	___	___	___
LIEBMANN, KARL C 710 N 6TH ST WAUSAU, WI 54403	2015	4/27/2015	7/01/2015	6/30/2017		VARIOUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
LONDON, SCOTT M PO BOX 1881 WAUSAU, WI 54402	2015	3/23/2015	7/01/2015	6/30/2017		COURTYARD BY MARRIOT	OPERATOR RENEWAL - 2 YR	___	___	___	___
LOOMIS, MICHAEL J 1020 JACOBY ST SCHOFIELD, WI 54476	2015	5/13/2015	7/01/2015	6/30/2017		GRAND THEATER / GREA	OPERATOR RENEWAL - 2 YR	___	___	___	___
LOPPNOW, PAUL M 1216 SINGLE AVE WAUSAU, WI 54401	2015	5/05/2015	7/01/2015	6/30/2017		LOPPNOW'S SPORTS BAR	OPERATOR RENEWAL - 2 YR	___	___	___	___
LOR, CHOUA 523 N 9TH AVE WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		PARADOX	OPERATOR RENEWAL - 2 YR	___	___	___	___
LOR, VINAI 1410 MADISON STREET WAUSAU, WI 54401	2015	5/12/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___
LOTHARIUS, MICHAEL A W2938 SCHILLER DR MERRILL, WI 54452	2015	3/24/2015	7/01/2015	6/30/2017		R STORE #6	OPERATOR RENEWAL - 2 YR	___	___	___	___

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LUCCI, GLENN M 3619 N 11TH ST WAUSAU, WI 54403	2015	3/30/2015	7/01/2015	6/30/2017		BACK WHEN CAFE	OPERATOR RENEWAL - 2 YR	___	___	___	___
LUNDIN, FRED T 4105 DIXIE AVE WAUSAU, WI 54401	2015	5/06/2015	7/01/2015	6/30/2017		VARIOUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
MACDONALD, BRIAN 4201 W LAKESHORE DR WAUSAU, WI 54401	2015	5/11/2015	7/01/2015	6/30/2017		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___
MADDEN, ANDREW C 1126 S 11TH AVE WAUSAU, WI 54401	2015	5/04/2015	7/01/2015	6/30/2017		THE DOMINO BAR	OPERATOR RENEWAL - 2 YR	___	___	___	___
MARCINIAK, DAVID 1221 N 2ND AVE APT 4 WAUSAU, WI 54401	2015	3/24/2015	7/01/2015	6/30/2017		CHATTERBOX	OPERATOR RENEWAL - 2 YR	___	___	___	___
MARCINKO, MARY E 315 LINCOLN AVE WAUSAU, WI 54403	2015	4/10/2015	7/01/2015	6/30/2017		COURTYARD BY MARRIOTT	OPERATOR RENEWAL - 2 YR	___	___	___	___
MATHSEN, TAMMY Y 511 S 54TH AVENUE WAUSAU, WI 54401	2015	4/30/2015	7/01/2015	6/30/2017		VINO LATTE	OPERATOR RENEWAL - 2 YR	___	___	___	___
MCAFEE, JULIE K 5603 WALNUT STREET SCHOFIELD, WI 54476	2015	5/11/2015	7/01/2015	6/30/2017		KWIK TRIP #728	OPERATOR RENEWAL - 2 YR	___	___	___	___
MCCRACKIN, BRITTANY N 2308 FOREST GROVE AVE MOSINEE, WI 54455	2015	5/13/2015	7/01/2015	6/30/2017		KRUSE IN	OPERATOR RENEWAL - 2 YR	___	___	___	___
MEDINA, JOANN N940 RASBERRY LN MERRILL, WI 54452	2015	5/15/2015	7/01/2015	6/30/2017		R-STORE #34	OPERATOR RENEWAL - 2 YR	___	___	___	___
MILLARD, ASHLEY M 1308 E 10TH ST APT 3 MERRILL, WI 54452	2015	5/12/2015	7/01/2015	6/30/2017		WALGREENS #13371	OPERATOR RENEWAL - 2 YR	___	___	___	___
MISCHOCK, THOMAS M 902 1/2 S 4TH AVE WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2017		THE STORE #62	OPERATOR RENEWAL - 2 YR	___	___	___	___
MITCHELL, ELIZABETH T 4056 CRESTWOOD DR WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___

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MOUA, BUTTERFLY N8765 US HWY 45 BIRNAMWOOD, WI 54414	2015	3/25/2015	7/01/2015	6/30/2017		R STORE #6	OPERATOR RENEWAL - 2 YR	___	___	___	___
MOUA, SARAH L 4040 TROY ST WAUSAU, WI 54403	2015	4/09/2015	7/01/2015	6/30/2017		DEN MAR TAVERN	OPERATOR RENEWAL - 2 YR	___	___	___	___
MOUA, TIA 715 JEFFERSON ST WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		KWIK TRIP #851	OPERATOR RENEWAL - 2 YR	___	___	___	___
MUELLER, LISA J 1615 PEARSON ST WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___
MUELVER, CINDY L 1010 GRAND AVE APT 211 WAUSAU, WI 54403	2015	4/22/2015	7/01/2015	6/30/2017		SHOWTIME	OPERATOR RENEWAL - 2 YR	___	___	___	___
MUGGE, LATAUSHIA R 3855 MAIN DRIVE MERRILL, WI 54452	2015	4/09/2015	7/01/2015	6/30/2017		COURTYARD BY MARRIOTT	OPERATOR RENEWAL - 2 YR	___	___	___	___
MURPHY, LYDIA R 1810 EMERSON STREET WAUSAU, WI 54403	2015	5/05/2015	7/01/2015	6/30/2017		VINO LATTE	OPERATOR RENEWAL - 2 YR	___	___	___	___
MYERS, AKEISHA L 5704 ROGAN LN WESTON, WI 54476	2015	5/15/2015	7/01/2015	6/30/2017		APPLEBEE'S NEIGHBORH	OPERATOR RENEWAL - 2 YR	___	___	___	___
NESS, TAMI 623 GRANT ST WAUSAU, WI 54403	2015	5/14/2015	7/01/2015	6/30/2017		VARIOUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
NETERVAL, ERICA L 1903 N 60TH AVE WAUSAU, WI 54401	2015	5/08/2015	7/01/2015	6/30/2017		BOB & RANDY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
NETZEL, PAULA A 1111 WASHINGTON ST WAUSAU, WI 54403	2015	4/27/2015	7/01/2015	6/30/2017		HIAWATHA LOUNGE	OPERATOR RENEWAL - 2 YR	___	___	___	___
NEWTON, KALI 1077 CREEK RD MOSINEE, WI 54455	2015	4/17/2015	7/01/2015	6/30/2017		GRAND THEATER / GREA	OPERATOR RENEWAL - 2 YR	___	___	___	___
NICHOLS, SANDRA J 715 ELM ST WAUSAU, WI 54401	2015	4/30/2015	7/01/2015	6/30/2017		KWIK TRIP #728	OPERATOR RENEWAL - 2 YR	___	___	___	___
O'KEEFE, MARIA T 711 SCOTT ST WAUSAU, WI 54403	2015	5/07/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___

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OLSEN, PATRICIA R 905 S 20TH AVE WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2017		TOBACCO OUTLET PLUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
OLSEN, WILLIAM W 3809 HENRY STREET WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		KWIK TRIP #601	OPERATOR RENEWAL - 2 YR	___	___	___	___
OTRADOVEC, PAMELA J 2207 WHISPERING PINES AV WAUSAU, WI 54403	2015	5/06/2015	7/01/2015	6/30/2017		KWIK TRIP #728	OPERATOR RENEWAL - 2 YR	___	___	___	___
PAGE, TERRY L 605 S 68TH AVE #6 WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___
PAGEL, GENESE M 1904 HIGHLAND AVE SCHOFIELD, WI 54476	2015	5/13/2015	7/01/2015	6/30/2017		ANGELO'S PIZZA VILLA	OPERATOR RENEWAL - 2 YR	___	___	___	___
PARISH, MELANIE G 905 S 9TH AVE WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2017		QUALITY FOODS	OPERATOR RENEWAL - 2 YR	___	___	___	___
PARKMAN, BRITTANY A 920 GRAND AVE APT 4 WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		GREENWOOD HILLS	OPERATOR RENEWAL - 2 YR	___	___	___	___
PETERKA, ANNA J 5912 DELIKOWSKI ST WESTON, WI 54476	2015	4/07/2015	7/01/2015	6/30/2017		DAY'S BOWL-A-DOME	OPERATOR RENEWAL - 2 YR	___	___	___	___
PETERSON, TODD C 935 S 4TH AVENUE WAUSAU, WI 54401	2015	4/27/2015	7/01/2015	6/30/2017		WAGNER SHELL 4611	OPERATOR RENEWAL - 2 YR	___	___	___	___
PFLIEGER, HANNAH L 2202 N 13TH ST APT 4 WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___
PICKETT, LOIS J 736 S 4TH AVE WAUSAU, WI 54401	2015	5/11/2015	7/01/2015	6/30/2017		101 PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
PIERSCHALLA, KEVIN D 1515 1/2 N 6TH ST WAUSAU, WI 54403	2015	5/12/2015	7/01/2015	6/30/2017		BOB & RANDY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
POESCHEL, JUSTIN N 526 MCCLELLAN ST APT 1 WAUSAU, WI 54403	2015	5/14/2015	7/01/2015	6/30/2017		TOBACCO OUTLET PLUS	OPERATOR RENEWAL - 2 YR	___	___	___	___

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PRELL, AMBER H 2401 PARTNERS LANE SCHOFIELD, WI 54476	2015	5/13/2015	7/01/2015	6/30/2017		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___
PRIES, MARYROSE 1220 S 10TH AVE WAUSAU, WI 54401	2015	4/30/2015	7/01/2015	6/30/2017		VINO LATTE	OPERATOR RENEWAL - 2 YR	___	___	___	___
RAATZ, MICHELLE R 1211 MC CLEARY ST WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		LUMPY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
RAINVILLE, JESSICA J 3906 MOUNT VIEW AVE APT 84 WESTON, WI 54476	2015	4/27/2015	7/01/2015	6/30/2017		TREU'S TIC TOC	OPERATOR RENEWAL - 2 YR	___	___	___	___
REICHE, JAMES F 1308 1/2 4TH ST WAUSAU, WI 54403-4370	2015	3/24/2015	7/01/2015	6/30/2017		R STORE #8	OPERATOR RENEWAL - 2 YR	___	___	___	___
RICHMOND-HAWKINS, VICKIE K 640 S 5TH AVE WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		UWMC - EVENTS	OPERATOR RENEWAL - 2 YR	___	___	___	___
RIEMER, CHRISTIN R 321 ELM STREET ATHENS, WI 54411	2015	5/06/2015	7/01/2015	6/30/2017		NOODLES & COMPANY	OPERATOR RENEWAL - 2 YR	___	___	___	___
RINGQUIST, DAWN M 719 LINCOLN AVENUE WAUSAU, WI 54403	2015	4/24/2015	7/01/2015	6/30/2017		KWIK TRIP #601	OPERATOR RENEWAL - 2 YR	___	___	___	___
ROUSE, MOLLY A 1507 ROOSEVELT STREET WAUSAU, WI 54403	2015	5/12/2015	7/01/2015	6/30/2017		THE DOMINO BAR	OPERATOR RENEWAL - 2 YR	___	___	___	___
SACKMANN, SAMANTHA M N292 BASS LAKE RD HATLEY, WI 54440	2015	5/08/2015	7/01/2015	6/30/2017		R-STORE #31	OPERATOR RENEWAL - 2 YR	___	___	___	___
SAGE, MATTHEW N 2682 COUNTY ROAD Y ANIWA, WI 54408	2015	4/16/2015	7/01/2015	6/30/2017		WAUSAU BP	OPERATOR RENEWAL - 2 YR	___	___	___	___
SALA, MARY 2314 GOWEN ST WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		WISCONSIN WOODCHUCKS	OPERATOR RENEWAL - 2 YR	___	___	___	___
SAMPEY, MARGARET P 3502 MOUNT VIEW AVE APT 12 WESTON, WI 54476	2015	4/30/2015	7/01/2015	6/30/2017		VINO LATTE	OPERATOR RENEWAL - 2 YR	___	___	___	___

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SAUER, VIRGINIA J 413 STURGEON EDDY ROAD WAUSAU, WI 54403	2015	4/30/2015	7/01/2015	6/30/2017		VINO LATTE	OPERATOR RENEWAL - 2 YR	___	___	___	___
SAVASKE, AUSTYN M 309 N 2ND AVE WAUSAU, WI 54401	2015	5/11/2015	7/01/2015	6/30/2017		6TH STREET PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
SAWVELL, CASSANDRA A 1010 S 50TH AVE APT 41 WAUSAU, WI 54401	2015	4/27/2015	7/01/2015	6/30/2017		WAGNER SHELL 4611	OPERATOR RENEWAL - 2 YR	___	___	___	___
SCHILLING, AMY S 120 ADRIAN ST WAUSAU, WI 54401	2015	4/24/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___
SCHIMELFINING, LAURA A N10307 SUGAR BUSH RD BIRNAMWOOD, WI 54414	2015	5/12/2015	7/01/2015	6/30/2017		BUFFALO WILD WINGS G	OPERATOR RENEWAL - 2 YR	___	___	___	___
SCHNEIDER, ANTHONY B 102 S 4TH AVE WAUSAU, WI 54401	2015	4/23/2015	7/01/2015	6/30/2017		MALARKEY'S PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
SCHROEDER, JENNIFER L PO BOX 354 WAUSAU, WI 54403-0354	2015	5/15/2015	7/01/2015	6/30/2017		VARIOUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
SCHROTH, MARY J 270 CROSSBOW DR PLOVER, WI 54467	2015	5/05/2015	7/01/2015	6/30/2017		TOBACCO OUTLET PLUS	OPERATOR RENEWAL - 2 YR	___	___	___	___
SCHWALBACH, ANGELA M 1137 S 14TH AVE WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2017		DEN MAR TAVERN	OPERATOR RENEWAL - 2 YR	___	___	___	___
SCHWIE, JOSHUA J 1837 KOWALSKI RD MOSINEE, WI 54455	2015	3/16/2015	7/01/2015	6/30/2017		WAUSAU BP	OPERATOR RENEWAL - 2 YR	___	___	___	___
SCOBELL, RILLEY A 605 EAST BRIDGE ST WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		BOB & RANDY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
SEARL, DEBRA M 2505 E WAUSAU AVENUE WAUSAU, WI 54403	2015	5/12/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___
SEEFELDT, STACY A T14636 CTY RD W MERRILL, WI 54452	2015	5/12/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___

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SEIDLER, DONNA R 3912 MOUNTVIEW AVE APT 64 WESTON, WI 54476	2015	5/08/2015	7/01/2015	6/30/2017		THE DOMINO BAR	OPERATOR RENEWAL - 2 YR	___	___	___	___
SENGKHAMMEE, JENNIFER Y 933 S 5TH AVE WAUSAU, WI 54401	2015	5/12/2015	7/01/2015	6/30/2017		HIAWATHA LOUNGE	OPERATOR RENEWAL - 2 YR	___	___	___	___
SIMPSON, ALEXANDER D 400 RIVER DRIVE APT 3112 WAUSAU, WI 54403	2015	3/25/2015	7/01/2015	6/30/2017		R STORE #6	OPERATOR RENEWAL - 2 YR	___	___	___	___
SMITH, SARAH C 119 E KORT STREET ROTHSCHILD, WI 54474	2015	5/12/2015	7/01/2015	6/30/2017		BUFFALO WILD WINGS G	OPERATOR RENEWAL - 2 YR	___	___	___	___
SOCZKA, DEREK R 1504 METRO DRIVE APT 2 SCHOFIELD, WI 54476	2015	5/11/2015	7/01/2015	6/30/2017		KWIK TRIP #851	OPERATOR RENEWAL - 2 YR	___	___	___	___
SPATZ, NICOLE J 505 WEST ST WAUSAU, WI 54401	2015	5/08/2015	7/01/2015	6/30/2017		FAST BREAK MOBIL	OPERATOR RENEWAL - 2 YR	___	___	___	___
SPERRY, AMANDA J 2612 1/2 N 6TH ST WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		KWIK TRIP #601	OPERATOR RENEWAL - 2 YR	___	___	___	___
STANKE, DESARAI S 1900 W THOMAS STREET WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		WAUSAU MINE COMPANY	OPERATOR RENEWAL - 2 YR	___	___	___	___
STARR, CASSANDRA L W2289 ALDER RD MERRILL, WI 54452	2015	4/15/2015	7/01/2015	6/30/2017		COURTYARD BY MARRIOT	OPERATOR RENEWAL - 2 YR	___	___	___	___
STASNEY, MICHELLE W 4001 HILLSIDE LN WAUSAU, WI 54403	2015	3/23/2015	7/01/2015	6/30/2017		R STORE #8	OPERATOR RENEWAL - 2 YR	___	___	___	___
STEIDL, DEANNA M 806 N 3RD AVENUE WAUSAU, WI 54401	2015	5/13/2015	7/01/2015	6/30/2017		BMW FUEL MART	OPERATOR RENEWAL - 2 YR	___	___	___	___
SURFUS, CHERYL E 8005 BIRCH ST #302 WESTON, WI 54476	2015	5/07/2015	7/01/2015	6/30/2017		TRIG'S WAUSAU	OPERATOR RENEWAL - 2 YR	___	___	___	___
TEHAN, WILLIAM R 622 1/2 N 3RD ST APT 2 WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		GRAND THEATER / GREA	OPERATOR RENEWAL - 2 YR	___	___	___	___
TESSMER, KIM E 713 PLUMER ST WAUSAU, WI 54403	2015	4/30/2015	7/01/2015	6/30/2017		R STORE #5	OPERATOR RENEWAL - 2 YR	___	___	___	___

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THOMAS, LORI 1505 N 7TH ST WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2017		R-STORE #31	OPERATOR RENEWAL - 2 YR	___	___	___	___
THORN, HUNTER H 606 LINCOLN AVE WAUSAU, WI 54403	2015	5/06/2015	7/01/2015	6/30/2017		QUALITY FOODS	OPERATOR RENEWAL - 2 YR	___	___	___	___
THUMSTEDTER, LAURA 716 PROSPECT AVE WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___
URMANSKI, CASSADANA 515 S 3RD AVE WAUSAU, WI 54401	2015	4/28/2015	7/01/2015	6/30/2017		CHATTERBOX	OPERATOR RENEWAL - 2 YR	___	___	___	___
VANDERMEIDEN, CALEB E 118 1/2 N 2ND AVE WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2017		WALGREEN'S STORE #07	OPERATOR RENEWAL - 2 YR	___	___	___	___
VANG, MAI XEE 6307 ISAIAH ST WESTON, WI 54476	2015	5/11/2015	7/01/2015	6/30/2017		KWIK TRIP #851	OPERATOR RENEWAL - 2 YR	___	___	___	___
VENTZKE, IVAN M 1019 STEUBEN ST WAUSAU, WI 54403	2015	5/15/2015	7/01/2015	6/30/2017		BOB & RANDY'S	OPERATOR RENEWAL - 2 YR	___	___	___	___
VERICK, MICHAEL A 513 N 4TH AVE WAUSAU, 54401	2015	5/15/2015	7/01/2015	6/30/2017		R-STORE #34	OPERATOR RENEWAL - 2 YR	___	___	___	___
VIERGUTZ, BRENDA L 1009 N 6TH AVENUE WAUSAU, WI 54401	2015	5/01/2015	7/01/2015	6/30/2017		KRIST FOOD MART	OPERATOR RENEWAL - 2 YR	___	___	___	___
VOGEL, LESA A 403 WEST ST WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2017		R STORE #6	OPERATOR RENEWAL - 2 YR	___	___	___	___
VOGT, STINA M M 1004 SPUR LN WAUSAU, WI 54403	2015	4/02/2015	7/01/2015	6/30/2017		MALARKEY'S PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
VOLM, REBECCA L 1901 ROBIN LN WAUSAU, WI 54401	2015	5/12/2015	7/01/2015	6/30/2017		EAGLE'S CLUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
VOLPE, RENEE A R14118 RIVER RD RINGLE, WI 54471	2015	5/04/2015	7/01/2015	6/30/2017		ANGELO'S PIZZA VILLA	OPERATOR RENEWAL - 2 YR	___	___	___	___

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VUJNOVICH, SACHA R 938 S 1ST AVENUE APT B WAUSAU, WI 54401	2015	5/08/2015	7/01/2015	6/30/2017		FAST BREAK MOBIL	OPERATOR RENEWAL - 2 YR	___	___	___	___
WALTER, TAMMI M 5220 NAUGART DR MERRILL, WI 54452	2015	5/15/2015	7/01/2015	6/30/2017		R-STORE #31	OPERATOR RENEWAL - 2 YR	___	___	___	___
WANG, TAO 611 WINTON ST WAUSAU, WI 54403	2015	4/13/2015	7/01/2015	6/30/2017		COURTYARD BY MARRIOT	OPERATOR RENEWAL - 2 YR	___	___	___	___
WARAKSA, ALLISON M 2056 ARLENE LANE MOSINEE, WI 54455	2015	5/12/2015	7/01/2015	6/30/2017		WALGREENS #13371	OPERATOR RENEWAL - 2 YR	___	___	___	___
WEAVER, JOHN E 612 BERTHA STREET WAUSAU, WI 54403	2015	5/04/2015	7/01/2015	6/30/2017		DEN MAR TAVERN	OPERATOR RENEWAL - 2 YR	___	___	___	___
WENZEL, JONATHON D E265 COUNTY ROAD J WAUSAU, WI 54403	2015	5/11/2015	7/01/2015	6/30/2017		R-STORE #31	OPERATOR RENEWAL - 2 YR	___	___	___	___
WESBROCK, JOLETA L 1703 E 2ND ST MERRILL, WI 54452	2015	4/27/2015	7/01/2015	6/30/2017		LOPPNOW'S SPORTS BAR	OPERATOR RENEWAL - 2 YR	___	___	___	___
WILLIAMS, BROOKE E 214 1/2 E ROSS AVE WAUSAU, WI 54403	2015	5/04/2015	7/01/2015	6/30/2017		DEN MAR TAVERN	OPERATOR RENEWAL - 2 YR	___	___	___	___
WINTER, KAREN R 308 S 28TH AVE WAUSAU, WI 54401	2015	5/04/2015	7/01/2015	6/30/2017		WALGREENS #13371	OPERATOR RENEWAL - 2 YR	___	___	___	___
WISTROM, KATHY K 1911 ROOSEVELT ST WAUSAU, WI 54401	2015	5/06/2015	7/01/2015	6/30/2017		TOWNLINE MARKET	OPERATOR RENEWAL - 2 YR	___	___	___	___
WOLLER, JEREMY J 708 FULTON ST APT#203 WAUSAU, WI 54403	2015	4/29/2015	7/01/2015	6/30/2017		WAUSAU CURLING CENTE	OPERATOR RENEWAL - 2 YR	___	___	___	___
WOLLER, MICHAEL W N963 LAKE RD MERRILL, WI 54452	2015	5/08/2015	7/01/2015	6/30/2017		NORTH END PUB	OPERATOR RENEWAL - 2 YR	___	___	___	___
WOODS, TANYA L 905 1/2 S 3RD AVE WAUSAU, WI 54401	2015	5/14/2015	7/01/2015	6/30/2017		KWIK TRIP #735	OPERATOR RENEWAL - 2 YR	___	___	___	___

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XIONG, YEELENG E 517 S 5TH AVENUE WAUSAU, WI 54401	2015	4/13/2015	7/01/2015	6/30/2017		COURTYARD BY MARRIOT	OPERATOR RENEWAL - 2 YR	___	___	___	___
YOUNG, COREY J 154 ETHEL ST WAUSAU, WI 54403	2015	2/13/2015	7/01/2015	6/30/2017		THE GREAT DANE PUB &	OPERATOR RENEWAL - 2 YR	___	___	___	___
ZASTROW, KATIE E 1137 S 11TH AVENUE WAUSAU, WI 54401	2015	5/01/2015	7/01/2015	6/30/2017		THRIVE FOODERY	OPERATOR RENEWAL - 2 YR	___	___	___	___
ZIEGEL, JEFFREY A 203 LAVINA DR WAUSAU, WI 54401	2015	5/04/2015	7/01/2015	6/30/2017		WAUSAU CURLING CENTE	OPERATOR RENEWAL - 2 YR	___	___	___	___
BIESEL, FRANK R 1002 S 6TH AVE WAUSAU, WI 54401	2015	4/15/2015	8/04/2015	8/09/2015		WISCONSIN VALLEY FAI	OPERATOR TEMPORARY	___	___	___	___
GAUERKE, BERNARD E 4707 AUGUSTINE AVE WESTON, WI 54476	2015	4/15/2015	8/04/2015	8/09/2015		WISCONSIN VALLEY FAI	OPERATOR TEMPORARY	___	___	___	___
KAISER, RYAN R 407 S EMERALD DR WAUSAU, WI 54401	2015	5/06/2015	6/19/2015	6/21/2015		ST ANNE'S CATHOLIC C	OPERATOR TEMPORARY	___	___	___	___
LANG, CRAIG 2212 W WAUSAU AVE WAUSAU, WI 54401	2015	5/08/2015	6/05/2015	6/07/2015		HOLY NAME SUMMER FUN	OPERATOR TEMPORARY	___	___	___	___
LANG, KELLY J 2212 W WAUSAU AVE WAUSAU, WI 54403	2015	5/08/2015	6/05/2015	6/07/2015		HOLY NAME SUMMERFUN	OPERATOR TEMPORARY	___	___	___	___
MEVERDEN, HENRY F 811 13TH DR WAUSAU, WI 54403	2015	4/15/2015	8/04/2015	8/09/2015		WISCONSIN VALLEY FAI	OPERATOR TEMPORARY	___	___	___	___
PETTIT, JACK M 1309 BISSELL ST APT #3 MOSINEE, WI 54455	2015	4/15/2015	8/04/2015	8/09/2015		WISCONSIN VALLEY FAI	OPERATOR TEMPORARY	___	___	___	___
SOUTHWORTH, DANIEL G E20883 ST HWY 52 ANIWA, WI 54408	2015	4/15/2015	8/04/2015	8/09/2015		WISCONSIN VALLEY FAI	OPERATOR TEMPORARY	___	___	___	___
SYDOW, ROGER W 3820 N 14TH ST WAUSAU, WI 54403	2015	4/15/2015	8/04/2015	8/09/2015		WISCONSIN VALLEY FAI	OPERATOR TEMPORARY	___	___	___	___

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BICKFORD, MEGAN M 925 S 8TH AVE WAUSAU, WI 54401	2015	5/13/2015	7/01/2015	6/30/2017		KWIK TRIP #322	OPERATOR - LAPSED RENEWAL	___	___	___	___
SOBJECK, ERIN L 725 1/2 S 5TH AVE WAUSAU, WI 54401	2015	5/15/2015		6/30/2016		DEN MAR TAVERN	OPERATOR RESTRICTED 1 YR	___	___	___	___
BHAGAVATI, LLC 320 W THOMAS ST WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		FAST BREAK MOBIL	CIGARETTE & TOBACCO	___	___	___	___
BMW FUEL MART LLC 102 N 3RD AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		BMW FUEL MART	CIGARETTE & TOBACCO	___	___	___	___
BURT JOSH 102 S 3RD AVE PO BOX 178 WAUSAU, WI 54402	2015	5/13/2015	7/01/2015	6/30/2016		THE GLASS STATION	CIGARETTE & TOBACCO	___	___	___	___
DOMINO BAR LLC R8457 WHITE BIRCH RD RINGLE, WI 54471	2015	4/15/2015	7/01/2015	6/30/2016		THE DOMINO BAR	CIGARETTE & TOBACCO	___	___	___	___
FAST FUEL MART, LLC 802 E WAUSAU AVE WAUSAU, WI 54403-74	2015	5/18/2015	7/01/2015	6/30/2016		FAST FUEL MART	CIGARETTE & TOBACCO	___	___	___	___
GD4 LLC 123 E DOTY ST MADISON, WI 53703	2015	4/01/2015	7/01/2015	6/30/2016		THE GREAT DANE PUB &	CIGARETTE & TOBACCO	___	___	___	___
JAMES W KRUESEL LLC 614 PLUMER ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		INTERMISSION	CIGARETTE & TOBACCO	___	___	___	___
JERRY'S ENTERPRISES INC ATTN: SUE BERG 5101 VERNON AVE EDINA, MN 55436	2015	4/09/2015	7/01/2015	6/30/2016		CROSSROADS COUNTY MA	CIGARETTE & TOBACCO	___	___	___	___
KOHLMAN'S INC 735 S 3RD AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		KOHLMAN'S INC	CIGARETTE & TOBACCO	___	___	___	___
KRIST OIL COMPANY INC 303 SELDEN RD IRON RIVER, MI 49935	2015	4/15/2015	7/01/2015	6/30/2016		KRIST FOOD MART	CIGARETTE & TOBACCO	___	___	___	___
KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		TOBACCO OUTLET PLUS	CIGARETTE & TOBACCO	___	___	___	___

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KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		TOBACCO OUTLET PLUS	CIGARETTE & TOBACCO	___	___	___	___
KWIK TRIP INC 1626 OAK ST PO BOX 2107 LA CROSSE, WI 54602-2107	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #322	CIGARETTE & TOBACCO	___	___	___	___
KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #601	CIGARETTE & TOBACCO	___	___	___	___
KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #728	CIGARETTE & TOBACCO	___	___	___	___
KWIK TRIP INC 1626 OAK ST LA CROSSE, WI 54603	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #735	CIGARETTE & TOBACCO	___	___	___	___
KWIK TRIP, INC. 1626 OAK ST PO BOX 2107 LA CROSSE, WI 54602-2107	2015	4/14/2015	7/01/2015	6/30/2016		KWIK TRIP #851	CIGARETTE & TOBACCO	___	___	___	___
OPPER MARY JANE 1501 BEECHWOOD DR WAUSAU, WI 54401	2015	4/01/2015	7/01/2015	6/30/2016		CHEER'S BAR	CIGARETTE & TOBACCO	___	___	___	___
PINE RIDGE WAUSAU LLC 1205 MERRILL AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		PINE RIDGE WAUSAU LL	CIGARETTE & TOBACCO	___	___	___	___
RIISER OIL COMPANY INC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R STORE #5	CIGARETTE & TOBACCO	___	___	___	___
RIISER OIL COMPANY INC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R STORE #6	CIGARETTE & TOBACCO	___	___	___	___
RIISER OIL COMPANY INC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R STORE #7	CIGARETTE & TOBACCO	___	___	___	___
RIISER OIL COMPANY INC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R STORE #8	CIGARETTE & TOBACCO	___	___	___	___
RSTORE BRIDGE STREET LLC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R-STORE #31	CIGARETTE & TOBACCO	___	___	___	___

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RSTORES LLC SUBSIDIARY OF RIISER HOLDINGS LLC PO BOX 239 WAUSAU, WI 54402-0239	2015	4/14/2015	7/01/2015	6/30/2016		R-STORE #34	CIGARETTE & TOBACCO	___	___	___	___
SCHIERL SALES CORPORATION 2201 MADISON ST STEVENS POINT, WI 54481	2015	4/15/2015	7/01/2015	6/30/2016		THE STORE #62	CIGARETTE & TOBACCO	___	___	___	___
T.A. SOLBERG CO., INC. ATTN: JUDY DEBRUYNE PO BOX 50 MINOCQUA, WI 54548-0050	2015	4/02/2015	7/01/2015	6/30/2016		TRIG'S WAUSAU	CIGARETTE & TOBACCO	___	___	___	___
TOWNLINE MARKET LLC 916 TOWNLINE RD WAUSAU, WI 54403	2015	4/13/2015	7/01/2015	6/30/2016		TOWNLINE MARKET	CIGARETTE & TOBACCO	___	___	___	___
WAGNER SHELL 4611 LLC 4611 STEWART AVE WAUSAU, WI 54401	2015	4/14/2014	7/01/2015	6/30/2016		WAGNER SHELL 4611	CIGARETTE & TOBACCO	___	___	___	___
WALGREEN COMPANY ATTN: AMANDA MISTRETTE PO BOX 901 DEERFIELD, IL 60015-0901	2015	4/07/2015	7/01/2015	6/30/2016		WALGREEN'S STORE #07	CIGARETTE & TOBACCO	___	___	___	___
WALGREEN COMPANY ATTN: AMANDA MISTRETTE PO BOX 901 DEERFIELD, IL 60015	2015	4/07/2015	7/01/2015	6/30/2016		WALGREENS #13371	CIGARETTE & TOBACCO	___	___	___	___
WAUSAU FOODS INC 730 E WAUSAU AVE WAUSAU, WI 54403	2015	4/06/2015	7/01/2015	6/30/2016		QUALITY FOODS	CIGARETTE & TOBACCO	___	___	___	___
WISCONSIN FUEL LLC 1840 BELOIT AVE JANESVILLE, WI 53546	2015	3/30/2015	7/01/2015	6/30/2016		WAUSAU BP	CIGARETTE & TOBACCO	___	___	___	___
BROOKLYN TASTE LLC 328 WASHINGTON ST WAUSAU, WI 54403	2014	5/14/2015	5/18/2015	6/30/2015		BROOKLYN TASTE, LLC	SIDEWALK CAFE -NO ALCOHOL	___	___	___	___
BURNS POST 388 VFW PO BOX 388 WAUSAU, WI 54402-0388	2015	4/15/2015	7/01/2015	6/30/2016		VFW BURNS POST 388	DANCE HALL	___	___	___	___
CALHOUN 929 S 7TH AVE WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		CABARET	DANCE HALL	___	___	___	___
GD4 LLC 123 E DOTY ST MADISON, WI 53703	2015	4/01/2015	7/01/2015	6/30/2016		THE GREAT DANE PUB & DANCE HALL		___	___	___	___

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GREENWOOD HILLS COUNTRY CLUB I 2002 POPLAR LN WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		GREENWOOD HILLS	DANCE HALL	___	___	___	___
LABOR TEMPLE COOPERATIVE ASSOC RANDY OLMSTED, AGENT 828 N 2ND AVE WAUSAU, WI 54401	2015	3/30/2015	7/01/2015	6/30/2016		WAUSAU LABOR TEMPLE	DANCE HALL	___	___	___	___
LOPPNOW'S SPORTS BAR LLC 1502 N 3RD ST WAUSAU, WI 54403	2015	4/02/2015	7/01/2015	6/30/2016		LOPPNOW'S SPORTS BAR	DANCE HALL	___	___	___	___
NEW CITY GRILL, LLC 203 JEFFERSON STREET WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		NEW CITY GRILL/JEFFE	DANCE HALL	___	___	___	___
PERFORMING ARTS FOUNDATION, IN 401 N 4TH ST WAUSAU, WI 54403-5420	2015	4/13/2015	7/01/2015	6/30/2016		GRAND THEATER / GREA	DANCE HALL	___	___	___	___
RED EYE BREWING CO LLC 911 STEUBEN ST WAUSAU, WI 54403	2015	4/09/2015	7/01/2015	6/30/2016		RED EYE BREWING COMP	DANCE HALL	___	___	___	___
WAUSAU AERIE 251 FOE 1703 S 3RD AVE WAUSAU, WI 54402-0448	2015	4/15/2015	7/01/2015	6/30/2016		EAGLE'S CLUB	DANCE HALL	___	___	___	___
WAUSAU ELKS LODGE #248 414 SCOTT ST WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		WAUSAU ELKS CLUB 248	DANCE HALL	___	___	___	___
WESTWOOD CONFERENCE CENTER LLC 1800 WEST BRIDGE ST WAUSAU, WI 54401	2015	4/14/2015	7/01/2015	6/30/2016		WESTWOOD CONFERENCE	DANCE HALL	___	___	___	___
17TH AVENUE LTD INC 201 N 17TH AVE WAUSAU, WI 54401	2015	4/10/2015	7/01/2015	6/30/2016		THE PLAZA HOTEL & SU	DANCE HALL	___	___	___	___
FUN TIME SHOWS, INC 1111 NORTH FLOYD RD RICHARDSON, TX 75080	2015	4/21/2015	6/10/2015	6/11/2015		FUN TIMES SHOWS - CI	PUBLIC EXHIBITION 1 DAY	___	___	___	___
BAKER'S RETREAT INC 1418 LENARD ST WAUSAU, WI 54401	2015	3/31/2015	7/01/2015	6/30/2016		BAKER'S RETREAT	TAVERN ENTERTAINMENT	___	___	___	___
BURNS POST 388 VFW PO BOX 388 WAUSAU, WI 54402-0388	2015	4/15/2015	7/01/2015	6/30/2016		VFW BURNS POST 388	TAVERN ENTERTAINMENT	___	___	___	___

HEALTH AND SAFETY LIST
 ALL LICENSES
 MAY 18, 2015

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CAMPUS PUB INC 1110 W CAMPUS DR WAUSAU, WI 54401-0007	2015	4/14/2015	7/01/2015	6/30/2016		CAMPUS PUB	TAVERN ENTERTAINMENT	___	___	___	___
GD4 LLC 123 E DOTY ST MADISON, WI 53703	2015	4/01/2015	7/01/2015	6/30/2016		THE GREAT DANE PUB &	TAVERN ENTERTAINMENT	___	___	___	___
HIAWATHA RESTAURANT & LOUNGE, 713 GRANT ST WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		HIAWATHA LOUNGE	TAVERN ENTERTAINMENT	___	___	___	___
ITS OUR CLUBHOUSE LLC 738 S 3RD AVE WAUSAU, WI 54401	2014	4/14/2015	7/01/2014	6/30/2015		ITS OUR CLUBHOUSE	TAVERN ENTERTAINMENT	___	___	___	___
ITS OUR CLUBHOUSE LLC 738 S 3RD AVE WAUSAU, WI 54401	2015	4/24/2015	7/01/2015	6/30/2016		ITS OUR CLUBHOUSE	TAVERN ENTERTAINMENT	___	___	___	___
JALAPENOS MEXICAN RESTAURANTE 300 N 3RD ST SUITE L01 WAUSAU, WI 54403	2015	3/27/2015	7/01/2015	6/30/2016		JALAPENOS MEXICAN RE	TAVERN ENTERTAINMENT	___	___	___	___
JAMES W KRUESEL LLC 614 PLUMER ST WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		INTERMISSION	TAVERN ENTERTAINMENT	___	___	___	___
JK GUMBOS OF WISCONSIN LLC PO BOX 194 WESTON, WI 54476	2015	4/21/2015	7/01/2014	6/30/2015		J. GUMBO'S	TAVERN ENTERTAINMENT	___	___	___	___
JOY & KEVIN'S PROPERTIES LLC 1905 EDGEWOOD DR SCHOFIELD, WI 54476	2015	4/09/2015	7/01/2015	6/30/2016		DEN MAR TAVERN	TAVERN ENTERTAINMENT	___	___	___	___
LABOR TEMPLE COOPERATIVE ASSOC RANDY OLMSTED, AGENT 828 N 2ND AVE WAUSAU, WI 54401	2015	3/30/2015	7/01/2015	6/30/2016		WAUSAU LABOR TEMPLE	TAVERN ENTERTAINMENT	___	___	___	___
LOPPNOW'S SPORTS BAR LLC 1502 N 3RD ST WAUSAU, WI 54403	2015	4/02/2015	7/01/2015	6/30/2016		LOPPNOW'S SPORTS BAR	TAVERN ENTERTAINMENT	___	___	___	___
MAJOR PRANK-BB JACKS LLC 3829 N 14TH ST WAUSAU, WI 54403	2015	4/16/2015	7/01/2015	6/30/2016		BB JACK'S	TAVERN ENTERTAINMENT	___	___	___	___
MERRILL AVENUE INVESTMENTS LLC N7663 FIRST ST ELAND, WI 54427	2015	3/30/2015	7/01/2015	6/30/2016		CRUSIN 1724	TAVERN ENTERTAINMENT	___	___	___	___

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NEW CITY GRILL, LLC 203 JEFFERSON STREET WAUSAU, WI 54403	2015	4/14/2015	7/01/2015	6/30/2016		NEW CITY GRILL/JEFFE	TAVERN ENTERTAINMENT	___	___	___	___
OZ NIGHT CLUB LLC 320 WASHINGTON ST WAUSAU, WI 54403	2015	3/25/2015	7/01/2015	6/30/2016		OZ NIGHT CLUB	TAVERN ENTERTAINMENT	___	___	___	___
PEKING CORP 221 SCOTT ST WAUSAU, WI 54403	2015	4/13/2015	7/01/2015	6/30/2016		PEKING RESTAURANT	TAVERN ENTERTAINMENT	___	___	___	___
PIGGYS PUB LLC 896 HWY N MARATHON, WI 54448	2015	4/15/2015	7/01/2015	6/30/2016		CHAPTER 2	TAVERN ENTERTAINMENT	___	___	___	___
PLAYER'S OF WAUSAU INC 4411 STEWART AVE WAUSAU, WI 54401	2015	4/15/2015	7/01/2015	6/30/2016		PLAYER'S	TAVERN ENTERTAINMENT	___	___	___	___
R.E.M.B.S., LLC 821 ADAMS ST WAUSAU, WI 54403	2015	3/24/2015	7/01/2015	6/30/2016		THE GLASS HAT	TAVERN ENTERTAINMENT	___	___	___	___
RED EYE BREWING CO LLC 911 STEUBEN ST WAUSAU, WI 54403	2015	4/09/2015	7/01/2015	6/30/2016		RED EYE BREWING COMP	TAVERN ENTERTAINMENT	___	___	___	___
SHULTZ RYAN 1206 N 3RD STREET WAUSAU, WI 54403	2015	4/15/2015	7/01/2015	6/30/2016		POLACK INN	TAVERN ENTERTAINMENT	___	___	___	___
THE CHATTERBOX, INC 102 S 2ND AVE WAUSAU, WI 54401	2015	4/08/2015	7/01/2015	6/30/2016		CHATTERBOX	TAVERN ENTERTAINMENT	___	___	___	___
THE SIDEWAYS BADGER, LLC 821 STARK ST WAUSAU, WI 54403	2015	4/06/2015	7/01/2015	6/30/2016		LIMERICKS PUBLIC HOU	TAVERN ENTERTAINMENT	___	___	___	___
TRC BAR, LLC 223 E THOMAS ST WAUSAU, WI 54401	2015	4/10/2015	7/01/2015	6/30/2016		LUMPY'S	TAVERN ENTERTAINMENT	___	___	___	___
TREU'S TIC TOC LTD 1201 W THOMAS ST WAUSAU, WI 54401	2015	4/13/2015	7/01/2015	6/30/2016		TREU'S TIC TOC	TAVERN ENTERTAINMENT	___	___	___	___
VOGT TYLER 408 N 3RD ST STE 100 WAUSAU, WI 54403	2015	3/27/2015	7/01/2015	6/30/2016		MALARKEY'S PUB	TAVERN ENTERTAINMENT	___	___	___	___
WGC OPERATIONS, LLC 1001 GOLF CLUB RD WAUSAU, WI 54403	2015	4/08/2015	7/01/2015	6/30/2016		BUNKERS/TRIBUTE GOLF	TAVERN ENTERTAINMENT	___	___	___	___

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WOLD 132 N 11TH AVE WAUSAU, WI 54401	TODD	2015	4/15/2015	7/01/2015	6/30/2016		WHISKEY RIVER BAR &	TAVERN ENTERTAINMENT	___	___	___	___
WOLLER 1009 HENRIETTA ST WAUSAU, WI 54403	ALLEN	2015	4/08/2015	7/01/2015	6/30/2016		6TH STREET PUB	TAVERN ENTERTAINMENT	___	___	___	___
1709 CORPORATION 1709 MERRILL AVE WAUSAU, WI 54401		2015	4/01/2015	7/01/2015	6/30/2016		SHOWTIME	TAVERN ENTERTAINMENT	___	___	___	___
FALLS NEWS INC 4508 W MONTROSE AVE CHICAGO, IL 60641		2015	5/04/2015	7/01/2015	6/30/2016		LOVER'S PLAYGROUND	ADULT ORIENTED ESTABLISH	___	___	___	___
ADVANCED DISPOSAL 5509 FULLER ST SCHOFIELD, WI 54476		2015	5/13/2015	7/01/2015	6/30/2016		ADVANCED DISPOSAL	GARBAGE HAULER	___	___	___	___
IDEAL DUMPSTER SERVICE LLC C2228 HWY 153 STRATFORD, WI 54484		2015	4/29/2015	7/01/2015	6/30/2016		IDEAL DUMPSTER SERVI	GARBAGE HAULER	___	___	___	___
WASTE MANAGEMENT INC 1715 DELEGLISE ANTIGO, WI 54409		2015	5/28/2015	7/01/2015	6/30/2016		WASTE MANAGEMENT INC	GARBAGE HAULER	___	___	___	___
BROOKLYN TASTE LLC 328 WASHINGTON ST WAUSAU, WI 54403		2015	5/14/2015	4/01/2015	3/31/2016		BROOKLYN TASTE, LLC	MOBILE VENDOR - 1 YEAR	___	___	___	___
DOWNTOWN PAWN 531 JEFFERSON ST WAUSAU, WI 54403		2015	4/27/2015	7/01/2015	6/30/2016		DOWNTOWN PAWN	PAWN BROKER	___	___	___	___
GAUGER, DARREN J 1621 ROOSEVELT ST WAUSAU, WI 54401		2015	5/01/2015	5/19/2015	12/31/2015		DARREN GAUGER	PET FANCIER PERMIT	___	___	___	___
SCHAEFER, LINDA 123 LAZY ACRE RD WAUSAU, WI 54401		2014	4/22/2015	5/19/2015	12/31/2015		LINDA SCHAEFER	PET FANCIER PERMIT	___	___	___	___
WAUSAU PICKERS, LLC 801 GENRICH ST WAUSAU, WI 54403		2015	5/05/2015	7/01/2015	6/30/2016		WAUSAU PICKERS	2ND DLR MALL/FLEA MKT YR	___	___	___	___
BACK WHEN LUCCI INC 606 3RD ST WAUSAU, WI 54403		2015	5/05/2015	7/01/2015	6/30/2016		BACK WHEN CAFE	SIDEWALK CAFE - RENEWAL	___	___	___	___
MARATHON COUNTY LABOR COUNCIL 318 S 3RD AVE WAUSAU, WI 54401		2015	4/10/2015	9/07/2015	9/07/2015		LABOR DAY PARADE	SPECIAL EVENT CLASS 1	___	___	___	___

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MATT PAULSON & NICK BRETL 6004 EDWARDS ST SCHOFIELD, WI 54476	2015	5/01/2015	8/01/2015	8/01/2015		THE WAUSAU 400 BLOCK	SPECIAL EVENT CLASS 1	___	___	___	___
WAUSAU AREA 4TH OF JULY CELEBR PO BOX 2121 WAUSAU, WI 54402-2121	2015	5/15/2015	7/02/2015	7/05/2015		WAUSAU AREA 4TH OF J	SPECIAL EVENT CLASS 1	___	___	___	___
WAUSAU EVENTS 316 SCOTT ST WAUSAU, WI 54403	2015	5/11/2015	7/11/2015	7/12/2015		CHALKFEST WAUSAU	SPECIAL EVENT CLASS 1	___	___	___	___
WAUSAU KAYAK CANOE CORPORATION 1803 STEWART AVE, #13 WAUSAU, WI 54401	2015	5/01/2015	5/16/2015	9/20/2015		SUMMER RACE SERIES	SPECIAL EVENT CLASS 1	___	___	___	___
MAIN STREET WAUSAU-RIVER DISTR 316 SCOTT ST WAUSAU, WI 54403	2015	5/13/2015	7/09/2015	7/12/2015		SIDEWALK SALES	SPECIAL EVENT CLASS II	___	___	___	___
WAUSAU CROP PLANNING COMMITTEE 3403 SPRINGDALE AVE WAUSAU, WI 54401	2015	4/16/2015	10/04/2015	10/04/2015		WAUSAU AREA 2015 CRO	SPECIAL EVENT CLASS II	___	___	___	___
BARTASZEWICZ, CHRISTOPHER W 1416 N 1ST AVE WAUSAU, WI 54401	2015	5/11/2015	7/01/2015	6/30/2016		ALL AMERICAN TAXI	PUBLIC TRANS DRIVER-RENEW	___	___	___	___
BOEHM, JASON A 1107 S 16TH AVE WAUSAU, WI 54401	2015	5/15/2015	7/01/2015	6/30/2016		ALL AMERICAN TAXI	PUBLIC TRANS DRIVER-RENEW	___	___	___	___
FRANIA, JONATHAN R 131 N 6TH AVENUE WAUSAU, WI 54401	2015	5/05/2015	7/01/2015	6/30/2016		A-1 CAB & DELIVERY	PUBLIC TRANS DRIVER-RENEW	___	___	___	___
GIESE, MILTON J 1228 CHERRY ST WAUSAU, WI 54401	2015	4/21/2015	7/01/2015	6/30/2016		METRO CAB OF WAUSAU	PUBLIC TRANS DRIVER-RENEW	___	___	___	___
GORALSKI, CHRIS 709 SHERMAN ST WAUSAU, WI 54401	2015	5/14/2015	7/01/2015	6/30/2016		ALL AMERICAN TAXI	PUBLIC TRANS DRIVER-RENEW	___	___	___	___
JAECKS, SANDRA 1704 1/2 MERRILL AVE WAUSAU, WI 54401	2015	5/07/2015	7/01/2015	6/30/2016		ALL AMERICAN TAXI	PUBLIC TRANS DRIVER-RENEW	___	___	___	___
MERKLEIN, TIMOTHY A 942 WASHINGTON ST WAUSAU, WI 54403	2015	5/05/2015	7/01/2015	6/30/2016		A-1 CAB & DELIVERY	PUBLIC TRANS DRIVER-RENEW	___	___	___	___
STEVENS, JACOB D 1210 MCINTOSH ST WAUSAU, WI 54403	2015	5/13/2015	7/01/2015	6/30/2016		A-1 CAB & DELIVERY	PUBLIC TRANS DRIVER-RENEW	___	___	___	___

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

**JOINT ORDINANCE OF THE CAPITAL IMPROVEMENTS & STREET
MAINTENANCE COMMITTEE AND PLAN COMMISSION**

Annexing territory from the Town of Wausau to the City of Wausau

ASHLEY LUCZAJ – 1707 E. HAMILTON STREET

Committee Action: CISM Approved 4-0
Plan Comm. Approved 5-0

Ordinance Number: 497-15A

Fiscal Impact: Pursuant to state law, a payment will be made to the Town of Wausau for their tax share loss for a period of five years. This payment will be offset by the new taxes generated on the annexation.

File Number: 15-0611

Date Introduced: June 10, 2015

The Common Council of the City of Wausau do ordain as follows:

Section 1. Territory Annexed. In accordance with Chapter 66, Wisconsin Statutes, and the petition for direct annexation signed by Ashley Luczaj, sole owner of the land now located in the Town of Wausau, Marathon County, Wisconsin, and being a part of the Wausau School District, there being one elector residing therein, the following described land is hereby annexed to the City of Wausau:

Part of the Northwest ¼ of the Southeast ¼, Section 30, Township 29 North, Range 8 East, Town of Wausau, Marathon County, Wisconsin, described as follows:

Commencing at the Northwest corner of said Northwest ¼ of the Southeast ¼, the point of beginning;

Thence South, along the West line of said Northwest ¼ of the Southeast ¼, 165 feet to the South line of the parcel described in Document No. 1653056 recorded in the Office of Register of Deeds for Marathon County, said line also being the South line of the North 10 rods of said Northwest ¼ of the Southeast ¼; thence East, along said South line, 264 feet to the East line of the parcel described in said Document No. 1653056, said line also being the East line of the West 16 rods of said Northwest ¼ of the Southeast ¼; thence North, along said East line, 165 feet to the North line of said Northwest ¼ of the Southeast ¼; thence West, along said North line, 264 feet to said West line of the Northwest ¼ of the Southeast ¼, the point of beginning.

Section 2. Effect of Annexation. From and after the date of publication of this ordinance, the territory described in Section 1 shall be a part of the City of Wausau and remain a part of the Wausau School District for any and all purposes provided by law, and all persons coming or residing within such territory

shall be subject to all ordinances, rules and regulations governing the City of Wausau, and governing the School District.

Section 3. Zoning Classifications. Zoning of the within real estate shall be pursuant to Section 23.04.040, Zoning of Annexed Lands, of the Wausau Municipal Code.

Section 4. Aldermanic District and Population of Annexed Area. The territory described in Section 1 of this ordinance is hereby made a part of the 4th Aldermanic District and the 12th Ward of the City of Wausau, subject to the ordinances, rules and regulations of the city, county, and state, governing districts.

The population of the annexed territory is one (1).

Section 5. The State of Wisconsin, Department of Administration, has favorably reviewed the annexation and found it not to be against the public interest.

Section 6. Agreement to Pay Town Taxes. The City shall pay to the Town of Wausau necessary property taxes that are due and owing pursuant to the provisions of Section 66.0217(14) of the Wisconsin Statutes.

Section 7. Severability. If any provision of this ordinance is invalid or unconstitutional, or if the application of this ordinance to any person or circumstance is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this ordinance, which can be given effect without the invalid or unconstitutional provision or application.

Section 8. Effective Date. This ordinance shall take effect upon passage and publication as provided by law.

Adopted:
Approved:
Published:
Attest:

Approved:

James E. Tipple, Mayor

Attest:

Toni Rayala, Clerk

CAPITAL IMPROVEMENTS AND STREET MAINTENANCE COMMITTEE

Date of Meeting: May 7, 2015, at 5:30 p.m. in the Council Chambers of City Hall.

Members Present: Rasmussen, Gisselman, Kellbach, Mielke, Abitz

Also Present: Lindman, Jacobson, Lenz, Wesolowski, Gehin

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and received by the *Wausau Daily Herald* in the proper manner.

Noting the presence of a quorum, at approximately 5:30 p.m. Chairperson Rasmussen called the meeting to order.

Approve petition for annexation – Luczaj, 1707 East Hamilton Street (080-2908-304-0996, Town of Wausau)

Rasmussen stated that staff recommends approval of the annexation. Mielke moved to approve the annexation for Luczaj at 1707 East Hamilton Street. Kellbach seconded and the motion carried unanimously 4-0.

PLAN COMMISSION

Time and Date: The Plan Commission met on Tuesday, June 2, 2015, at 4:00 p.m. in the Common Council Chambers of Wausau City Hall.

Members Present: Mayor Tipple, Lindman, Rosenberg, Oberbeck, Bohlken

Others Present: Lenz, Jacobson

Approve petition for annexation – Leczaj, 1707 East Hamilton Street (080-2908-304-0996, Town of Wausau).

Lenz said that the property owner is looking for city sewer and water due to a failing septic system. The property needs to be part of the city in order to receive city services. The petition has been received and this commission needs to review the petition after CISM, which has already approved it. The city will have to pay Town of Wausau their portion of taxes for the next five years. A letter was received from the state indicating that it is in the public interest to accept the annexation. Staff recommends approval.

Bohlken motioned to approve the petition for annexation – Leczaj, 1707 East Hamilton Street (080-2908-304-0996, Town of Wausau). Rosenberg seconded, and the motion carried unanimously 5-0.

AGENDA ITEM
Approve petition for annexation –Ashley Luczaj, 1707 E. Hamilton Street (080-2908-304-0996, Town of Wausau)
BACKGROUND
A petition has been received to annex 1707 E. Hamilton Street. The petition and annexation map are attached for your reference.
FISCAL IMPACT
The City will pay the town of Wausau for a period of five years an amount equal to the value of the town taxes received from the annexation area at the time the annexation petition is final. Presently, the assessed value of the annexation area is \$66,300. City tax on this annexation would be approximately \$581; Town tax is approximately \$169; net to City per year for five years will be a minimum of \$412.
STAFF RECOMMENDATION
Staff recommends approval of the annexation.
Staff contact: Brad Lenz 715-261-6753

WAIVER OF NOTICE OF SPECIAL ASSESSMENT
AND AGREEMENT AS TO AMOUNT OF LEVY

The undersigned has petitioned the City of Wausau to annex certain lands from the Town of Wausau to the City. In consideration for such annexation and to obtain sewer and water utility service from the City, the undersigned hereby waives all notice of levy of special assessments, and agrees to pay to the City a total levy of \$22,248.32 as an assessment against the following described real estate:

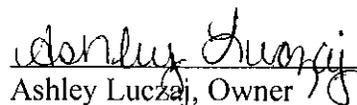
SEE ATTACHED

Sewer, 264 feet @ \$49.83/ft.	\$13,155.12
Water, 264 feet @ \$32.55/ft.	\$ 8,593.20
Sewer lateral	\$ 500.00

All connections are subject to standard building and plumbing codes and associated fees.

NOTE: The amount of the levy is arrived at by adding to the original cost of the installation, an interest charge equal to the most recent average borrowing rate of the City plus 1%.

Dated this 1st day of May, 2015.


Ashley Luczaj, Owner

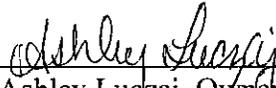
PETITION FOR ANNEXATION

The undersigned, constituting 100 percent of the owners of the following-described property located in the Town of Wausau, Marathon County, Wisconsin, lying contiguous to the City of Wausau, there being no electors residing therein, petition the Honorable Mayor and Common Council of said city to annex the territory described below and shown upon the attached scale map, as permitted by Chapter 66 of the Wisconsin Statutes, to the City of Wausau, Marathon County, Wisconsin:

SEE ATTACHED MAP AND LEGAL DESCRIPTION

There is one (1) person residing in the territory

Dated this 1 day of May, 2015.



Ashley Luczaj, Owner

Mailing Address: 1707 E. Hamilton Street
Wausau WI 54403

Legal Description for Proposed Annexation
Luczaj
1707 E. Hamilton Street

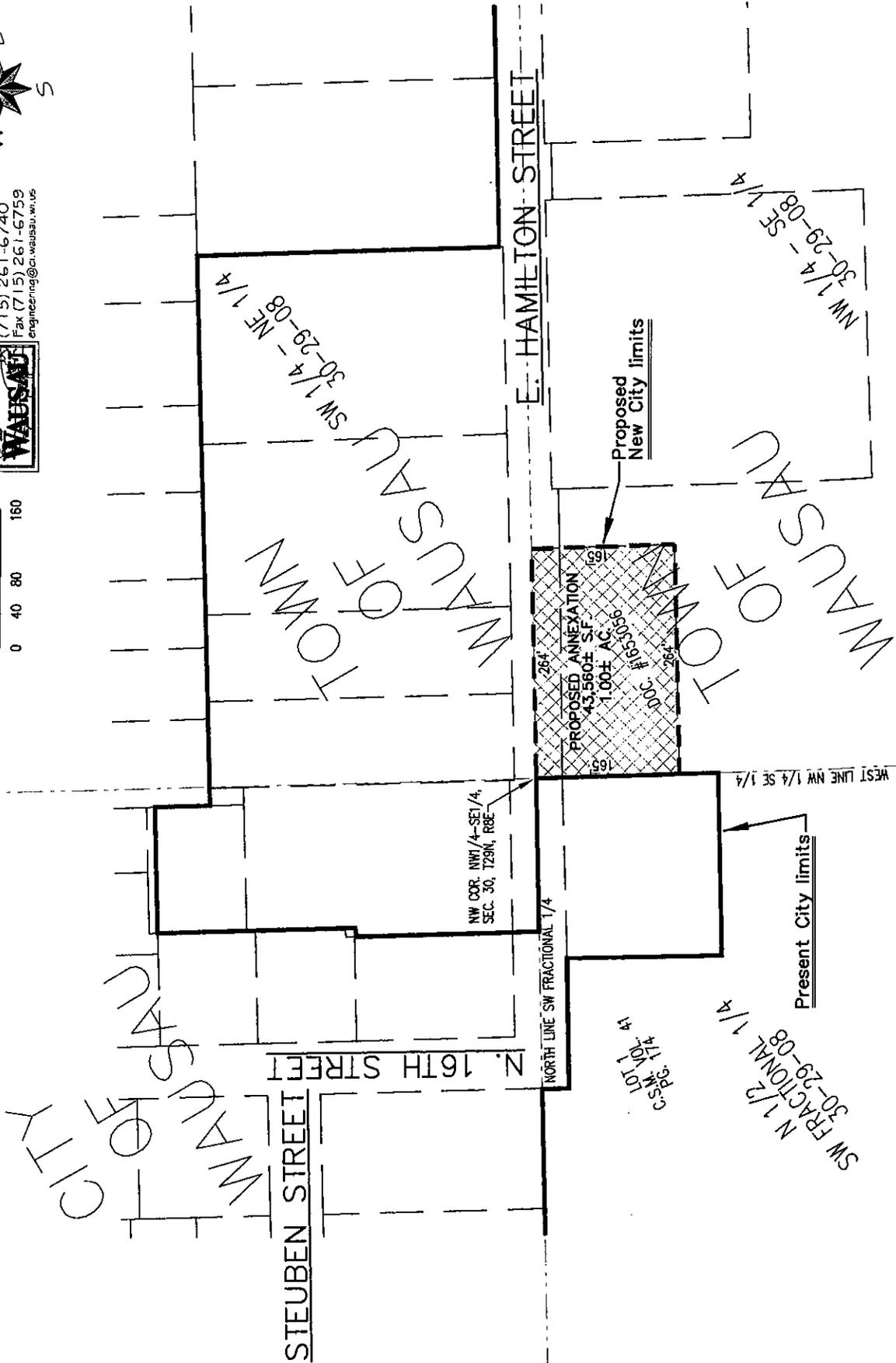
Part of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$, Section 30, Township 29 North, Range 8 East, Town of Wausau, Marathon County, Wisconsin, described as follows:

Commencing at the Northwest corner of said Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$, the point of beginning;

Thence South, along the West line of said Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$, 165 feet to the South line of the parcel described in Document No. 1653056 recorded in the Office of Register of Deeds for Marathon County, said line also being the South line of the North 10 rods of said Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$; thence East, along said South line, 264 feet to the East line of the parcel described in said Document No. 1653056, said line also being the East line of the West 16 rods of said Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$; thence North, along said East line, 165 feet to the North line of said Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$; thence West, along said North line, 264 feet to said West line of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$, the point of beginning.



City of Wausau
 Engineering Dept.
 407 Grant Street
 Wausau, WI 54403
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 Fax (715) 261-6759
 engineering@ci.wausau.wi.us



RESOLUTION OF THE ECONOMIC DEVELOPMENT COMMITTEE

Initiating a design process for City owned parcels within the East Riverfront Planning Area (in the vicinity of Short St.) for new infill housing options (River East Brownstones) and accepting a grant from the Judd S. Alexander Foundation in the amount of \$13,500 to fund this process.

Committee Action: Approved 4-0

Fiscal Impact: None

File Number: 15-0613

Date Introduced: June 10, 2015

FISCAL IMPACT SUMMARY

COSTS	<i>Budget Neutral</i>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
	<i>Included in Budget:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>	<i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>			

RESOLUTION

WHEREAS, the redevelopment of the East Riverfront Area is a strategic focus of the City and has included various planning efforts including the recent East Riverfront Brownfields Area-wide Plan; and

WHEREAS, the City has strategically acquired parcels within this targeted area for redevelopment; and

WHEREAS, the City endeavors to diversify housing options and choices within key areas; and

WHEREAS, the Judd S. Alexander Foundation shares this goal and has awarded the City grant funding to undertake a design process of new housing typologies;

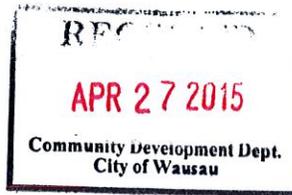
NOW, THEREFORE, BE IT RESOLVED, that the Common Council of the City of Wausau accepts the grant from the Judd S. Alexander Foundation in the amount of \$13,500 and instructs staff to begin a design process which will result in design drawings for new housing options potentially in this area.

Approved:

James E. Tipple, Mayor



OWNER'S COPY



April 21, 2015

Chris Schoch
Community Development Department
407 Grant Street
Wausau, WI 54403

Subject: Proposal & Agreement – Third Street Townhouses

Dear Mr. Schoch,

The firm of Mudrovich Architects is pleased to submit this Proposal for Preliminary Architectural Services relative to a new 8-unit townhouse project at 1304-1308 Third St., Wausau. Once signed, this will act as our agreement.

PROJECT DESCRIPTION

The proposed Project consists of four connected townhouses each having a one story ground level unit and a two story unit above. Each unit would have a single car spot in a shared garage and one spot outside the garage. The designated land is currently in two parcels, 1304 and 1308 Third Street, Wausau. By providing Preliminary Design Drawings, this proposed Project will serve as a basis for a Request for Proposal for complete contract document preparation and construction.

Rezoning:

The two properties will require re-zoning to a Unified Development District, but this is not included as part of this proposal.

Initial Design Concept & Context:

We propose to create a Design Concept that emulates townhouses that are commonly also referred to as 'Brownstones', a term that was popularized in the late 1800s and early 1900s to describe homes made of brown colored stone – much of it quarried in the Apostle Islands. As is often done with townhouses of this style, exterior steps go up to the first floor townhouse and down to a ground level flat. The rear entrance will allow for required handicap accessibility to each of the lower units.

SCOPE OF ARCHITECT'S BASIC SERVICES

1. PRELIMINARY DESIGN

- a) Meet with CDA staff to discuss the goals for the Project.
- b) Schedule an on-site meeting with all necessary participants to review existing conditions.
- c) Conduct an on-site survey, take rough field measurements and take photographs.
- d) Perform code analysis and communicate with Wausau Building Inspections and Wausau Fire Department to ask if there are any general requirements or obscure codes which could possibly impact the proposed work.
- e) Prepare concept sketches (freehand or CAD generated as appropriate); meet with CDA to review and decide how to proceed.
- f) Obtain approval to proceed with Final Preliminary Design Drawings.

2. FINAL PRELIMINARY DESIGN

Prepare the following Final Preliminary Design Drawings:

- a) Dimensioned Site Plan including spot elevations
- b) (3) Unit Floor Plans showing a typical layout of the basement flat, the townhouse floor one, and the townhouse floor two
- c) Building elevations of all four sides of the building with notes calling out materials
- d) (2) Wall sections to show the typical construction at the front and rear walls
- e) Building section cutting in the east-west direction
- f) Wall types
- g) Outline Specification including Architectural, Mechanical, Electrical and Plumbing

OWNER'S RESPONSIBILITIES

1. Provide full information regarding requirements for the project.
2. Be available to answer Architect's questions and render decisions in a timely manner.
3. Pay all plan & specification printing costs

FEE STRUCTURE

We propose providing services as follows:

- For an **8 unit Townhouse Project** we propose to provide **Basic Services** for a **Fixed Fee of \$12,000.00 Plus the cost of Reimbursable Expenses**. (Reimbursable Expenses are defined below.)
- For a color computer rendered east building elevation and the site plan, we propose an **Additional Fee of \$1,500.00**.

Note: We do not include services for re-zoning in the amounts shown above. Re-zoning services will be treated as Additional Services and will be billed per our Hourly Rates as listed below. Such services could include revising the design, redrawing, preparation for meetings and participation in any necessary Plan Commission or Common Council Meetings for Preliminary/Conceptual Approval.

ADDITIONAL SERVICES

When requested by the Owner, the Architect will perform additional work beyond Basic Services. Such work will be paid for in addition to compensation for Basic Services. An "Additional Services Authorization" form will be provided to the Owner when such services are requested. The Architect will proceed with these services upon receipt of the signed authorization. The fee basis relating to Additional Services will be per Hourly Rates.

Potential Additional Services:

1. Services performed on behalf of Wausau CDD subsequent to completion of Preliminary Design.
2. Services relating to zoning change
3. Services relating to reviewing of Proposer submittal and Proposer selection.
4. Services relating to representing or assisting Wausau CDD during Final Design and Construction.

COPYRIGHT ISSUES

We retain all Copyright rights (per Article 9 in Standard Agreement Provisions). However, we will grant one-time rights to proposing Architecture/Construction/Developer entities to move this project toward completion and ownership. We will cooperate in providing Preliminary Design Drawing files to Proposers requesting such. We will require completion of our Electronic Drawing File Transfer Request form (attached).

ADDITIONAL PROVISIONS

Please see the attached Standard Agreement Provisions and initial as evidence that you are in accord with these terms.

ACCEPTANCE

If the above terms are acceptable, please countersign both copies of this proposal and return one copy to our office.

Sincerely,



Thomas H. Mudrovich, AIA
Owner/Principal
MUDROVICH ARCHITECTS

Accepted by:

Name: _____

Title: _____

Date: _____

**MUDROVICH ARCHITECTS
CURRENT RATE SCHEDULE
3/01/15**

These rates are subject to annual adjustment in accordance with normal salary review practices and overhead cost changes.

<u>CLASSIFICATION</u>	<u>HOURLY RATE</u>
Principal Architect	\$140.00
Sr. Project Architect	\$115.00
Project Architect	\$ 98.00
Project Manager II	\$ 94.00
Project Manager I/Interior Designer	\$ 89.00
Technician II	\$ 78.00
Intern Architect	\$ 73.00
Administrative Assistant	\$ 57.00
Reimbursable Expenses	1.0 times our cost
Sub-Consultants	1.10 times our cost
Mileage	.60/mile
Progress Prints and Electronic Formatted Documents:	\$3.00/each

Reimbursable Expenses are in addition to compensation for Basic and Additional Services and include expenses incurred by the Architect and Architect's employees and consultants in the interest of the Project, such as:

Expense of transportation; long distance communications; fees paid for plan approval; expenses of reproductions; postage and handling of drawings, specifications and other documents; artist's renderings, models and mock-ups requested by the Client/Owner; expenses of additional insurance coverage or limits, including professional liability insurance, requested by the Client/Owner in excess of that normally carried by the Architect and Architect's consultants.



Mudrovich
architects

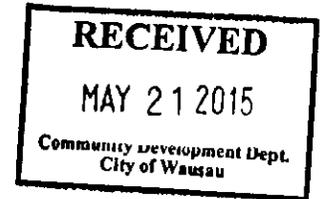
STANDARD AGREEMENT PROVISION

1. Payments to the Architect under this Agreement for Services shall be made by the Client/Owner, upon receipt of monthly invoices from the Architect. Payment is due within thirty (30) days of invoice date. Amounts unpaid after 30 days will bear interest of 1% per month (12% annually) until paid. Mudrovich Architects reserves the right to cease or suspend services if amounts remain unpaid after 60 days. The Client/Owner confirms that financial arrangements have been made to insure prompt payment for Architect's services.
2. This agreement will be governed by the law of The State of Wisconsin.
3. The Client/Owner and the Architect agree to attempt to settle any disputes arising out of or relating to this agreement by MEDIATION. The mediator shall be neutral third party, such person to be agreeable for this purpose to both parties. The cost of such mediator to be born equally by both parties.
4. This Agreement may be terminated by either party upon not less than seven days written notice. At such time the Architect shall be compensated for work performed and expenses incurred prior to written notice of termination.
5. The Client/Owner agrees to LIMIT THE ARCHITECT'S LIABILITY to the Client/Owner, due to the Architect's negligent acts, errors or omissions, such that the total aggregate liability of the Architect shall not exceed \$1,000,000 per occurrence or \$1,000,000 aggregate.
6. The Architect shall have no responsibility for construction means, methods, techniques, sequences or procedures or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or the failure of any of them to carry out the work in accordance with the contract documents.
7. The Architect shall have no responsibility for the discovery, identification, presence, handling, removal or disposal of or exposure of persons to hazardous materials in any form at the project site(s), including but not limited to asbestos, asbestos products, polychlorinated biphenyl (PCB) or other toxic substances.
8. Unless otherwise agreed to in writing, compensation for services performed under this Agreement shall not be contingent on the project proceeding into implementation and construction.
9. All documents produced by the Architect for use on this project including, but not limited to, preliminary sketches, renderings, final contract documents and specifications are instruments of service for use solely on this project. The Architect is the author of such documents and retains all ownership, statutory and reserved rights, including copyright. Such documents and the resultant architectural work (built project) are protected under federal copyright law, specifically the Architectural Works Copyright Protection Act of 1990. Copying documents for bidding and construction can be done only for use on this project and shall not constitute publication. The Client/Owner shall not use or cause the use of these documents on other projects, or on additions to this project without the permission of and compensation to the Architect.

Owner's Initials: _____ Date: _____

JUDD S. ALEXANDER FOUNDATION, INC.

500 FIRST STREET, SUITE TEN
P.O. Box 2137
WAUSAU, WISCONSIN 54402-2137



May 19, 2015

OFFICERS & DIRECTORS

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TREASURER/SECRETARY

JOHN D. DUDLEY
DIRECTOR

Ms. Ann Werth
Community Development Administrator
City of Wausau
407 Grant Street
Wausau, WI 54403

Dear Ann:

We are pleased to advise you that a grant of \$13,500 was approved at our May 18, 2015 Board of Directors meeting in support of the Concept Construction Plans of the River East Brownstones development as outlined in your letter of May 12, 2015. A check for the amount of the grant is enclosed.

We would encourage you to expand the scope of this project to include Fulton Street between Third and Fourth Street as well as the Marathon Historical Society's newly acquired property in that area.

Sincerely,

A handwritten signature in black ink, appearing to read "Gary W. Freels".

Gary W. Freels
President

Enc.

Wausau East Riverfront Redevelopment District

EAST RIVERFRONT BROWNFIELDS AREA-WIDE PLAN



DRAFT

May 2015

ACKNOWLEDGMENTS

This plan was funded through the U.S. Environmental Protection Agency's Brownfields Area-Wide Planning Grant Program.

City of Wausau staff provided guidance for this plan, including:

Ann Werth, Community Development Director

Brad Lenz, AICP, City Planner

James Tipple, Mayor

MaryAnne Groat, Finance Director

Christian Schock, Economic Development Manager

Special thanks to the City's Economic Development Committee for their input and guidance throughout the planning process.

William Nagle

Lisa Rasmussen

Romey Wagner

David Oberbeck

Tom Neal

This plan was prepared by Stantec Consulting Services, Inc. (#193802508)



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INTRODUCTION

PROJECT OVERVIEW

The City of Wausau is located in north central Wisconsin in Marathon County. The City is crossed by two major highways and is bisected by the Wisconsin River, a state-designated Outstanding Water Resource. Wausau is Marathon County's largest city and county seat. In 2014, the City's estimated population was 39,218, approximately thirty percent of the County population of 134,875.

Like many nearby communities, Wausau developed out of 1800s logging camps that used the Wisconsin River to transport logs to sawmills. The Wisconsin River was also the center of a significant portion of Wausau's agricultural, wood and paper manufacturing sites. Today, transforming these former manufacturing sites bordering the Wisconsin River to more sustainable and environmentally friendly land uses is a top priority for the City, but one that presents many challenges due to the combination of floodplain, contamination, ecological, transportation, and other planning issues.

In 2013, the City of Wausau received a Brownfields Area-wide Planning grant from the U.S. Environmental Protection Agency to address contaminated sites in the East Riverfront District. The East Riverfront District planning area encompasses 53 acres along the Wisconsin River immediately north of downtown Wausau. The planning area, depicted in Figure 1, is bounded on the west by the Wisconsin River, on the north by Bridge Street (one of the City's major arterial roads), on the east by Third Street (which is part of a current redevelopment planning project focused on the 2nd Street neighborhood), and to the south by Fulton Street.

Redevelopment of this planning area presents an opportunity to expand Wausau's downtown and provide new public recreation opportunities along the Wisconsin River. Four sites adjacent to the river have been identified as key catalyst sites critical to supporting revitalization within the entire district. These encompass approximately 16 acres of vacant former industrial properties. Immediately south of the planning area are two successful brownfield redevelopment projects bordering the Wisconsin River, the Eye Clinic of Wisconsin and the Dudley Tower. These projects included environmental assessments funded through a U.S. EPA Assessment Pilot grant awarded to the City in 2000. Efforts in the East Riverfront District are a continuation of the planning and brownfield assessment process that began more than a decade ago in this area.

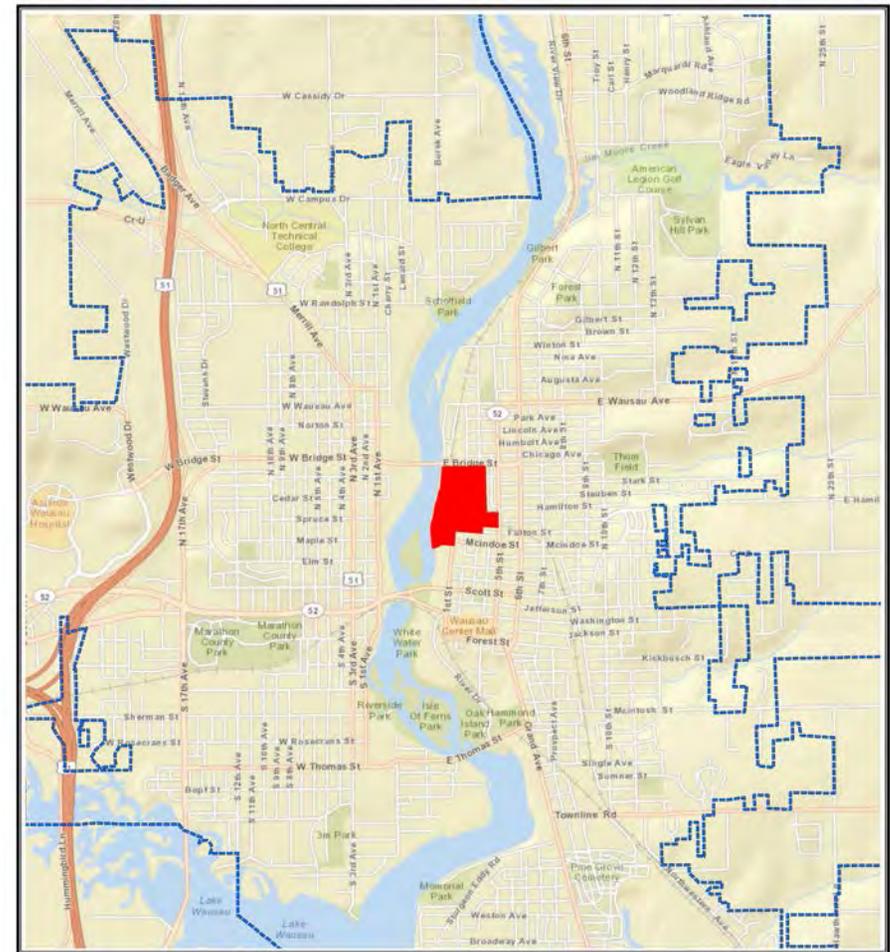


Figure 1. The East Riverfront District Planning Area





Figure 2. Catalyst Sites



The City has initiated numerous infrastructure improvements through the East Riverfront District to prepare for redevelopment. These include extension of a bicycling/walking trail that connects the district with downtown, uncovering a stream, and the northward extension of First Street from downtown along the eastern edge of the four catalyst sites.

Maximizing its riverfront location is the key to the success of the entire East Riverfront District. The purpose of this plan is to identify redevelopment goals and implementation strategies that support community aspirations for the East Riverfront District, capitalize on the City's substantial infrastructure investment in this district, and identify physical and local market realities that will impact redevelopment potential. As the community rediscovers its waterfront, redevelopment must enhance the unique natural river environment and create new housing, commercial, and recreational opportunities that support Wausau's quality of life.

This plan focuses attention on four catalyst sites, recognizing that successful redevelopment of these parcels has high potential to spur additional redevelopment of nearby properties. The four catalyst sites were selected because they encompass the entire waterfront section of the East Riverfront District, including an almost one-half mile long section of the east bank of the Wisconsin River. All of these sites are owned by the City and remedial action to facilitate their redevelopment is underway. The four catalyst sites are labeled 1 through 4 in Figure 3, and will be the focus of later chapters.

BROWNFIELDS PLANNING FRAMEWORK

Grant Background

This section provides background on the objectives and framework for the U.S. Environmental Protection Agency’s Brownfields Area-wide Planning program, which funds this work. This grant program complements previous work in Wausau undertaken with a 2000 EPA Assessment Pilot grant to identify and assess known and perceived brownfield sites for contaminants.

Role of the U.S. EPA Brownfields Area-wide Planning Program

The U.S. EPA’s Brownfields Area-Wide Planning (AWP) program is designed to help communities confront local environmental and public health challenges related to brownfields and benefit underserved or economically disadvantaged communities. The Brownfields AWP program employs a place-based planning strategy that is inclusive of surrounding conditions, the local community, and assets and barriers to brownfield redevelopment. The program encourages community-based involvement in site assessment, cleanup, and reuse planning, as well as overall neighborhood revitalization. Through a brownfields area-wide planning approach, the community identifies a specific project area that is affected by one or multiple brownfields, then works with residents and other stakeholders to develop reuse plans for catalyst, high priority brownfield sites and their surroundings.

The framework diagram in Figure 4 illustrates the core concepts of the Brownfields AWP program and outlines the essential process for brownfields area-wide planning. The initial steps require an evaluation of area conditions, market potential, and the state of existing infrastructure; engaging local citizens, stakeholders, and organizations; and prioritizing brownfield sites within the project area for future investment. Initial findings inform strategies for the project area that will guide future implementation.

WHAT IS A BROWNFIELD?

The Environmental Protection Agency defines a brownfield as “real property, the expansion, redevelopment or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant” (EPA, 2012). Many communities, such as those within this AWP project area, face the presence of multiple brownfields in their own backyard.

Figure 3. EPA Brownfields AWP Planning Framework



As plans are implemented by communities and brownfield properties within the planning areas are cleaned up and reused, the EPA expects positive environmental outcomes related to public health, air and water quality such as reduced exposure to contaminants, reduced greenhouse gas emissions and other air pollutants, reduced stormwater runoff, and substantial reductions in pollutant loadings in local waterways.

For the East Riverfront District, it is anticipated that the development of this plan will encourage existing property owners to assess and remediate their properties (with other funding assistance provided as applicable) to allow for their subsequent redevelopment for new and/or updated industrial, commercial or residential uses. The reuse of the area will foster in-fill development that might have otherwise occurred on nearby greenfields and encourage sustainable development practices incorporating multi-modal transportation options, on-site stormwater treatment, green building techniques and site-sensitive landscaping.

Brownfield Inventory of the Planning Grant Area

The East Riverfront District is located in a fully-developed area of the City that has been used for a wide range of industrial, commercial, and residential uses since the 1800s.

In locations such as the East Riverfront District where buildings or land uses are no longer well-matched with current market demands, vacant or under-utilized properties in need of redevelopment are common. Many of these sites meet the definition of a brownfield and are one of the key challenges associated with revitalization of the East Riverfront District.

Brownfield sites vary significantly in size and characteristics. Some brownfields are large former industrial properties (such as the identified catalyst sites) with functionally obsolete buildings that are not well-suited for the needs of modern industrial users. Other brownfields may include former commercial gas stations, dry cleaners, etc. located on parcels that are too small for many alternative commercial uses. The environmental liabilities associated with brownfields and their impacts on redevelopment or reuse prospects also vary significantly. At some sites, the costs for environmental cleanup may substantially exceed the current land value, whereas at other sites, the environmental costs may represent only a small percentage of overall site redevelopment costs. At other sites, the costs associated with cleanup may be less of a concern than the potential for future litigation, the possibility of delays in the construction schedule, or restrictions that may exist on use of certain portions of the property. As such, the cost for environmental cleanup may preclude certain redevelopment uses or require significant financial planning to fund cleanup costs. Therefore, having a good understanding of environmental liabilities and their potential impacts on redevelopment is an essential step in the redevelopment planning process.

A comprehensive inventory of known or potential brownfield sites in the East Riverfront District and evaluations of known or suspected environmental liabilities associated with the four identified catalyst sites was conducted to inform future site use options, redevelopment logistics, and financial planning. The work included review of available historical environmental and land use information as well as a windshield and walking survey of each parcel. This inventory accomplished the following:

- Evaluate the prioritization, assessment, cleanup, and subsequent reuse of selected properties in the East Riverfront District
- Identify environmental assessments already completed
- Identify brownfield properties where no assessments or cleanups have taken place
- Identify environmental data gaps
- Suggest cleanup strategies
- Determine viable reuses for the brownfield sites

Full results are provided in Chapter 3.

SUMMARY OF PREVIOUS PLANS AND RELEVANT ORDINANCES

CHAPTER INTRODUCTION

Several planning and design studies provide context and relevant background regarding redevelopment planning for the East Riverfront District. The intent of this Brownfields AWP plan is to weave together the pertinent aspects of past plans to maintain continuity and bring forth goals and objectives for the district that are reflective of past community input.

Below is the list of documents reviewed and summarized in this chapter. The main components pertinent to the East Riverfront District from each document are excerpted on the following pages.

- A. Wausau Comprehensive Plan, 2006
 - i. Zoning and Subdivision Ordinance
 - ii. Flood zone Ordinance
- B. Wausau Northeast Sustainable Master Plan, January 2012
- C. City Of Wausau Comprehensive Outdoor Recreation Plan, 2010 – 2014
- D. Wausau/MPO Bike-Ped Plan: January 2009
- E. Near West Side Master Plan, November 2007
- F. North Downtown Area Master Plan, November 2005
- G. Central Business District Plan, 2000
- H. Rivers Edge Master Plan, June 1995

PREVIOUS PLANS AND RELEVANT ORDINANCES

A. City of Wausau Comprehensive Plan, 2006

Wausau adopted its current comprehensive plan in 2006. A number of goals, statements and other information in the plan can inform redevelopment of the East River Redevelopment District. Discussion about redeveloping the Wausau riverfront is a high priority in the City's comprehensive plan.

Identified Community Values

The comprehensive plan identifies key values for the community, including:

- Diversified, clean and healthful natural environment
- Position on the banks of the Wisconsin River, which both separates and joins our community
- Scenic beauty
- Quality parks and open space areas
- Strong family ties
- Low crime rate
- Rich culturally and socially diverse heritage
- Economic vitality and variety
- Quality urban services

Vision Statement

Wausau's vision includes these ideas relevant to the East Riverfront District:

Our Wisconsin River and its shore lands will be a mainstay of community activity, not for transporting logs or fueling industry as in the past, but for providing recreational opportunities and scenic beauty.

Downtown Wausau's unique character will have renewed vibrancy. People throughout the region will recognize Downtown's uniqueness and gather to work, shop and enjoy the many social, cultural and entertainment options available there. The heightened activity in the central area will stimulate interest in living downtown.

“Big Bold Ideas”

The comprehensive plan included community visioning sessions resulting in a list of “big bold ideas” for the future. This included the following ideas related to the East Riverfront District:

Riverfront:

- Relocate heavy industry to a more appropriate industrial park area and redevelop the central river corridor.
- Continue development of the Festival Grounds along the Wisconsin River in downtown.
- Develop apartments along the river south of Bridge Street. The river is a great place for residential apartments/condominiums.

Goals

The heart of any comprehensive plan is the set of goals established for the community. Wausau’s plan includes a number of goals, policies and objectives that impact the East Riverfront District.

Parks & Recreation Goal:

To design and develop recreational facilities to provide a quality recreational experience for the citizens of Wausau.

Explore opportunities to improve access to the Wisconsin River, consistent with the recommendations identified in the River Edge Master Plan, through purchase of property or public easements.

Parks & Recreation Goal:

To preserve and enhance important natural, historic, scenic, and cultural features in the City by incorporating these features into the park system.

Focus open space preservation in the Central Business District on river bank and shoreland access, trail development, and scenic enhancement.

Economic Development Goal:

To improve the economic well-being of Wausau through efforts that involve job creation, job retention, tax base enhancements, and other quality of life initiatives.

The City will continue to make revitalization and redevelopment of downtown Wausau, the Wisconsin River waterfront, and the Stewart Avenue/US Highway 51 corridor a high priority.

Central Business District Goal:

To strengthen the Central Business District as the heart of the City and surrounding region.

Objectives

1. Maintain downtown Wausau as an important multi-use activity center for the community and the region including recreational, cultural, residential, retail, entertainment, office, high-tech business, and government land uses.
2. Center the economic future of the Central Business District (CBD) around the Wisconsin River by expanding the CBD to encompass development sites on the east and west sides of the river.
8. Establish a new theme and identity for the Wausau CBD related to the Wisconsin River and its unique historic, recreational, and scenic character.
12. Help relocate industrial uses from the Central Business District and River Edge Corridor.

Strategies/Actions

3. Continue to provide financial assistance and incentives to encourage private investment in revitalization of downtown and riverfront properties.
4. Continue to enhance the existing wayfinding signs around the City to direct people to downtown, the riverfront, and the City’s cultural attractions.
5. Continue to emphasize downtown redevelopment projects that contribute to “round-the-clock” activity in the CBD. This might include housing, restaurants, cultural facilities, and entertainment uses.

Natural Resources Goal:

To protect and enhance the quality of significant natural resources.

Objectives

Improve the quality of water in streams and in the storm sewer system that flows through Wausau and into the Wisconsin River.

Community Growth Goal 2:

To expand Wausau’s tax base, employment opportunities, and industrial mix.

The City will give priority to redevelopment of property located on the Wisconsin Riverfront, in distressed neighborhoods,

The City will continue to encourage environmental remediation efforts throughout the community.

Objectives

Eliminate brownfield sites in the City through clean-up efforts, redevelopment activities, and rehabilitation projects.

Industrial Development Goal:

To create industrial areas that contribute to the social and economic stability of the City without degrading its natural or residential living environment.

Objectives

Evaluate the compatibility of all existing General Industrial (M-2) zoning districts with nearby residential areas.

Major Opportunities and Constraints

The Plan outlines opportunities and constraints for future planning and development, among them:

Redevelopment – There are several properties in the City with potential for redevelopment including many of the old industrial properties located along the Wisconsin River. The riverfront setting makes them desirable locations for new residential and commercial development; however, many of these properties are polluted and must be cleaned up prior to redevelopment. Costs of pollution clean-up and other complexities associated with redevelopment often mean these projects take more time to initiate and complete.

Downtown Revitalization – In 2000, the City adopted The Wausau CBD Master Plan, which outlines strategies to revitalize downtown Wausau. Some of the key opportunities include improving pedestrian access, development on the riverfront and creation of the Arts Block. The Master Plan also recommended joining the Main Street program, which has been done. Main Street program staff will be directly involved in implementing the recommendations in the Master Plan.

Land Use

The comprehensive plan discusses land use issues in the community. The following are those with direct bearing on the East Riverfront District:

Redevelopment Challenges – While redevelopment presents significant opportunities for growth and revitalization in the City, it also poses complex financial and logistical challenges. Property assembly, demolition, and pollution clean-up are costly, which sometimes makes it difficult to find willing developers and financing. Previously developed properties may be too small or oddly shaped and, therefore, must be combined with adjacent parcels to create a “good” redevelopment site. In addition, access to redevelopment sites may need to be enhanced or altered in order to accommodate a new land use. Public assistance (financial and/or technical) is usually needed to address these challenges in order to encourage private sector investment. Therefore, redevelopment priorities must be clear and balanced with City resources carefully dedicated to these needs and opportunities.

Brownfields – Existing environmental contamination on former industrial and commercial sites has discouraged the redevelopment of many otherwise commercially viable properties in the City. The mere possibility of contamination existing on a property frightens potential developers as well as financial institutions from redeveloping these properties for residential or commercial uses. As mentioned earlier, these sites include the former SNE property on Thomas Street, many of the Central Business District Riverfront properties and many sites adjacent to the rail lines throughout the community.

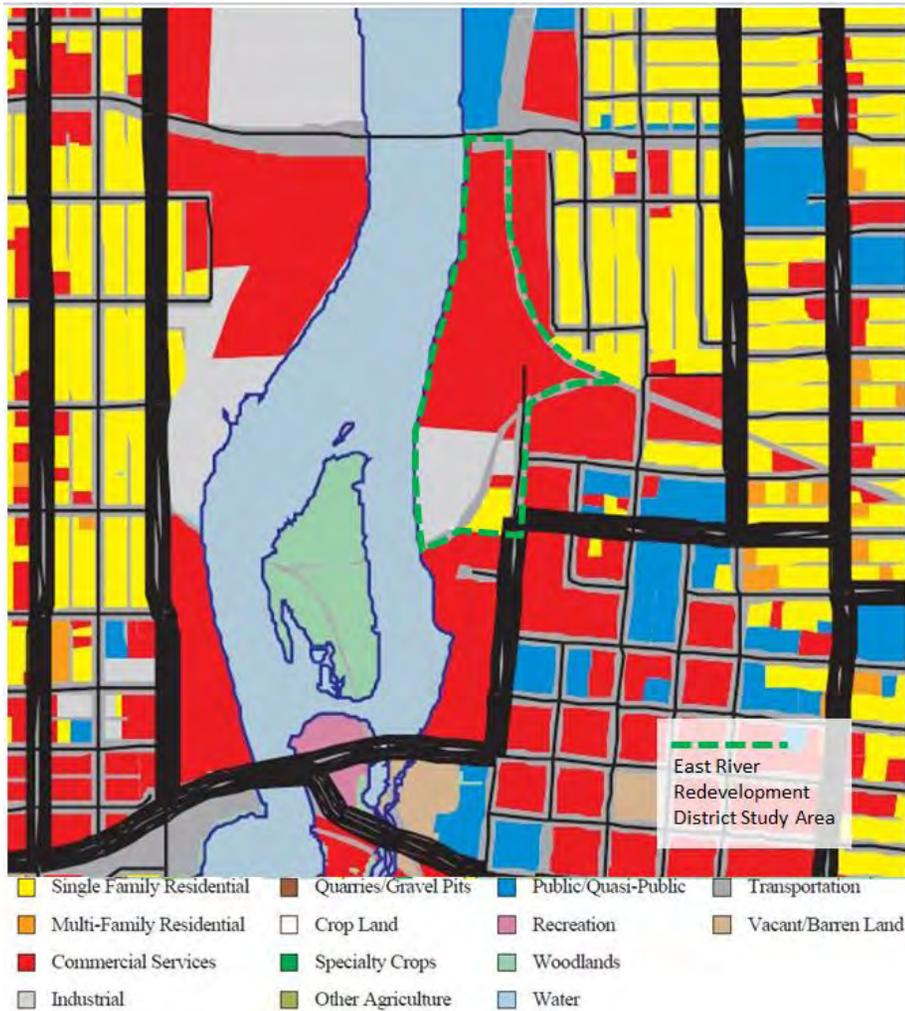


Figure 4. Existing Land Use

Table 4-1: Land Use Classifications for City of Wausau (2000)

Land Use	Description	Acres	% of Total Land Area
Single Family Residential	One family structures, farm residences, mobile homes	3,127	26.62
Multi-Family Residential	Multiple family structures with three or more households, condos, duplexes, apartments	153	1.30
Commercial Services	Retail stores, taverns, restaurants, truck stops, gas stations, farm coops, farm implement dealerships, automobile dealerships, business offices, motels/hotels, offices, telephone/gas company	966	8.23
Industrial	Saw/paper/lumber mills, dairies, industrial parks, trucking operations, distribution centers	456	3.88
Quarries/Gravel Pits	Mining operations	41	0.35
Cropland	Tilled agriculture, prime farmland	380	3.24
Specialty Crops	Ginseng, orchards, vineyards, nurseries, groves, cranberries, etc.	18	0.15
Other Agriculture	Fallow, pasture and undetermined agriculture, power lines and towers, water towers, municipal wells	137	1.17
Public/Quasi-Public	Schools, churches, cemeteries, town halls, fire departments, National Guard	554	4.72
Recreation	Ball fields, golf courses, playgrounds, parks, trails, camp grounds, shooting ranges	529	4.50
Woodlands	Forested land	1,271	10.82
Water and Wetlands	Open waters, such as lakes, ponds, streams, rivers, creeks, reservoirs, etc.	1,329	11.32
Transportation	Airports, highways, road right-of-ways, railroads, logging roads	2,299	19.57
Vacant/Barren	Unused open land in wooded areas,	485	4.13

Land	along streams, along roadsides		
Total Land Area		11,747	100%

Source: Marathon County Tax Assessment Code Database

Figure 5. Land Use Classifications

Existing Land Use

Existing land use in Wausau is classified according to the table in Figure 4 and illustrated in Figure 5, excerpted from the comprehensive plan.

Existing land use in the East Riverfront District is mostly categorized as Commercial Services and Industrial. In the southeast corner of the study area there is a small Single Family Residential area of three houses near 1st Street and McIndoe Street.

Surrounding the study area are Commercial and Public/Quasi-Public uses north across Bridge Street, with mostly Commercial uses south and east. The Wisconsin River and Barker-Stewart Island Park are on the west edge. In the next tier of blocks adjacent to the study area on the east side is an older single family neighborhood along North 1st, 2nd and 3rd Streets. To the south and east is the central business district with more Commercial and Public/Quasi-Public uses, including retail, office, hotels and government uses.

Future Land Use

Future land use is illustrated in Figure 6, excerpted from Wausau’s comprehensive plan. The entire study area plus some surrounding properties are designated Re-Development. This category is listed in the land use table in the plan as “Probable Re-Development Area” and defined as “Areas that are currently developed but are likely to experience a large-scale change in land use involving multiple property owners.” A number of the other parcels adjacent to the study area are also designated Re-Development, but all other surrounding future land uses are consistent with their existing land use.

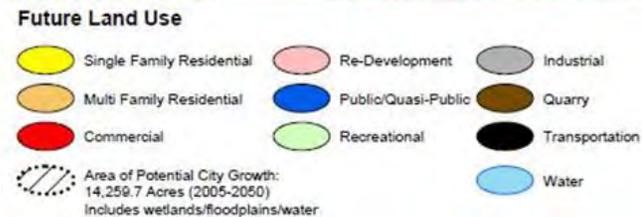
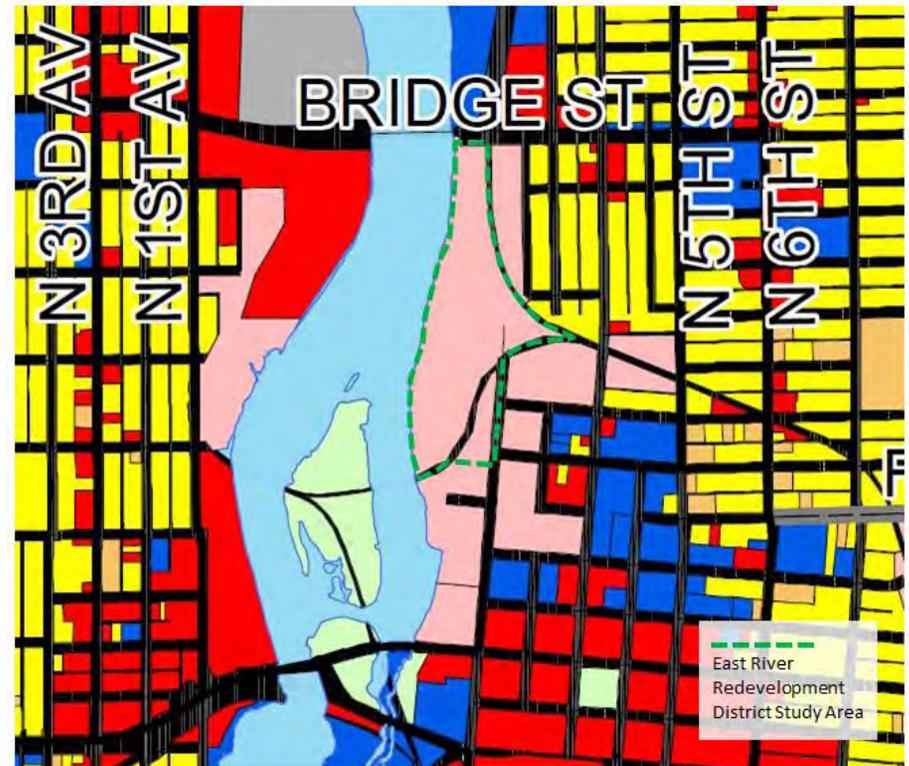


Figure 6. Future land use

City of Wausau Zoning Code

Existing Zoning

The East Riverfront District is covered by four zoning designations plus an overlay district for areas adjacent to the river, described below and depicted in Figure 7. The largest portion of study area is zoned M2. Approximately the southern quarter of the study area is zoned B2. Two small parcels are zoned M1 and a small sliver of another parcel is zoned B42.

B2 – Community Service District. Purpose: “The B2 community service district is designed to accommodate the needs of a larger consumer population than is served in the neighborhood shopping district – thus a wider range of services and goods is permitted for both daily and occasional shopping and service needs.”

Key provisions and uses in the B2 district:

- A wide range of retail, office and service uses are permitted.
- Residential uses are allowed above the first floor.
- All activities must be conducted entirely within an enclosed building.
- Maximum 2.80 floor area ratio.
- Building height is regulated solely on the basis of the floor area ratio.

M2 – General Industrial District. Purpose: “The M2 general industrial district is designed to accommodate large, relatively self-contained and isolated areas intended to be used for industrial activities whose potential nuisance or hazard generation is moderately high.”

Key provisions and uses in the M2 district:

- A wide range of manufacturing, service, wholesale, retail and office uses are permitted, including all uses permitted in the M1 District.
- Residential uses are not allowed.
- A number of heavier, more intense manufacturing and processing uses are allowed, including meat packing; petroleum processing and storage; asphalt, brick and concrete manufacturing; chemical processing, and many others that are not permitted in the M1 district.

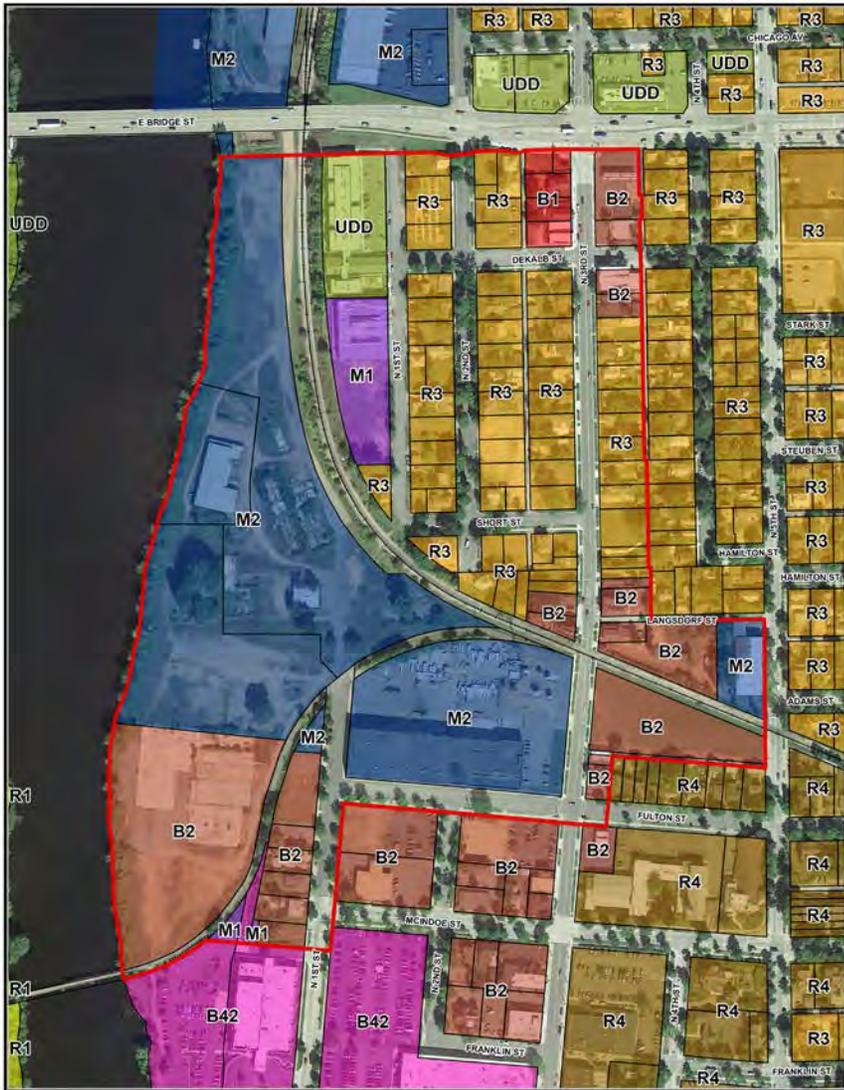
- Maximum 3.60 floor area ratio.
- Building height is regulated solely on the basis of the floor area ratio.

River Edge Overlay District. Purpose: “The purpose of the river edge overlay district is to help protect the water quality and scenic resources of the Wisconsin River by reducing soil bank erosion, establishing building setback regulations, and regulating signs near the river’s edge. The establishment of this district is intended to help promote the public health, safety and general welfare of the community.”

Key provisions and uses in the River Edge Overlay District:

- Areas with fifty feet of the high water mark of the Wisconsin River in Wausau are included in the district.
- New buildings, building expansions, and advertising and business signs are not allowed in the district unless approved following a public hearing before the city planning commission in accordance with city code provisions governing conditional uses.
- Restrictions imposed by the district are in addition to the other regulations in underlying zoning districts.
- The provisions of the district do not affect the permitted or conditional uses in the respective underlying zoning districts.

Unified Development District. As part of any redevelopment agreement, the city-owned parcels in the East Riverfront District will likely be rezoned as part of a planned unit development, referred to as a “Unified Development District” (UDD) in the Wausau Municipal Code. Each UDD is a unique zoning district and may contain any use or combination of uses approved by the City. Developers must submit a general development plan including land use, specific uses areas, residential density, basic street and utility patterns, and general environmental character for approval by the Plan Commission before proceeding with a precise development plan and ultimately receiving approval to construct. The final development agreement between the developer and the City will designate responsibility for construction and installation of streets, sanitary sewer, water mains, storm sewer, street lighting, and other necessary infrastructure between the City and the developer.



Site Zoning Designations

City of Wausau, WI

- Planning Area Boundary
- Parcel Line
- R1 - Single Family Residence District
- R3 - Two Family Residence District
- R4 - General Residence District
- B1 - Neighborhood Shopping District
- B2 - Community Service District
- B42 - Central Business District
- M1 - Limited Industrial District
- M2 - General Industrial District
- UDD - Unified Development District



January 13, 2014



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Figure 7. Site zoning designations

B. WAUSAU NORTHEAST RIVERFRONT SUSTAINABLE MASTER PLAN, January 2012

Reuniting the River and the City

Master plan prepared by:

Community Design Solutions, University of Wisconsin - Milwaukee
UW-Milwaukee's Community Design Solutions (CDS) was asked to incorporate general recommendations from previous plans, input from the community, and the team's knowledge of modern design principles to develop renderings depicting how the planning area could look. This work envisioned a physical form for the area that would stimulate further public input, planning, and decision-making.

CDS and the City identified the following specific objectives that needed to be addressed in the design concept created for this area:

- Link the project area to the central business district and adjacent residential area.
- Envision sustainable urban landscape schemes that address the site's design opportunities and challenges such as the flood plain area and habitat restoration.
- Envision sustainable design principles and architectural concepts for buildings to be constructed or renovated and rehabilitated from existing structures within the plan area.
- Consider (re)development ideas that are unique and specific to the project site.

A summary of the plan's site analysis is as follows:

Location and Identity as a Destination

One of the major assets of the site is its ideal location in relationship to the downtown area. The site's location on the eastern bank of the Wisconsin River is also ideal for creating a variety of desirable housing, attractive outdoor dining spaces as well as spaces for a variety of entertainment and recreational activities.

The existing network of walking paths, parks, recreational areas, and historic sites provide ample opportunities for strong connections to the Northeast Riverfront District, and for the creation of enjoyable and usable

outdoor spaces. Barker Stewart Island to the west and Big Bull Falls Park and Whitewater Park to the south are great assets with their natural vegetative growth, walking trails, bridged connections, historic landmarks, kayak courses, and other recreational opportunities. The site offers the opportunity to add attractive open green spaces to the existing widely used walking, jogging, biking, and fishing areas.

Connectivity

It should be possible to design inviting links that encourage increased activity throughout the Downtown by building on recent revitalization efforts, i.e., Third Street, which is now seen as the gateway to Downtown; the paved pedestrian and bike path along the river; and, even smaller scale connections such as the concrete path linking Third to Fourth Street. The site also is disconnected from the adjacent residential neighborhoods. The railroad tracks are still in use and now form a barrier to easy movement between recently built housing units and the riverfront site. The railroad that curves northward to the east of the site is raised in some places as high as ten feet and carries between 8 and 10 freight trains daily, effectively severing the site from the adjacent neighborhood both visually and physically.

A somewhat significant grade change along 1st St., a few small buildings south of the railroad track crossing as well as the active industrial buildings and large, surface parking lots (Public Water Works, ABC Shingle Co., a Bank, etc...) north and southeast of the site further impede accessibility from the east and a connection to Downtown. In addition, no street network enters the site from the east, and 1st street (north/south), which is the only street currently cutting through the site, deteriorates into an unmarked, unlit gravel path by the ABC Shingle and Shake Warehouse. Despite the current connection, the main access routes across the River and to Downtown, 3rd St. (east) and Bridge St. (north) could be used to increase accessibility.

Riverfront Accessibility

Overgrowth, combined with adjacent electrical lines, effectively screens people on the site from enjoying the beauty of the river. Not only can one not reach the river from within the site, but the site is also inaccessible from the river. Furthermore, there are a series of hydro dams to the immediate south of the site which block kayakers and paddlers from proceeding south.

VISION

The Northeast Riverfront Sustainable Master Plan's vision reclaims the spatial, ecological, and historic potential of the area to reach the overall goals and objectives. This project provides the ground work to guide future efforts towards a sustainable, 21st century urban riverfront that is a revitalized network of entwined natural and built environments within the present community.

PRIMARY DESIGN CONCEPTS

Promenade: Multi-use space which will provide a strong visual and physical connection from the downtown area to the Wisconsin River.

Adaptive Reuse: A cluster of existing buildings in the center of the site can be re-used. Their foundations can remain for new construction, while existing cladding would be recycled throughout the site for constructing benches, planters, lighting and signage.

Natural Landscape: Maintain as much of the existing tree canopies as possible to avoid interfering with or significantly altering existing habitats.

Creek: The current culvert should be opened up and converted back to the creek which once existed within the site. This will allow the water from the river to penetrate within the site for better accessibility.

New Construction: Sustainably designed residential and retail buildings would line the promenade. The lineal orientation also promotes connection to the downtown area and adjacent parking.

Pathways: Various materials for pathways add variety and sustainable options.



Figure 8. Image from the Wausau Northeast Riverfront Sustainable Master Plan



Figure 9. Preliminary redevelopment concepts

C. CITY OF WAUSAU COMPREHENSIVE OUTDOOR RECREATION PLAN, 2010 - 2014

Prepared by:

Wausau and Marathon County Parks, Recreation, and Forestry Department

INTRODUCTION

The City of Wausau Comprehensive Outdoor Recreation Plan provides guidance in the acquisition, development, and programming of parks, playgrounds, and special recreation areas throughout the City. To achieve this end, the plan focuses on the adequacy of existing facilities and the opportunities for future recreational facilities.

Adoption and approval of this plan qualifies Wausau for various recreation and natural resources grant-in-aid programs from the state and federal governments. The qualification period for these program aids extends five years from the date of plan adoption. These grant-in-aid programs are intended to assist local communities with the implementation of park improvement programs. Physical planning issues are explored in two broad categories: Those with a primary impact on a neighborhood basis and those which are citywide in scope. Neighborhood planning was considered appropriate since most of the City's park facilities have been developed to focus on small neighborhood service areas. Citywide planning is required for the development of riverfront improvements, downtown enhancements, community parks, and sports complexes.

ISSUE IDENTIFICATION

Park and recreation issues generated through the needs assessment process are as follows:

1. **Swimming Pools:** There is a large demand to continue to provide structured swimming opportunities in Wausau. Aging pools and declining attendance need to be addressed. Survey results indicated support for maintaining three neighborhood pools.
2. **Hiking/Biking Trails:** There is strong support in the community to build more hiking and biking trails including continued development of the River Edge Trail.

3. **Youth Recreation Programs:** Residents expressed interest in expanding the recreation opportunities available to children.
4. **Bike Trail Signing:** Provide signing of bicycle routes and trails. This should be coordinated with the Marathon County Metropolitan Planning Organization.
5. **Emerald Ash Borer Action Plan:** The City of Wausau has approximately 6000 ash trees growing in street right of ways and at least that number on private property. With the inevitable arrival of the Emerald Ash Borer Wausau a plan needs to be developed for identification, removal, storage and commercial marketing of diseased trees.
6. **Dogs in Parks:** Several issues regarding dogs were identified
 - a. Dogs running loose.
 - b. Dog owners not cleaning up after their dogs.
 - c. Demand for a designated dog park.

CITYWIDE ACTION ITEMS

1. Financial
 - a. Pursue non-levy funding for development of sports facilities.
 - b. Dispose of surplus properties or properties that do not meet their intended purposes and apply revenues to parkland procurement or development.
2. Acquisition and Development
 - a. Prioritize master plan needs and develop master plans for the three highest rated properties.
 - b. Explore opportunities to utilize storm water detention areas for green space and linkages
 - c. Continue acquisition of easements and development of River Edge Trail
 - e. The City of Wausau should pursue hosting baseball and soccer youth sports tournaments.

- f. The City of Wausau should cooperate with other local agencies to provide new recreation programs and facilities.
- g. Implement recommendation of the Wausau MPO Bicycle and Pedestrian Plan to link the River Edge Trail with existing right of ways in the City.

NEIGHBORHOOD ACTION ITEMS

Development of River Edge Trail is the primary action item for the Franklin and Hawthorn Hills Neighborhoods within the project area as well as all the other neighborhoods fronting the Wisconsin River. Acquisition of easements, construction of paved trail, and site amenities has been identified by City officials and the public as a high priority and a key element in urban revitalization.

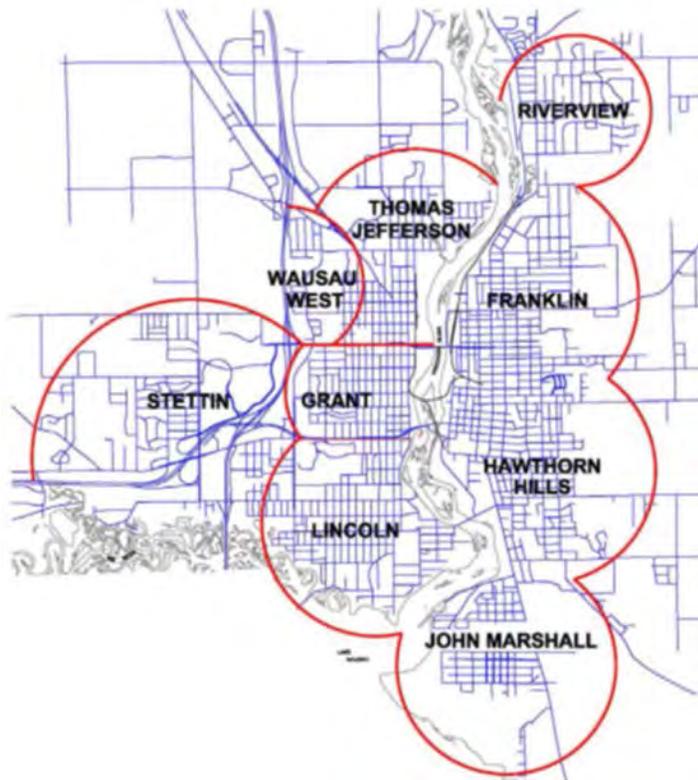


Figure 10. City of Wausau park system neighborhood service areas

D. WAUSAU MPO BIKE AND PEDESTRIAN PLAN, JANUARY 2009

Prepared by:
Schreiber/Anderson Associates, Inc.

Summary

The Wausau Metropolitan Planning Organization prepared this 20-year Bicycle and Pedestrian Plan to develop sound strategies for improving bicycle and pedestrian transportation throughout the Wausau area for users of varying abilities. The planning area includes the cities of Wausau, Schofield, and Mosinee, the villages of Weston, Rothschild, and Kronenwetter; and the towns of Texas, Maine, Stettin, Wausau, Rib Mountain, Weston, Mosinee, and Bergen. The plan is meant to guide local and state efforts to develop new facilities and programs to improve the quality of life for all citizens of the Wausau area.

The plan identifies trail connections as an important means of creating opportunities for bicycle commuting. Of particular relevance to the East Riverfront District, the plan calls out proposed trail development on both sides of the Wisconsin River in Wausau, noting this opportunity to link trail access with existing railroad locations, especially from the south to Thomas Street and north past Bridge Street.

The plan also calls for increased attention to walking as a transportation mode. The plan notes that 2.3 percent of commuters in the Wausau planning area reported regularly walking to work. Pedestrian commuting percentages are even higher within the City of Wausau’s older neighborhoods near downtown. These percentages do not include other pedestrian activity, such as walking trips to school, to shopping, or for recreation. Many of these pedestrians are children and seniors who require special consideration regarding facility design. Pedestrians include persons using wheelchairs or mobility devices.

The benefits of alternative modes of travel such as bicycling and walking are particularly significant for short urban trips. Benefits described in the plan are listed here:

- Bicycling and walking are two of the most cost efficient modes of transportation with regard to operation, development and maintenance of facilities.
- Bicycling and walking are two of the best forms of physical exercise and therefore can effectively enhance the health of the user.
- Bike and pedestrian facilities developed for transportation purposes can simultaneously enhance recreation and tourism opportunities.
- National, state and local units of government increasingly acknowledge the benefits of bicycling and walking beyond merely recreational values. Recognizing the efficiency of bicycling and walking for certain types of trips among the other modes of travel is the basis for multi-modal transportation planning.
- Bicycling and walking do not contribute to noise or air pollution and thus contribute to the health of the community. Off-road facilities developed for bicycling and walking can protect and enhance natural resources.
- Bicycling and walking promote social interaction of families and community members.
- The premise of multi-modalism is simple: to create a transportation system that offers not only choices among travel modes for specific trips, but more importantly, presents these options so that they are viable choices that meet the needs of individuals and society as a whole.

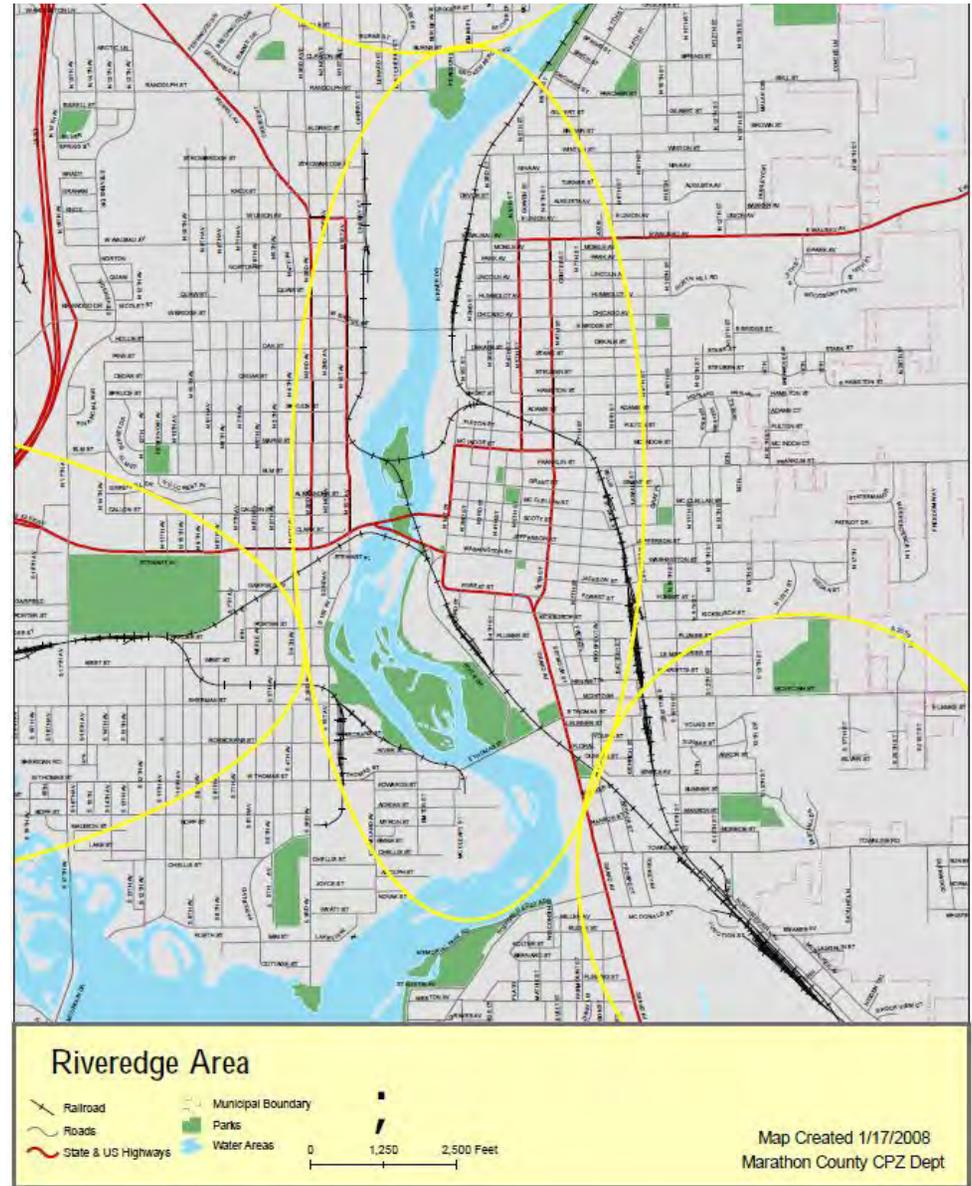


Figure 11. Riveredge Area

E. NEAR WEST SIDE MASTER PLAN, 2007

Wausau Main Street Program

Schreiber/Anderson Associates, Inc.
BEST Real Estate Group, Inc.

INTRODUCTION

The Wausau Main Street Program commissioned a master plan for the West Downtown Neighborhood. The planning area is defined by Elm Street on the north, 4th Avenue on the west, Stewart Avenue on the south and the Wisconsin River on the east.

The Near West Side Neighborhood Plan is part of the Wausau CBD Master Plan adopted in 2001. Following adoption of the CBD Master Plan, the City and the Wausau Main Street Program focused efforts on the redevelopment and revitalization of Wausau's historic downtown. In 2005, the City adopted the North Downtown Area Master Plan to expand CBD revitalization activities north of Downtown to Bridge Street. The Near West Side Master Plan provides recommendations to guide public and private improvements that will ensure the long-term economic vitality of downtown Wausau.

Redevelopment Recommendations

The following recommendations highlight some of the key development opportunities for the East Riverfront District described in the Near West Side Master Plan. Figure 18 illustrates this vision. Key features include:

- High density development with buildings that are 4-6 stories in height
- Structured parking
- Minimize surface parking and service areas on 1st Avenue and the riverfront
- Open space system that incorporates pedestrian walkways and courtyards that are integrated with the public riverwalk system
- Buildings oriented to the public street and the riverfront
- Pedestrian and bicycle connections between the mixed use business district and the riverfront as extensions of Elm Street, Alexander Street, and Callon Street
- Gateway building at Stewart Avenue

Riverwalk Streetscape

The Master Plan recommends completing the riverwalk system between Stewart Avenue and Bridge Street with decorative lighting, overlooks, views to the river and new landscape displays. The Master Plan calls for integrated outdoor spaces that are part of new development along the river and the public riverwalk system.

Neighborhood Connections

Several improvements are recommended to enhance the connections between the Near West Side and surrounding neighborhoods. These include:

- Pedestrian and bicycle connections to the riverfront and riverwalk system as part of the future redevelopment of the East Bay site.
- Completion of the riverwalk system between Stewart Street and Bridge Street.
- Construction of a pedestrian/bicycle trail on the existing railroad corridor over the Wisconsin River to connect the east and west sides of the river.
- On-street bicycle lanes and improved sidewalks and streetscaping on Stewart Avenue to visually and physically connect River West with the UW-Marathon County campus.
- On-street bicycle lanes on 1st Avenue and 3rd Avenue to connect the Near West Side with neighborhoods to the north and south.



Figure 12. Near West Side Master Plan imagery

F. NORTH DOWNTOWN AREA MASTER PLAN, November 2005

Prepared for: *Wausau Main Street Program*

Prepared by:

Schreiber/Anderson Associates, Inc.

INTRODUCTION

The Wausau Main Street Program commissioned Schreiber/Anderson Associates, Inc. and BEST Real Estate Group, Inc. to prepare a master plan for the North Downtown Area of Wausau. The North Downtown Area is bordered by Bridge Street on the north, N. 3rd Avenue on the west, N. 6th Street on the east, and McIndoe Street (east side of the river) and Maple Street (west side of the river) on the south. The purpose of this plan is to update recommendations adopted in the Wausau Central Business District Master Plan and set goals and priorities for the North Downtown Area that will extend the revitalization of downtown beyond its historic core.

LAND USE PLANNING RECOMMENDATIONS

The following recommendations identify land use and physical improvements for the North Downtown Area. The maps in Figures 14 and 15 graphically illustrate key recommendations.

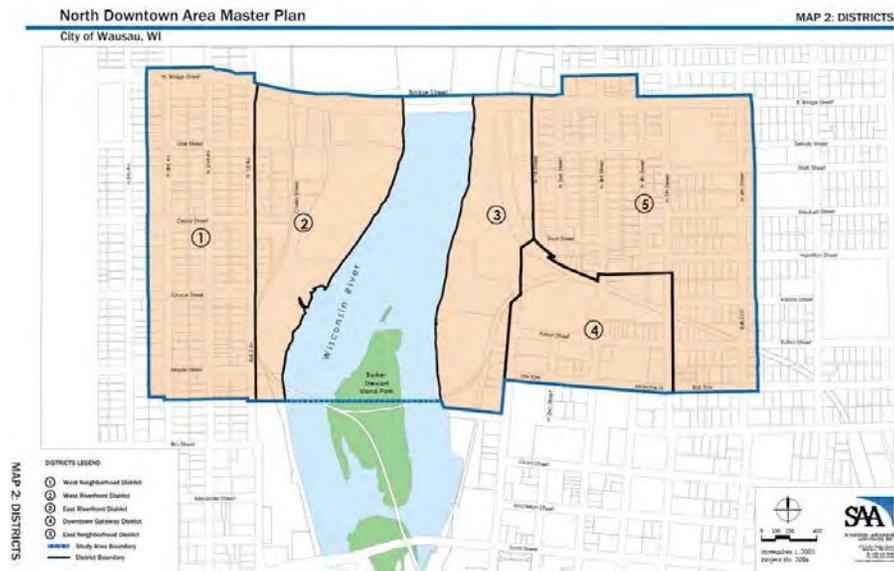


Figure 13. North Downtown Area Master Plan district designations

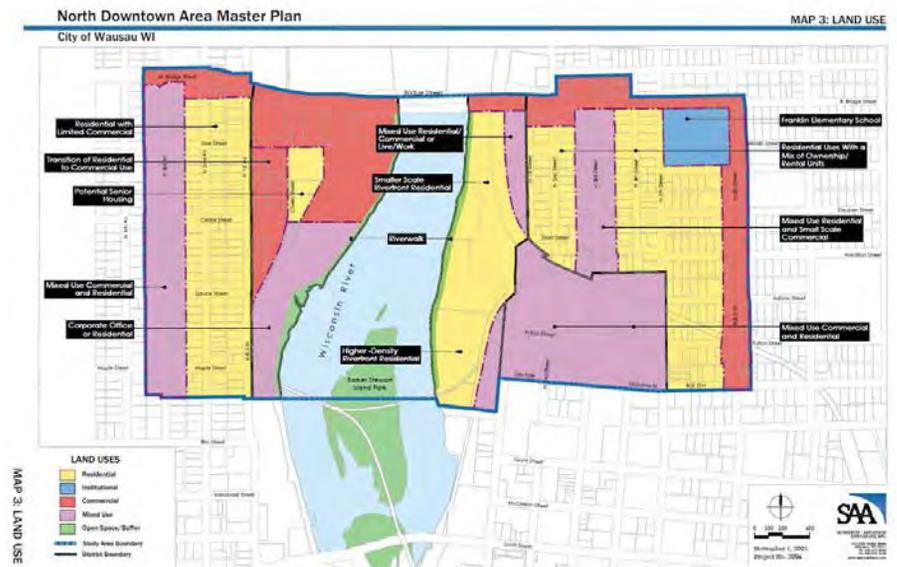


Figure 14. North Downtown Area Master Plan land use recommendations

District 3: East Riverfront District

Purpose

The purpose of this district is to take full advantage of its outstanding riverfront location and proximity to Downtown. This district is recommended for redevelopment into a high-quality, riverfront housing district with public gathering spaces and commercial buildings fronting onto N. 1st Street. This district should be seamlessly integrated with the Downtown through connections, landscaping, lighting, trail connections, and similar amenities.

Land Use Recommendations

1. Encourage higher density residential development in the southern end of this district. The densities should be in the range of 16-40 units per acre to maximize this riverfront location.
2. Create a community focal point, such as a public gathering space, to provide active and passive recreational use in areas that cannot be developed due to flood plain area restrictions.
3. Encourage lower scale housing in the northern end of the district, such as townhomes or 2-3 story condominiums. The densities should be in the range of 12-20 units per acre. Site considerations include lot depth, the railroad corridor, the extension of N. 1st Street, and need to provide adequate parking for the residences.
4. Rehabilitate or redevelop properties along the east side of the railroad corridor into commercial, residential, and/or live-work uses. Ensure that the scale, pattern and traffic related to these uses are compatible with the existing neighborhood.

District 4: Downtown Gateway District

Purpose

This district is part of the grand gateway into Downtown Wausau and is positioned for redevelopment and increased commercial activity due to its central location and proximity to the river, residential neighborhoods, major street corridors, and the Downtown.

Land Use Recommendations

1. Redevelop larger commercial/industrial buildings into more appropriately scaled buildings that better fit the scale and character of the neighborhood and Downtown district.
2. Maintain and expand employment uses in the district.
3. Promote the selective rehabilitation or redevelopment of properties along N. 3rd Street, the railroad, and Fulton Street for commercial and residential uses (e.g. the ABC Supply/Fox TV site).
4. Preserve residential uses on the north side of Fulton Street between N. 3rd Street and N. 5th Street. This area may transition over time to a mix of residential and commercial uses.
5. Promote selective in-fill and redevelopment projects as shown on the redevelopment map (Map 4).

District 5: Land Use Recommendations

1. Promote the selective rehabilitation or redevelopment of residential properties throughout the district.
2. Preserve the historic character and the housing stock in the district.
3. Promote stabilization in this neighborhood, particularly between N. 1st Street and N. 4th Street.
4. Acquire the commercial businesses at the intersection of N. 6th Street and Bridge Street to allow for future Franklin Elementary School expansion, including the development of a safe drop-off zone.
5. Establish the N. 3rd Street/Bridge Street intersection as an attractive neighborhood-oriented commercial node. Develop the N. 3rd Street corridor as a small-scale retail commercial district mixed with residential uses.
6. Existing residential uses along N. 3rd Street may transition to small-scale commercial use if parking and other related issues are addressed.

District 3: Private Design Guidelines

1. The design strategy for this district is to create a pedestrian scaled mixed-use area, integrating the new riverfront housing and open spaces, expanded and improved commercial development fronting N. 1st Street, riverfront trail extensions, and connections to neighborhoods and the Downtown. This district provides an opportunity for high quality and innovative design because of its topography and location.
2. A detailed master plan should be prepared for the East Riverfront District that integrates all properties along the riverfront with the Downtown.
3. Create a public open space along the Riverwalk at the end of Fulton Street, including possible transient docking.
4. Consider the creation of additional public open spaces for areas that cannot be developed within the 100-year floodplain.
5. Design all visible sides of existing and new buildings. Facades facing the river should contain detail equal to that of facades facing the street.
6. Encourage taller buildings that vary from two to five stories in this district.
7. River views, connections, and use areas should be provided while balancing the preservation of existing vegetation and the natural character of the river.
8. Create continuous and direct physical linkages between the riverfront, neighborhoods, and Downtown.
9. Avoid long, monotonous facades for commercial buildings along the riverfront and along N. 1st Street. Use building wall offsets, projections, recesses, and variations in the building massing to add architectural interest and variety.
10. Screen views of building parking and loading zones from the riverfront and the public street.
11. Parking lots should include plantings and stormwater infiltration areas, particularly lots closer to the Wisconsin River.
12. Promote shared parking and internal circulation between properties to limit curb cuts on major public streets and the need for excessive parking.
13. Encourage native landscaping and best management practices for stormwater management in this district.

District 4: Private Design Guidelines

1. Design corner buildings to have at least two facades facing the public streets (e.g., buildings on Fulton and N. 3rd Street) with additional architectural detail to enhance their prominent locations and frame the intersection.
2. Screen views of parking lots and loading/service areas from public streets.
3. Provide attractive landscaping next to the public street as part of private property development.
4. Selectively integrate existing neighborhoods with commercial uses that complement the neighborhood.
5. Provide efficient parking options within the district to support existing uses and future redevelopment. This could include a combination of surface parking and structured parking. Shared parking opportunities should be promoted.
6. Parking lots for new uses along Bridge Street should be located along the sides and rears of buildings, not in the front.
7. Parking entrances should be connected to the primary public street or rear alleys.
8. Encourage mixed-use buildings with retail or service uses on the ground floor and offices or residential uses above.
9. Create setbacks/build-to-lines that minimize building setbacks from the street. Consider the adoption of standards that set this line between 0-10 feet.

District 5: Private Design Guidelines

1. Preserve the historic character of the neighborhood.
2. Design commercial buildings to complement the scale and character of the existing neighborhood.
3. Buildings should be designed to define and frame the intersection of N. 3rd Street and Bridge Street to improve the gateway entrance to the Downtown.
4. Properties fronting Bridge Street should provide high quality building and site designs with parking located on the sides or rears of buildings to enhance Bridge Street as an attractive community and Downtown gateway corridor.
5. Promote shared parking with internal circulation between properties to limit curb cuts on major roads.

North Downtown Area Master Plan

MAP 5: TRANSPORTATION AND STREETSCAPE

City of Wausau, WI

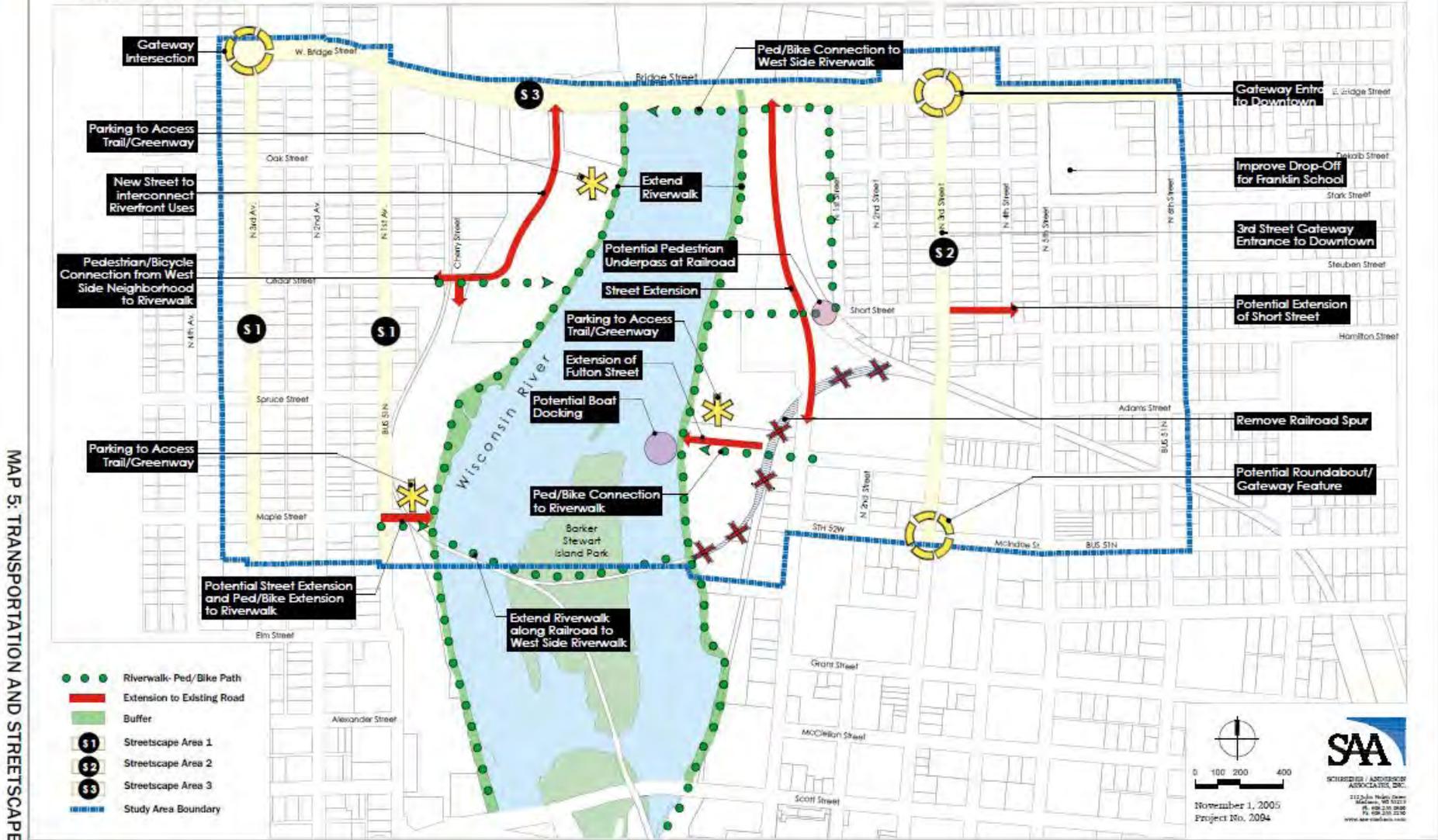


Figure 16. North Downtown Area Master plan transportation and streetscape

District 3: Transportation Recommendations

1. Extend a public street to the north along the rail corridor and under Bridge Street to provide access to the East Riverfront District.
2. Consider the construction of a pedestrian underpass at the rail corridor to connect Short Street to the river. This connection will provide an important amenity and add value to the neighborhood east of the railroad.
3. Extend the existing Riverwalk along the Wisconsin River to Bridge Street. Provide a pedestrian/bicycle route along N. 1st Street to connect the east and west sides of the river along Bridge Street.
4. Extend the Riverwalk to Barker Stewart Island Park and along the side of the existing railroad bridge to the west side of the river.
5. Remove the existing railroad tracks in the middle part of this district, as shown on the transportation map (Map 5), to provide better opportunities for in-fill and redevelopment.
6. Extend Fulton Street to the river to improve public access to the East Riverfront District.

District 3: Public Streetscape Guidelines

1. Design the extension of N. 1st Street along the railroad tracks to minimize pavement width.
2. Create attractive wayfinding signage to the riverfront and Downtown.
3. Provide street trees, landscaping, decorative lighting, banners, and pedestrian amenities, such as benches and trash receptacles along Bridge Street and new streets within the district.

District 4: Transportation Recommendations

1. Design N. 3rd Street as a gateway corridor to the Downtown within an attractive streetscape.
2. Provide a safe and well-connected bicycle and pedestrian network along N. 3rd Street and Fulton Street to improve multi-modal access to the Downtown and riverfront.
3. Design the intersection of McIndoe Street and N. 3rd Street as a major gateway feature for Downtown Wausau. Consider the possibility of a roundabout at this intersection.

District 4: Public Streetscape Guidelines

1. Reconfigure N. 3rd Street to accommodate parallel parking. This would create a safer and more retail friendly environment along this corridor.
2. Provide decorative street lighting, banners, pedestrian amenities, and street trees along N. 3rd Street to create a gateway entrance to the Downtown.
3. Design the intersection of McIndoe Street and N. 3rd Street to create a focal point and entrance feature for the Downtown, including the possibility of a roundabout. Use special landscaping, architectural or public improvements at this intersection to enhance the importance of this Downtown gateway.
4. Expand wayfinding to direct visitors to CBD destinations.

District 5: Transportation Recommendations

1. Provide a safe drop-off zone for Franklin Elementary School.
2. Design N. 3rd Street as a major entrance corridor for the Downtown with attractive streetscape improvements.
3. Promote shared parking for commercial uses along N. 3rd Street.
4. Consider the extension of Short Street to 4th Street to improve the grid street patterns in the district and promote better pedestrian and bicycle connections between the residential neighborhoods east and west of N. 3rd Street.
5. Provide safe pedestrian and bicycle crossings at all intersections.
6. Create a "build-to-line" for buildings along major corridors such as N. 3rd Street, N. 5th Street, and N. 6th Street with setbacks varying from 0-10 feet.

District 5: Public Streetscape Guidelines

1. Continue to improve Bridge Street with attractive lighting, streetscape and signage.
2. Extend Downtown streetscaping along N. 3rd Street to Bridge Street, including decorative lighting, street trees, street furniture, and pedestrian amenities.
3. Beautify intersections with landscaping and signage features that are scaled and proportioned to the pedestrian as well as vehicular traffic.
4. Expand wayfinding to direct visitors to CBD destinations.

G. Central Business District Master Plan, 2000

Prepared by:
City Vision Associates

The Wausau Common Council adopted a Central Business District Master Plan in 2000 as an element of the City's Master Plan. Work focused on that part of the community generally bounded by Third Avenue, Sixth Street, Bridge Street, and Thomas Street. The plan contains a vision statement, general goals for the Central Business District, and specific recommendations and implementation strategies focused on land use, redevelopment activities, transportation, streetscape, and urban design. Since its adoption, many of the recommendations contained in the Master Plan have been further tested, evaluated, rejected, modified, or implemented.

REDEVELOPMENT RECOMMENDATIONS

Important considerations for redevelopment include enhancing the downtown as a civic destination, increasing tax base and downtown investment opportunities, creating jobs, developing new housing, increasing tourism, strengthening the retail core, preserving historic resources, creating a positive downtown identity, and building new land use relationships around the Wisconsin River and the redevelopment of environmentally impacted properties or brownfields. The following identification of redevelopment districts refines earlier conceptual recommendations for CBD land use patterns. Each recommendation is coded to the illustration in Figure 17.

Residential

The view of Rib Mountain could provide a unique "high-end" living opportunity downtown. Riverfront housing could be incorporated into a mixed-use setting with retail and commercial development at the intersection of Scott and North 1st Street and along the frontage of North 1st Street. Riverboat docking should also be explored as an enhancement to the marketing of this district.

- R13** Redevelopment for high-density condominiums or owner-occupied housing with riverfront views. Redevelopment and/or rehabilitation of the existing building frontage along 1st Street for service and retail uses to support the new riverfront residential and business development. Shared public and private use of the riverfront with potential boating facilities to serve new residential development. Existing health care services could remain in this area.

Employment

The district has historically been used as a site for manufacturing and distribution. This district provides the opportunity to position downtown Wausau into marketing for high-tech business development. The opportunity offered by a combination of river frontage with great office views is a market that should be explored.

- R8** Rehabilitation of the former Marathon Millwork property for mixed use office, research and light industrial uses that can coexist with the adjoining residential neighborhood. Architectural character improvements should be made to the part of the building frontage along 3rd Street.
- R9** Rehabilitation of the former Murray Machinery property for a mixed use office, research and industrial center or a potential incubator business center. Potential rail access. In-fill development along 3rd Street for corporate offices connected to new business uses.
- R10** Redevelopment of the rail corridor for high-tech business or light industrial uses. Shared public and private use of the riverfront. Because the rail does exist, there may be an opportunity to reuse existing buildings for light manufacturing, storage, and distribution for science product development. It is unlikely, however, that this district will find the rail advantageous to recruiting new businesses. This district strategy is to use the existing buildings as incubators for new startup science businesses that would ultimately become tenants in Class A office buildings oriented to the riverfront.
- R11** Redevelopment of former industrial riverfront lands for high-tech businesses with riverfront views. Shared public use of the riverfront. The goal is create a minimum of 1,000 new jobs. The residential structures within this area should be analyzed for their condition and impact on more comprehensive redevelopment. It is possible that good quality residential structures can be integrated as a mixed-use component or to move residential structures to an appropriate location. This should be addressed during the implementation phase.
- R12** This site should be redeveloped for business and employment uses that compliment the East River Business District with potential retail frontage along 3rd Street.

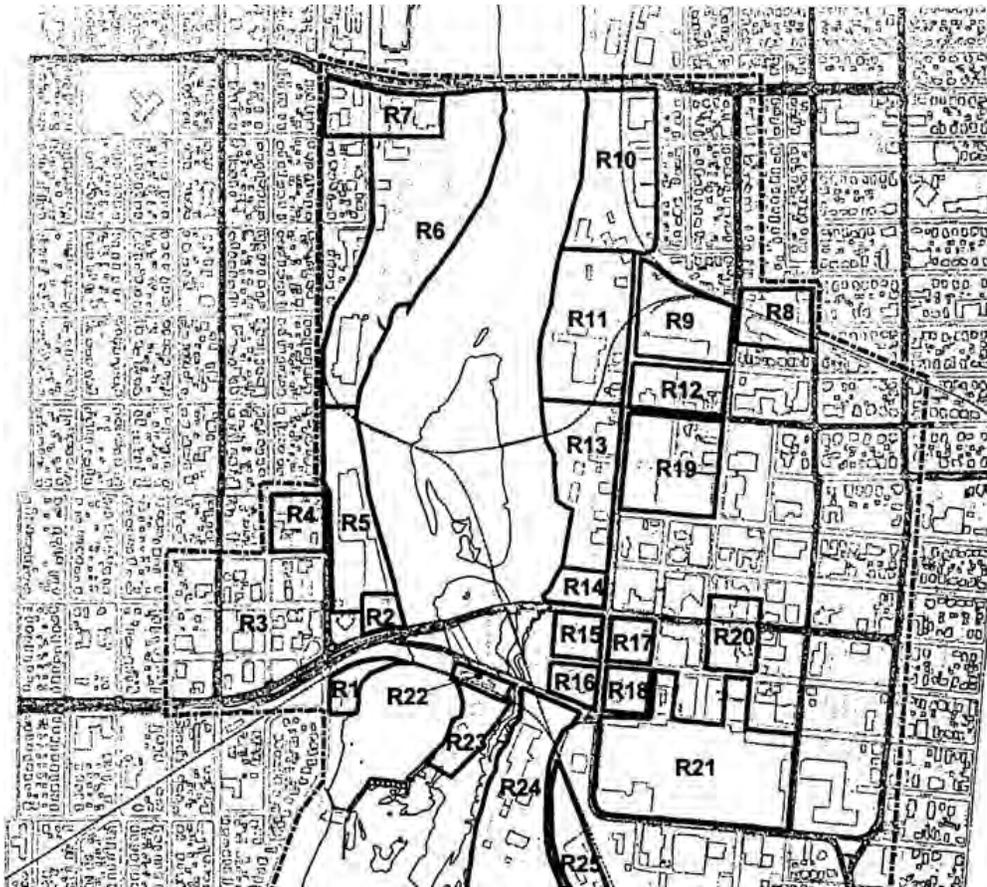


Figure 17. Wausau Central Business District Master Plan redevelopment districts

TRANSPORTATION RECOMMENDATIONS

The following recommendations identify transportation improvements for downtown Wausau. Important considerations for transportation improvements include improving access to the downtown for all travel modes, strengthening the downtown as a community and regional destination, and providing wayfinding improvements to direct residents and visitors to downtown destinations.

Street and Intersection Improvements

Sign and improve 3rd Street, 1st Avenue, McIndoe Street, Scott Street (one-way) and Washington Street as key entrance corridors to the downtown from the primary arterial street system.

Improve 1st Street north of McIndoe Street as a new riverfront drive to serve the East River Employment District. Rename 1st Street as River Drive to promote its new role as a primary riverfront access corridor.

Bicycle Facilities

Develop a riverfront bicycle transportation system in conjunction with riverfront parkway improvements recommended in the River Edge Master Plan. Identify on-street bicycle corridors to connect downtown with this primary north/south bicycle system.

Provide for on-street bicycle accommodations at all CBD bridge crossings (Bridge Street, Washington Street, Thomas Street) to provide connecting links for the riverfront bicycle loop system. Provide safe crossings at arterial streets for a riverfront bicycle system.

Provide separate bicycle lanes in the areas of high pedestrian use such as the riverfront zone along the kayak course.

STREETScape AND URBAN DESIGN RECOMMENDATIONS

The following recommendations identify comprehensive streetscape improvements for downtown Wausau.

Streetscape improvements should be extended north of McIndoe Street along the new River Drive north that will serve the proposed East River Employment District. An entrance feature to this business district should be located at the intersection of McIndoe Street and River Drive north (1st Street).

Waterfront plaza and open space north of Scott Street to serve the kayak course and new riverfront mixed use commercial and residential uses. Improvements should include docking facilities to enhance recreational boater access to the Wisconsin River.

Development of expanded open space and riverfront amenities (e.g. benches, overlooks, docking) along the river edge parkway to enhance recreational opportunities on the riverfront for trail users and adjoining neighborhood residents, businesses and commercial uses.

H. RIVER EDGE MASTER PLAN, JUNE, 1995

A Plan for Enhancing Public Use and Enjoyment of the Wisconsin River in the City of Wausau

Adopted by: River Edge Commission, on May 22, 1995

City Plan Commission, on May 25, 1995

Wausau Common Council, on June 13, 1995

This master plan identifies long and short-term strategies for improving public access to the Wisconsin River. This master plan provides a framework for protecting and enhancing the scenic beauty of the river corridor and outlines activities, programs and projects that improve the public's ability to enjoy this resource. The master plan addresses many management and use issues related to the Wisconsin River, with a focus on continuing development of a river edge parkway.

The Wausau River Edge Commission was created to prepare plans and make recommendations for use of the river corridor. In 1991 the Commission adopted the following mission and goals statements later adopted by the Common Council.

Mission Statement: It is the mission of the Wausau River Edge Commission to maximize the aesthetic and natural benefits of the Wisconsin River edge in the City through study, planning and cooperative programs with all public and private interests for recreation and other uses.

The following goals are articulated in the River Edge Master Plan regarding the river edge:

Goal #1: Enhance the public's ability to gain visual and physical access to the Wisconsin River.

Goal #2: Improve the scenic quality and ecological diversity of the river corridor.

Goal #3: Encourage land use practices which contribute to the natural and aesthetic values of the Wisconsin River.

Goal #4: Encourage a balance between active and passive recreational uses within the river edge area.

Goal #5: Segregate surface water uses that create user conflicts or pose excessive safety risks.

Goal #6: Establish Barker-Stewart Island and other island as nature conservancy areas with passive public uses if appropriate.

PHYSICAL CHARACTERISTICS

Brownfield Assessments, Environmental and Geotechnical Limitations, Existing and Proposed Infrastructure

CHAPTER INTRODUCTION

The parameters for future redevelopment of the East Riverfront District are determined by physical conditions impacting properties on these sites. This chapter describes a number of these physical conditions, including soil conditions determined through investigation into known and perceived brownfields in the planning area; environmental and geotechnical limitations created by groundwater conditions, floodplains, and local flora and fauna; and existing and proposed municipal utilities and infrastructure serving the planning area. Emphasis is placed on conditions affecting the four catalyst sites, labeled 1 through 4 in Figure 18.

BROWNFIELD INVENTORY OF THE EAST RIVERFRONT DISTRICT PLANNING AREA

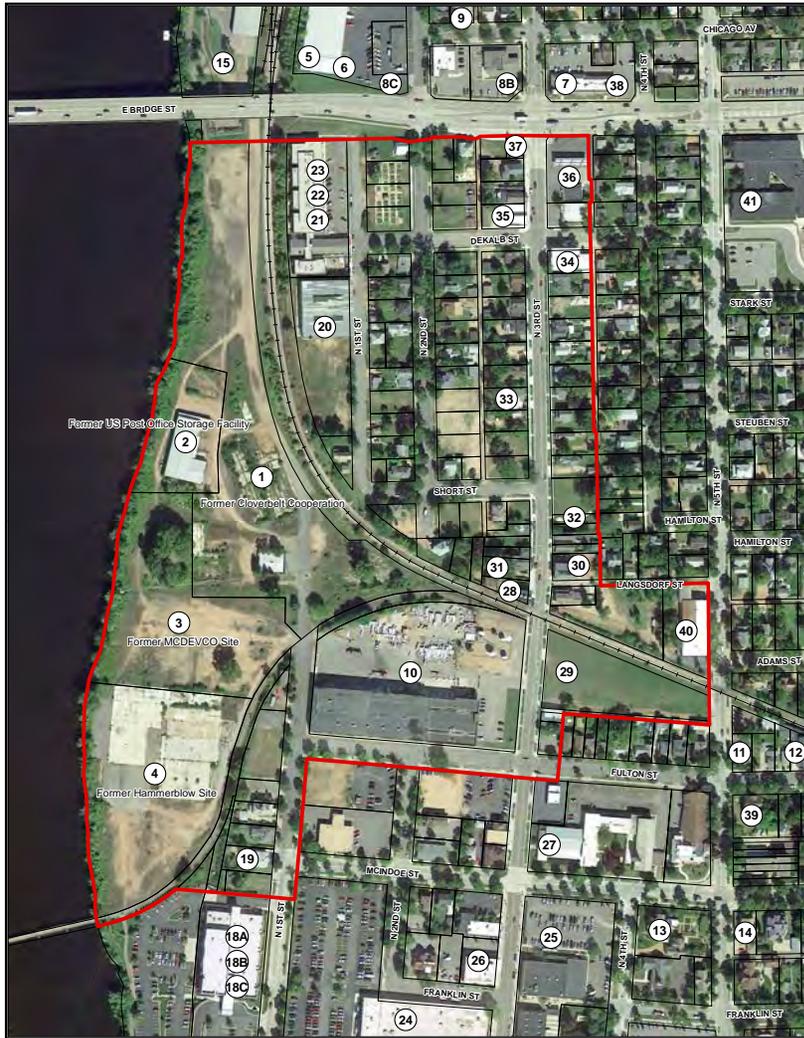
Inventory Methodology

In order to understand how soil contaminants could affect future redevelopment of the East Riverfront District, Stantec completed an inventory of known and potential brownfield parcels within the planning area.

To conduct this inventory, Stantec conducted an initial environmental database search, summarized in an April 2014 report to the City that presents a detailed listing of sites currently identified in federal, state, and other environmental databases. Examples include sites with registered underground storage tanks, sites with known spills or releases of hazardous substances or petroleum, sites that have been issued federal or state permits for discharge of wastewater to surface water, and sites that have been permitted as small or large quantity generators of hazardous waste. Being listed on one or more of these databases does not necessarily mean a site has contamination or is a brownfield, as use and storage of petroleum products or hazardous substances does not always result in releases to the environment. Some of the sites listed in these databases may be in productive use and are not in any respect in need of redevelopment. However, since some of the databases specifically catalogue sites with documented contamination, inclusion on multiple databases indicates increased potential for contamination, even if the presence of contamination has not yet been confirmed.

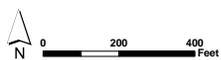
Other data sources used to develop the inventory include:

- Historic Sanborn® fire insurance maps,
- Wisconsin Department of Natural Resources (WDNR) files for specific sites
- Other available environmental reports and interviews with City and WDNR staff



Brownfield Sites in the Planning Area

East Riverfront District, Wausau, WI



January 13, 2014



V:\1938\active\193802508\GIS\Projects\Brownfields1.mxd

Figure 18. Planning Area Brownfields

Following the database search, Stantec conducted a “windshield survey” of the entire East Riverfront District planning area to pinpoint specific areas of concern and identify additional properties with visual signs of blight or conditions indicative of possible environmental concerns.

Using the data sources listed above, the four catalyst sites and 45 additional potential brownfield sites were identified in the East Riverfront District. The sites are depicted by parcel in Figure 18. Findings from the inventory relative to each brownfield site is presented in the table in Figure 19.

The remainder of this plan focuses on the planning area’s four Catalyst Sites, labeled 1 through 4 in Figure 18 at left. Detailed investigation of the Catalyst Sites was conducted to gather information beyond that available in the database search. A similar evaluation may be conducted in the future for the remaining brownfield sites identified in the East Riverfront District.

Figure 19. Summary of Brownfield Site Investigations

Site	Location	Primary Facility	Fuel Stor	Auto Repair	Reg Petro	Reg Industry	Industrial	Commercial
1	1202 1st St N	Former Cloverbelt Cooperative	X		X	X	X	X
2	1212 1st St N	Wausau Lumber Co Sawmill					X	
3	1010 1st St N	Marathon Printing Property				X		
3A	1008 1st St N	Jansen Property				X		
4	920 1st St N	Ford Auto Assemb & Repair		X			X	
4	1000 1st St N	Hammerblow Corp Site			X	X		
5	100 Bridge St E	Goodwillie Bros Box Factory					X	
6	105 Central Bridge St	Unnamed			X	X		
7	300 Bridge St E	Filing Station		X				
8A	Bridge & 4th St N	Unnamed Closed Facility			X			
8B	Bridge & 3rd St N	Unnamed			X			
8C	Bridge St & 2nd St N	Unnamed			X			
9	203 Chicago Ave	Unnamed			X			
10	102 Fulton St	DJ Murray Manufacturing Co					X	
11	502 Fulton St	Unnamed		X				
12	512 Fulton St	Unnamed		X				
13	403 McIndoe St	Yawkey Hse Mus - Marath				X		
14	501 McIndoe St	Unnamed			X			
15	1701 River Dr N	City Water Works					X	
16	500 1st St N	Lot#1 McDevco Site				X		
17	606 1st St N	Motor Service (Former)				X		
18A	800 1st St N	Cheese & Dairy Warehouse						X
18B	800-810 1st St N	Sieg Auto Parts (Former)			X	X		
18C	802-814 1st St N	Wausau Ice & Fuel Co.	X		X			
19	818 1st St N	Unnamed			X			
20	1418 1st St N	Badger Bag & Repair Co.				X	X	

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Site	Location	Primary Facility	Fuel Stor	Auto Repair	Reg Petro	Reg Industry	Industrial	Commercial
21	1500 1st St N	Wausau Electric Co.		X			X	
22	1502 1st St N	Zastrow Property (Former)			X	X		
23	1506 1st St N	Unnamed			X			
24	700 3rd St N	D Automotive Parts					X	
25	707 3rd St N	YMCA			X			
26	808 3rd St N	Clinic						X
27	903 3rd St N	Unnamed			X			
28	1002 3rd St N	Unnamed			X			
29	1009-1011 3rd St N	Marathon Millwork Bldg			X	X	X	
30	1203 3rd St N	Restaurant						X
31	1206 3rd St N	Restaurant						X
32	1213 3rd St N	Bottling Co.					X	
33	1314 3rd St N	Rug Cleaners				X		X
34	1407 3rd St N	General Store			X			X
35	1502 3rd St N	North Side Bottling Works					X	
36	1511 3rd St N	Riiser Oil 3rd St		X	X	X		
37	1514 3rd St N	Filing Station		X	X			
38	1601 3rd St N	Unnamed			X			
39	915 5th St N	Unnamed			X			
40	1106 5th St N	Werheims Sash Dr & Bld Fac					X	

Site	Location	Primary Facility	Fuel Stor	Auto Repair	Reg Petro	Reg Industry	Industrial	Commercial
41	1509 5th St N	Unnamed			X			
42	1006 6th St N	Camelot Cleaner (Former)				X		
43	1203 6th St N	Stueber Dairy Peoples State Bank			X			
44	1314 6th St N	MS Solutions			X			

Fuel Stor - Oil Storage, Coal Storage
Auto Repair - Filling Station, EDR US Hist Auto, Auto Repair
Reg Petro (Regulated Petroleum Site) - AST, UST, LUST, LUST Hist
Reg Industry (Regulated Industrial Site) - RCRA CESQG, USEPA BrnFd, WI ERP List, AUL
Industrial - Factory, Manf Co., Auto Part Manf, Machine Shop, Storage Yard, Lumber Yard, Sawmill, Public Utility, Tool Company
Commercial - Ice House, Cleaners, Cheese & Dairy, General Store, Restaurant, Clinic

UST - Underground Storage Tank
LUST - Leaking Underground Storage Tank
WI ERP - Wisconsin Emergency Repair Program
AUL - Deed Restriction on Property
Unnamed - Location name not identified in EDR database
BRRTS - Bureau for Reclamation and Redevelopment Tracking System
ERP - Environmental Repair Project

LUST - Leaking UST
LUST, Hist - Historical LUST
RCRA CESQG - Conditionally Exempt Small Quantity Generator
BrnFd - Brownfield

CATALYST SITES

Catalyst Sites are high priority parcels meeting the U.S. EPA eligibility requirements and the definition of a "brownfield site" per CERCLA § 101(39). These have the greatest potential to spur future redevelopment in the East Riverfront District of any of the brownfields investigated. The four sites identified in this plan were selected because they are contiguous blighted properties that extend approximately one-half mile along the east bank of the Wisconsin River. The Catalyst Sites were purchased by the City for purposes of redevelopment and remedial action is underway to address contaminants and prepare these parcels for redevelopment. Furthermore, the City is investing in public amenities on these sites to attract redevelopment including construction of a bicycle/pedestrian trail and public wharf adjacent to the Wisconsin River, "daylighting" a buried storm-sewer culvert and restoring a stream, and extending 1st Street north along the site's eastern boundary.

Figure 20 (enlarged in Appendix B) depicts current soil contamination conditions of each Catalyst Site. A more detailed description of the history and contamination levels at each Catalyst Site is outlined below.

Former Cloverbelt Cooperative - Catalyst Site #1

Site History

The 7-acre property was developed in the late 1800s and first used for lumber storage due to its location adjacent to the Wisconsin River. In the mid-1900s the property was used as a cooperative by the former Cloverbelt Cooperative Services and Tomorrow Valley Cooperative Services for bulk storage of petroleum, coal and other goods. The site has a current address of 1202 North 1st Street.

Petroleum release Investigation and Remediation

Between 1992 and 2008, site investigation and remediation of a petroleum release associated with historic petroleum storage and dispensing at the site was completed (WDNR Bureau of Remediation and Redevelopment Tracking System [BRRTS] case #02-37-531691). The site investigation work indicated residual soil impacts were located in a former above ground storage tank (AST) area in the southern portion of the property. Petroleum impacted groundwater extended across a large portion of the southern half of the site and adjacent Vacant Lot/ former D.J. Murray Manufacturing Company site. Correlating to soil quality, the greatest residual groundwater impacts were located in and around the former AST area.

All known petroleum storage tanks, dispensers, and associated piping were previously removed or properly abandoned. In 2004, 643 tons of petroleum-contaminated soil was excavated from the area east of the AST area and transported off-site for landfill disposal. After completing the investigation and remediation, the Wisconsin Department of Commerce (now the Wisconsin Department of Safety and Human Services) closed the site in 2009 and required no additional investigation or remediation. Floor slabs and foundation walls of select former buildings remained at the site to serve as a temporary cap to prevent direct human contact with residual petroleum impacts. Groundwater supply wells were also restricted.

Metals Release Investigation and Remediation

In 1998, a site assessment outside of the previously identified petroleum source area was conducted (WDNR BRRTS #02-37-531691). Arsenic and lead were detected in soil at concentrations greater than ch. NR 720 Wisconsin Administrative Code (WAC) industrial direct contact or soil to groundwater residual contaminant levels (RCLs). In 2010, a soil cap was placed over the soil containing elevated arsenic and lead concentrations. In 2011, a site closure request for the residual arsenic and lead contaminated soil was granted by the WDNR, with the condition that the soil cap over the arsenic and lead contaminated soil be maintained.

Site Fill Materials

The entire property contains approximately six to eight feet of fill materials of varying consistency and quality. The fill unit includes fine to medium sand with cinders, ash, gravel, brick fragments potentially attributable to adjacent foundry and other industrial activities. The fill generally contains select polynuclear aromatic hydrocarbons (PAHs) and metals at concentrations above ch. NR 720 WAC industrial direct contact or soil to groundwater RCLs. The fill is underlain by wood and/or wetland deposits (e.g. peat) that are underlain by sand and gravel.

City of Wausau Due Care and Redevelopment Activities

The City acquired the site in June 2011 for the purpose of blight elimination and redevelopment. As planned future site use is non-industrial, the City reevaluated known site conditions with respect to non-industrial standards following the purchase. Additional investigation, remedial planning and remedial activities were performed in 2013 and 2014 per WDNR-approved Site Investigation (SI), Remedial Action Option Report (RAOR) and Remedial Action Plan (RAP) documentation (see references below). The work was

funded by a US EPA Brownfields Cleanup grant. Concrete foundation removal and contaminated soil management associated with the installation of new sewer and water utilities were completed in the southern portion of the site in fall of 2013. Contaminated soil management related to stream daylighting, storm sewer installation and bridge construction were performed in fall 2014. Soil was managed in designated management areas per the WDNR approved RAP. A bridge was constructed over the newly-restored stream and waterfall/water circulation electrical and piping components were installed. Storm sewer outfall modifications were also completed.

Stream restoration/storm sewer daylighting and final grading were completed in October 2014. The work included installation of a geotextile liner in the stream. The southern portion of the site was then capped with 18 inches of clean soil and topsoil. The geotextile liner and soil cap were placed to minimize the potential for direct contact with petroleum and widespread sporadic polycyclic aromatic hydrocarbons and metals impacts to soil. Site seeding was completed in November 2014. Maintenance of erosion control features is on-going. Additional remedial activities are required for the riverbank and extension of North 1st Street in the northern portions of the Site and are planned for completion in 2015. These activities will minimize the potential for off-site migration of residual contaminants to the Wisconsin River and protect of the public while preparing the site for non-industrial reuse. All work is being completed with on-going communications with the WDNR. Site access is restricted.

Site environmental information to date is further summarized in the following reports on file at the WDNR:

Stantec, 2013, Remedial Action Plan, Stream Restoration and Cover System Construction, Riverfront Redevelopment Area, Wausau, Wisconsin.

Stantec, 2015, Remedial Action Options Report Addendum, Riverbank and Bimodal Trail Area, Former Cloverbelt Cooperative Services Property, 1202 North 1st Street, Wausau, Wisconsin

Former US Post Office Storage Facility - Catalyst Site #2

Site History

The 1.5-acre site has a history of industrial and commercial uses that included lumber storage and production during the late 1800s through late 1920s. Subsequently, the site appears to have been a largely vacant storage area associated with larger multi-parcel industrial facilities. The existing 13,500 square foot, single-story, commercial building was constructed in 1978 and appears to have been owned and used by Cloverbelt Cooperative Services for warehousing and office space until approximately 1985. The building was remodeled in 1985 and used by Federal Express (a parcel delivery business) until approximately 1990. The site was idle and unoccupied for approximately two years, until leased and occupied by the United States Postal Service from 1992 to 2000 for use as a supplemental mail sorting facility. Since 2000, the site has remained vacant. However, hazardous substance contamination identified by the City following property acquisition (see below) likely dates from the early 1900s when the site was used for lumber production and storage and/or when contaminated fill was placed at the property. The site has a current address of 1212 North 1st Street.

City of Wausau Due Care and Redevelopment Activities

The City acquired the Former US Post Office Storage Facility site in June 2011. A supplemental assessment was performed during 2013 and 2014 to evaluate required actions for non-industrial reuse. No specific release/spill was identified. In addition, no significant concentrations of analyzed constituents were detected in sub slab vapor samples collected beneath the existing building and site groundwater samples. However, the entire property appears to contain approximately six to eight feet of fill materials of varying consistency and quality. The fill includes fine to medium sand with cinders, ash, gravel, brick fragments potentially attributable to adjacent foundry and other industrial activities. The fill generally contains select PAHs at concentrations above State non-industrial RCLs. The fill is underlain by wood and wetland deposits (e.g. peat) that are underlain by sand and gravel. Specific environmental concerns for the site include contact with contaminated soils, which represent a direct contact exposure risk as well as a potential source of contamination for stormwater runoff entering the Wisconsin River. As such, special handling of soil and precautions (e.g. site capping) will be required as part of redevelopment. A Remedial Action Plan is currently being developed for the site. The site is currently listed as WDNR BRRTS No. 02-37-563359.

Site environmental information to date is further summarized in the following report on file at the WDNR:

Stantec, 2015, Remedial Action Options Report, Riverbank and Bimodal Trail Area, Former US Post Office Storage facility, 1212 North 1st Street, Wausau, Wisconsin

Vacant Lot/ Former D.J. Murray Manufacturing Company - Catalyst Site #3

Site History

Prior site use included lumber production from the late 1800s into the 1930s. A manufacturing company and/or scrap iron yard (D.J. Murray Manufacturing Company) occupied the entire property from the 1930s until at least the late 1960s. The property appears to have been used primarily for storage for the adjacent foundry. From the 1970s through the 1980s, the property was vacant and was used during portions of this time for parking automobiles and storage. No buildings have been present since approximately 1980 with the exception of a storage/manufacturing building on the south property line that was removed during 2010. A navigable stream formerly extended east-west across a portion of the site and discharged to the Wisconsin River. During historic development of the site and adjoining parcels, the stream was converted to an enclosed storm sewer consisting of an eight-foot wide three-sided concrete box culvert extending approximately eight feet below the existing grade. The floor of the culvert was reportedly unlined. A railroad spur extended east-west across the entire property beginning in the late 1800s and remained buried at the site. The site was vacant with grassy, gravel mixed areas, and lightly forested areas. The site has a current address of 1202 North 1st Street.

City of Wausau Due Care and Redevelopment Activities

The City of Wausau acquired the site in August 2013. As part of due diligence for property transfer and due care, Phase I and II environmental site assessments and supplemental site investigations were conducted at the property during 2012 and 2013. Based on the results of the assessments, which included evaluation of requirements for non-industrial use, soil and groundwater were found to be contaminated with tetrachloroethene (PCE), lead and polynuclear aromatic hydrocarbons (PAHs) at concentrations requiring remedial action. The site was entered into the Wisconsin Department of Natural Resources (WDNR) Bureau of Remediation and Redevelopment Tracking System (BRRTS) and assigned No. 02-37-560480.

Similar to adjacent properties, the entire site appears to contain approximately six to eight feet of fill materials of varying consistency and quality. The fill unit includes fine to medium sand with cinders, ash, gravel, brick fragments potentially attributable to adjacent foundry and other industrial activities. The fill generally contains select PAHs and metals at concentrations above State non-industrial standards. The fill is underlain by wood and wetland deposits (e.g. peat) that are underlain by sand and gravel. The PCE contamination was limited to an apparent surface spill in the west-central portion of the site.

Approximately 1000 tons of tetrachloroethene (PCE)-impacted soil were excavated and removed in September 2014 for disposal as a special waste to provide source control. Stream restoration/storm sewer daylighting and final grading were completed in October 2014 coincident with work on the Former Cloverbelt Cooperative Services site. The work included installation of a geotextile liner in the stream. The entire site was then capped with 18 inches of clean soil and topsoil. The geotextile liner and soil cap were placed to minimize the potential for direct contact with petroleum and widespread sporadic PAHs and metals impacts to soil. Site seeding was completed in November 2014. Maintenance of erosion control features is on-going. The work was funded, in part by a WDNR Ready for Reuse Grant. Additional remedial activities are required for the riverbank and wharf construction adjacent to the Wisconsin River and are planned for completion in 2015. These activities will minimize the potential for off-site migration of residual contaminants to the Wisconsin River and protect of the public while preparing the Site for non-industrial use. All work is being completed with on-going communications with the WDNR. Site access is restricted.

Site environmental information to date is further summarized in the following reports on file at the WDNR:

Stantec, 2013, Remedial Action Plan, Stream Restoration and Cover System Construction, Riverfront Redevelopment Area, Wausau, Wisconsin.

Stantec, 2013, Site Investigation, Remedial Action Options Analysis and Remedial Action Plan Addendum, 1010 North 1st Street Property, Wausau, Wisconsin.

Stantec, 2015, Remedial Action Options Report Addendum, Riverbank and Bimodal Trail Area, Vacant Lot Property; 1010 North 1st Street, Wausau, Wisconsin.

Former Hammer Blow Site - Catalyst Site #4

Site History

The 4-acre property was developed in the late 1800s and first used for lumber storage by the Wausau Lumber Company due to its location adjacent to the Wisconsin River. By 1923, the property was occupied by Danielson Tool Company and Ford Auto Assembly and Repairing. The businesses were replaced by the Hammerblow Tool Company in the 1930s and its successor, Cequent Trailer Products, and utilized to manufacture trailer jacks. Hazardous substances utilized at the site included machine lubricants, hydraulic oils, parts cleaner, paint and xylene.

The property was investigated, remediated to industrial standards and closed utilizing the WDNR Remediation and Redevelopment GIS Registry of Closed Remediation Sites, which indicates soil and groundwater hazardous substances and petroleum impacts remain at concentrations above applicable groundwater and industrial soil standards and that cap maintenance is required as a condition of closure. The site is assigned WDNR BRRS# 02-37-000608. Chlorinated solvents primarily as trichloroethene (TCE) and PAHs associated with foundry sand materials were the dominant known contaminants at the site. However, historic fill consisting of foundry sand, wood fill, slag, glass and metal debris is also present throughout the site. The property has remained vacant since 2005. All buildings are razed. Floor slabs and foundation walls of the former buildings were retained to serve as an interim "makeshift" cap preventing direct contact with underlying contaminated soil and minimizing surface water infiltration.

City of Wausau Due Care and Redevelopment Activities

The City acquired the property in June 2011. As planned future use is non-industrial, the City reevaluated known site conditions with respect to non-industrial standards following the purchase. Additional investigation, remedial planning and remedial activities were performed in 2014 (see references below). Two significant release areas ("hot spots") are apparent; a localized area in the northwest quadrant of the property, and second more widespread TCE release area in the southeast quadrant of the property. Groundwater is also contaminated at these locations. Release to unsaturated soil appears

to extend off-site to the southeast. A third TCE release area with much lower detected concentrations is present in the north-central portion of the site. Approximately 10 to 17 feet of heterogeneous fill consisting of silt, sand, and gravel fill is present across the site. The fill contains brick fragments, wood, possible slag, ash and/or foundry sand in sporadic locations. Select PAHs and metals were detected at concentrations above respective non-industrial standards. As with the other Catalyst Sites, contamination appears to be ubiquitous across the site. The detections appear to be related to past foundry and other industrial operations in the area. TCE, vinyl chloride and 2, butanone were detected at concentrations above target sub-slab vapor values in the samples from a vapor probe in the north-central slab area.

Approximately two acres of concrete building foundations, asphalt pavement, and old storm and sanitary sewers were removed in September 2014. The majority of the site was capped in October 2014 with 18 inches of clean soil and topsoil to minimize the potential for direct contact with widespread sporadic impacts to soil. Maintenance of erosion control features is on-going.

Greater than 90 percent of the site is currently capped, minimizing the potential for direct contact with site contaminants in those areas. Additional remediation is planned in two solvent "hot spot" areas and the river bank during spring 2015. These activities will minimize the potential for off-site migration of residual contaminants to the Wisconsin River and protect of the public while preparing the Site for non-industrial use. All work is being completed with on-going communications with the WDNR. Site access is restricted.

Site environmental information to date is further summarized in the following reports on file at the WDNR:

- Stantec, 2014, Site Investigation, Remedial Action Options Analysis and Remedial Action Plan, 920-1000 North 1st Street Property, Riverfront Redevelopment Area, Wausau, Wisconsin.
- Stantec, 2015, Remedial Action Options Report Addendum, Riverbank and Bimodal Trail Area, Former Hammerblow Corporation Property; 920-1000 North 1st Street, Wausau, Wisconsin

ENVIRONMENTAL AND GEOTECHNICAL LIMITATIONS

Soil, Soil Vapor, and Groundwater

As described in the previous section, the City is performing remedial activities to address contaminant “hot spot” source areas, cap residual site contamination, and remove old building foundations to prepare the catalyst sites for redevelopment. Furthermore, the City is investing in public amenities on these sites to attract redevelopment, including construction of a bicycle/pedestrian trail and public wharf adjacent to the Wisconsin River, “daylighting” a buried storm-sewer culvert and restoring a stream, and extending 1st Street north along the site’s eastern boundary. When complete, residual contamination will remain.

Each property will be listed on the WDNR GIS Registry of Closed Remediation Sites indicating that residual soil and groundwater contamination is present at concentrations greater than applicable ch. NR 720 Wisconsin Administrative Code (WAC) non-industrial direct contact residual contaminant levels (RCLs), ch. NR 720 WAC soil to groundwater RCLs and/or ch. NR 140 WAC groundwater enforcement standards or preventive action limits. As such, proper precautions must be taken related to special handling of soil and fluids during invasive activities as well as potential vapor migration. Groundwater supply wells will also be restricted. Closure requirements will include on-going cap inspection and maintenance per a WDNR-approved Cap Maintenance Plan.

Any new structures built for human habitation will be required by the City to have a contaminant vapor barrier and sub-slab venting as a precautionary measure. Additionally, the WDNR has restricted construction of buildings in the petroleum release area on the former Cloverbelt Cooperative Services site. Any modifications to the site cap will require a Cap Modification Plan and revised Cap Maintenance Plan approved by the WDNR. As a precautionary measure, new utility installation should include placement of low permeability “plugs” to minimize the potential for future migration of contaminants in relatively permeable backfill materials.

Endangered Species

Based on a WDNR Endangered Resource Review completed in 2015(ER Log # 15-190), any construction activity on the catalyst sites would require actions to protect two species, the Black Redhorse fish and the Wood turtle. To protect the Black Redhorse fish (*Moxostoma duquesnei*), proper installation and maintenance of erosion control measures throughout the construction period must prevent sediment impacts to the Wisconsin River. To protect the Wood Turtle (*Glyptemys insculpta*), exclusion fencing is required at certain times of year.

Floodplain and Wetlands

The 100-year floodplain is depicted on Figure 30. On-site management of solid waste and contaminated soil is prohibited in the 100 year floodplain. Other contaminated soil management restrictions near water bodies requiring an exemption are provided in ch. NR 718 WAC. No wetlands were identified as part of previous permit reviews for the property.

Cultural Resources

Stantec conducted a review of the Wisconsin Historic Preservation Database (WHPD) in 2014 for listed historic structures, properties, archaeological sites and archaeological survey reports within the immediate vicinity of the East Riverfront District. The results indicate no historic structures and no archaeological sites located within the planning area. Within the immediate vicinity of the planning area, the search revealed two historic records. The first historic record is the Chicago and Northwestern Railroad Bridge located immediately west of the catalyst sites. The record indicates the bridge was surveyed in 1983 and determined not eligible for inclusion on the National Register of Historic Places (NRHP). Today, the bridge is part of the City recreation trail that spans the Wisconsin River. The other historic record is the Douglas Sauerhering House located approximately 60 feet east of the catalyst sites at 908 North 1st Street on the opposite side of the City recreation trail. The house was surveyed in 1983 and determined to be historically significant. This house is potentially eligible for inclusion to the NRHP.

The WHPD review identified a Phase 1 Archaeological Field Reconnaissance Survey conducted within a portion of the catalyst sites along the Wisconsin River shoreline in 1991. The survey recorded no historic or archaeological findings on these sites.

Geotechnical Limitations

An area-wide geotechnical investigation was performed in 2014 (see report reference below). The general subsurface stratigraphy and soil layer thicknesses encountered on the catalyst sites may be described in descending order as follows:

- 0.5 to 13 feet of Fill or Possible Fill consisting of Fine to Medium Sand with cinders, brick and wood fragments, and miscellaneous debris.
- 5 to 6 feet of native wetland deposits (i.e. peat) and/or very soft to medium stiff Sandy Lean Clay (localized areas only).
- 3.5 to 108.5 feet of loose to dense Poorly Graded Sand with Gravel

Bedrock was not encountered before reaching the planned depths for all borings. Groundwater was observed depths ranging from 7.6 feet below ground surface in the western portion of the site adjacent to the Wisconsin River to 15 feet below ground surface in the eastern portion of the catalyst sites. Further, based on review of environmental site investigation data for the catalyst sites and adjacent properties, groundwater flow is to the east-southeast and is influenced by the dam located to south of the catalyst sites. Given the relatively high permeability of subsurface materials present, construction of underground parking or basements below the water table depth may be precluded.

Due to the heterogeneity and general low quality of fill present across the catalyst sites, a minimum embedment depth of 70 inches below finished grade was used to calculate a recommended net allowable bearing capacity for a shallow foundation. A preliminary allowable bearing capacity of 4400 pounds per cubic foot (pcf) was calculated for design of shallow foundations with a width of 3 feet. Increasing the footing width will also increase the total settlement; therefore design of the foundations should include an evaluation of the settlement. Geo-piers may also be utilized. For larger structures, a closed-end steel pipe pile filled with concrete was modeled using two different outer diameter (O.D.) sizes, 10 and 12 inches. Minimum depth of pile embedment was calculated for 40 and 60 ton net allowable axial capacities. An embedment depth of 48 to 60 feet is recommended based on the above findings.

Site geotechnical information is further summarized in the following report:

Stantec, 2014, Preliminary Geotechnical Exploration, Wausau Riverfront Development

EXISTING AND PROPOSED INFRASTRUCTURE

Because the East Riverfront District was previously developed, the area is served by existing public and private infrastructure, including roadways and both wet and dry utilities. The City of Wausau has recently completed several public infrastructure projects, including daylighting the stream channel and constructing a new First Street bridge over the daylighted stream. Additional public infrastructure improvement projects currently under design or construction include:

- An extension of First Street to the north to connect with the existing roadway under East Bridge Street
- Trunk utility extensions for sanitary sewer, storm sewer, and water main along First Street
- Public parking along portions of the extended First Street
- Public/shared parking to serve redevelopment parcels north of the daylighted stream
- Storm water quality management facilities
- A trail connection along the Wisconsin River for the entire length of the development area, including a pedestrian bridge over the daylighted stream
- Trail connections along the daylighted stream
- A recirculating water feature with a waterfall on the new bridge
- A boardwalk and boat slips adjacent to the former postal facility
- Riverfront stabilization and landscape plantings

The existing and proposed infrastructure improvements are shown on the INFRA 1, INFRA 2, and INFRA 3 figures included in Appendix C. These documents depict the catalyst sites as they are anticipated to be offered by the City for redevelopment. This includes a north, south and central parcel. Development of the parcels will take place in phases. It is anticipated that construction of infrastructure improvements will be completed in 2015 and 2016.

Sanitary Sewer

The overall sanitary sewer system has adequate capacity to accommodate redevelopment. Sanitary sewer has been extended north with laterals established to serve proposed building developments in the North development area. Sanitary sewer will be extended into the South development area via an existing sanitary sewer in First Street.

Water Main

The overall water system has adequate capacity and pressure to accommodate redevelopment of the catalyst sites. Water main has been extended from East Bridge Street to the water main in North 1st Street in order to provide a “loop” of redundancy in the water system. This loop strengthens the water system in this area and provides a higher level of flexibility in serving the site. Water laterals have been extended to serve the potential building sites in the North development area. Water main will be extended into the South development area in the future as development plans become more concrete.

Storm Sewer & Storm Water Management

The City has replaced an old poorly conditioned box culvert with an open channel in approximately the same location. This open channel has now created the North and South development areas.

The site will be subject to the post-construction stormwater requirements of the City of Wausau Stormwater Ordinance and NR 151. As a redevelopment site, the target design criterion for water quality is the removal of 40% of particulate solids (TSS) from street and parking areas based on the average annual rainfall. The site is exempt from the water quantity requirements as a redevelopment site according to NR 151.123(2)(b). The site is exempt from infiltration requirements as a redevelopment site according to NR 151.124(3)(b)3.

Stantec used WinSLAMM version 10.1.1 to model the effect of the proposed practices on water quality. Two models were created to correspond with the phased development. The North Development includes the reconstruction and expansion of 1st Street with adjacent parking and the brownfield redevelopment north of the newly constructed drainage way. The South Development includes the brownfield redevelopment south of the newly constructed drainage way.

The post-construction stormwater requirements for the catalyst sites can be achieved using a combination of devices. The installation of catch basins is a requirement for the City of Wausau and they have the equipment to clean them. Both the North and South development areas will require biofiltration devices such as rain gardens or bio swales. The City has several biofiltration devices and is familiar with the maintenance activities required for these devices. Given the site conditions, these devices are excellent choices to meet the post-construction stormwater quality requirements for both the City of Wausau Stormwater Ordinance and NR 151.

COMMUNITY CONDITIONS

Market Analysis, Developer Feedback, and Community Input

CHAPTER INTRODUCTION

Chapter 3 discussed physical conditions that impact the redevelopment of the East Riverfront District. However, redevelopment decisions are not based solely on a site's physical features. This chapter introduces community conditions that shape the potential for redevelopment in the planning area. The chapter summarizes an earlier market analysis of the district, which assesses the potential for residential, retail and office sectors in this area and estimates the total potential build-out of each. Interviews with local developers augment these findings and provide insight from those most likely to invest in the East Riverfront District regarding the opportunities and potential barriers to redevelopment perceived among this group. Finally, this chapter includes a summary of community input received during the planning process which articulates community aspirations for the district and desired outcomes of redevelopment.

MARKET ANALYSIS

The following market analysis was undertaken to inform redevelopment goals for the East Riverfront District with a clear understanding of the market potential for different land uses in Wausau. Understanding the market potential to develop or redevelop properties in the East Riverfront District will assist the City of Wausau in anticipate growth, target specific development opportunities, and create a foundation for partnerships in the ongoing revitalization process. The following is a summary of major findings; a full report was submitted to the City in January 2014.

SITE ANALYSIS

The location of the East Riverfront District is well positioned for redevelopment. In terms of the site itself, its location along the Wisconsin River introduces a significant amenity that will be attractive to most types of housing, many office users, and certain types of retailers. Also, a significant portion of the planning area is clear of any uses that could negatively impact new development. Furthermore, the primary redevelopment areas encompasses over 53 acres, which is large enough to accommodate a mixture of uses that could complement one another, create a critical mass that would contribute to a "sense of place", and be phased in a manner to positively react to changes in market demand.

Regarding surrounding uses, the East Riverfront District is within walking distance of downtown Wausau, which contains a vibrant mix of offices,

shopping, dining, and entertainment that would be attractive to most types of new development. Furthermore, downtown Wausau has been expanding in the direction of the East Riverfront District for many years. Therefore, as long as the district is well connected to the downtown via trails, roads, and sidewalks this will only enhance the ability of the district to accommodate future downtown expansion.

Because the East Riverfront District is adjacent to downtown Wausau, it enjoys excellent access to the broader Wausau region by being centrally located and proximate to the region's major highways and arterial roadways. Local access, however, is a positive for some types of uses, but can also be a negative for others. Because there is no throughway to points north and east of the East Riverfront District, it behaves somewhat like a dead end from a traveler's perspective. This is a positive for those seeking housing because residents will get the value of being proximate to the downtown but will not have the hassles associated with downtown traffic issues. For certain types of commercial uses, though, particularly retailers dependent on capturing passersby along heavily trafficked roadways, the lack of a throughway is a major detriment.

SOCIO-ECONOMIC ANALYSIS

A variety of regional and local demographic and economic data were analyzed to understand the drivers of demand for the potential uses in the East Riverfront District. Key findings regarding socio-economic conditions and trends are as follows:

- Marathon County is forecasted to add over 11,000 new households through 2030, which is approximately 550 per year. At this level of growth in the Wausau region will fuel demand for all types of housing, including those that would be appropriate in a downtown or urban setting such as the East Riverfront District.
- Age groups that have the highest propensity to live in multifamily housing (i.e., those age 35 and under and those age 55 and older) are forecasted to have some of the strongest population growth rates over the next 10 years.
- Homeownership rates, after years of increases, are beginning to fall because of more stringent home mortgage standards and declining home values. This dynamic is beginning to increase demand for rental housing, especially in locations with substantial neighborhood amenity.

- Household types are continuing a decades long shift to more non-traditional family households, such as couples without children and single-parent families.
- Household size is decreasing.

HOUSING MARKET

Data was collected on the current and forecasted condition of the market for multifamily housing, including condominiums, market rate rental, and senior housing. This included an examination of pricing trends, profile of competitive properties, and interviews with local real estate professionals. The following were key findings of the analysis for each potential use:

Condominiums

- The for-sale market is finally starting to rebound after the housing bust, but remains tentative as the median sales price still remains below the market peak from 2007.
- Currently, there is very little supply of condominiums in the market as there are fewer than 12 units listed through the MLS. In particular, downtown condominiums do not turnover.
- The location of the East Riverfront District would be very attractive to condominium buyers because it would be within walking distance of downtown and allow for potential views of the river and Rib Mountain.
- Recent downtown condominium development is not indicative of the broader market because it is at a very high price point for Wausau (\$350,000-\$650,000). Middle-market pricing would be the sweet spot for any new condominium development (\$150,000-\$175,000 per unit).

Rental

- Nationally, the rental market is surging due to strong demographics and lingering concerns over the for-sale market
- Most new market rate product in the Wausau area is in suburban locations, especially along the Highway 29 corridor west of Highway 51.
- Top rents in the market are \$759 for 1BR and \$889 for 2BR.
- Downtown rental product consists mostly of affordable units restricted to households with low- and moderate-incomes.

- Multiple real estate professionals noted that they regularly contacted about the availability of new, upscale downtown market rate buildings, though there are none.
- For comparison purposes, the City of Eau Claire has absorbed one new market rate apartment building each year since 2009 in their riverfront redevelopment district adjacent to downtown.

Senior

- The demographics for senior housing over the next 15-20 years will be very strong as the baby boom generation is just now beginning to enter their early retirement years.
- New rental senior product in the Wausau area has absorbed rapidly as of late.
- Senior condos and cooperatives have been slower to absorb because of the bust in the broader for-sale market, which is causing younger seniors to delay the selling of their current homes.
- There are very few senior housing campuses with a continuum of care in the Wausau market, yet these types of senior housing facilities often have the strongest market demand.

Conclusions

The market conditions to support new multifamily development in the East Riverfront District are strong and are based on the following:

1. The East Riverfront District is a highly desirable location for housing because it is within walking distance of the downtown, has potential for river and Rib Mountain views, will be adjacent to trails and open space, and is removed from the traffic issues associated with the downtown
2. The rate of household growth in the Wausau region is forecasted to increase, which will increase the demand for all types of housing
3. The demographic groups mostly likely to demand multifamily housing will be increasing at a faster rate than other demographic groups
4. Downtown living has become increasingly desirable in recent years as cities create more public amenities in their downtowns and households discover the advantages of living in pedestrian-friendly, mixed-use neighborhoods

5. Although the for-sale market is still recovering, the lack of condominium product in general and especially at mid-market prices (i.e. between \$150,000 and \$175,000) suggests pent up demand
6. The rental market, driven by favorable demographics and shifting attitudes toward homeownership, is experiencing strong demand across all segments
7. The senior housing market continues to benefit from strong demographics, and rapid absorption at newer developments in the Wausau area indicate pent up demand

There are some broader trends that are occurring which may have a particularly strong impact on the East Riverfront District. For example, nationally, demand for market rate rental housing is growing rapidly. Although reasons for this are varied, primary drivers include higher qualifying standards for mortgages, loss of faith in homeownership, higher gasoline prices, and modest employment increases. Historically, market rate rental apartments can be broken down into two major sub-markets: young professionals and empty-nesters/early retirees who want to downsize into maintenance-free housing. Young professionals typically want to live in an amenity-rich location that is close to where they work. Downtown Wausau is amenity-rich and it is proximate to the kinds of large employers that attract young professionals. Empty-nesters and early retirees often still work, especially in this day and age, and also prefer locations that are convenient to major employment centers. This suggests a base of potential support for new housing along the river close to the downtown.

Despite strong tail winds in the market for all types of multifamily housing, caution should be exhibited in terms of phasing any housing components. ***Demand estimates for the Wausau region along with the experience of Eau Claire's redevelopment district indicate that 40-45 new units can be absorbed per year in the East Riverfront District.*** Given Wausau's size, this seems reasonable. However, any initial housing phases should be monitored closely, as some of the other factors noted above may result in even stronger demand simply due to the desirability of downtown living. The idea of a new neighborhood with all of the amenities a downtown environment can provide has not been tested in this market. Moreover, housing options in the downtown have generally been limited to either affordable product restricted to low- or moderate income households or to truly exclusive properties at the highest end of the market. Therefore, introduction of new market rate product that is price appropriate to a broad range of the market may have depth that is currently unperceived.

RETAIL MARKET

Downtown Wausau contains over 1 million square feet of retail space, much of which is included in the Wausau Center. Therefore, it is unlikely that the East Riverfront District will be able to support a significant amount of retail space because of the proximity of this regional shopping center. However, there is opportunity to capture some retail demand due to the East Riverfront District's location immediately adjacent to the Wisconsin River and future recreational amenities as well as a growing market base within the downtown.

As the downtown grows in size due to more workers and residents, there will be some demand among these "localized" markets to prefer retail options that are more convenient to what currently exists. Therefore, as the East Riverfront District transforms into a new neighborhood, key locations where traffic and visibility will be highest may be preserved for retail development. The amount of demand from this group, however, will be commensurate with the amount of growth in the market.

Given the estimated amount of supportable residential and office development, it is estimated that ***the amount of "localized" retail that could potentially be supported over time after significant development occurs within the East Riverfront District would be 15,000-20,000 square feet of space.***

There also is a potential non-"localized" market for retail options as well, particularly restaurants and specialty retailers who thrive off of discretionary spending motivated by an experience (e.g., art galleries, gifts, etc.). This market is predicated on having a place that people want to experience that is connected to the Wisconsin River and the downtown. This will most likely consist of full-service restaurants that can meet of a variety of diners, including from those wanting to hold a business lunch to large groups celebrating an event to couples wanting a romantic dinner. Furthermore, a critical mass of such restaurants (anywhere from three to five) will be needed to create a buzz of activity that will attract diners to the place instead to a particular restaurant. Typically, such restaurants are large can range in size from 4,000 to 6,000 square feet. Moreover, significant patio space or other outdoor dining options will be necessary to best leverage the value of the location.

Although it is difficult to predict the amount supportable square feet of such restaurants because demand will be strongly attached to the quality of the experience, however, if it is assumed ***the area can support three restaurants at an average of 5,000 square feet and another 5,000 square feet of ancillary retail this would total 20,000 square feet of specialty retail space.***

OFFICE MARKET

The East Riverfront District is well positioned to capture future office development in the region and, in particular, within the downtown. This is based on the following conclusions:

- The downtown is the largest and most important office district in the region with well over 500,000 square feet of space.
- The only competitive district to the downtown is in west Wausau near the interchange of Highways 29 and 5. However, much of the office space in this district is related to medical uses due to the proximity of the hospital.
- The health of the downtown office district is relatively strong; vacancy rates are well below other districts and high profile Class A buildings are mostly occupied.
- Recent downtown office development has been toward the East Riverfront District.
- The East Riverfront District would be a logical location for new office space due to its connectivity to recent downtown office development.
- Riverfront sites will offer views of the river and provide high profile visibility from nearby bridges which will be important to office users

Demand for office space is largely driven by employment growth in industries that typically occupy office space. Industries that tend to occupy office space are Financial Services, Information, Professional and Other Services, and to some degree Government and Education. These industries are projected to add roughly 1,000 jobs over the next 10 years in Marathon County according to the Wisconsin Department of Workforce Development.

Historically, a typical office worker required about 250 square feet of space. However, changes in workspace layouts and technologies are requiring less space per worker. Although workspace needs can vary by industry, the average is dropping to below 200 square feet in newer buildings. Therefore,

using an average of 200 square feet per employee and assuming the Wausau region will add 1,000 employees over the next 10 years indicates that there will be a need for 200,000 square feet of office space through 2022.

Not all of the region's new office growth will occur in downtown Wausau. Currently, about 40% of the region's office space is located there. If that ratio persists into the future ***as new development occurs in response to employment growth, this would translate into 80,000 square feet of space that could be supported in the downtown.*** The East Riverfront District, as long as it is well connected to the downtown physically through streets and sidewalks and psychologically through a cohesive urban fabric would be a very logical area with which to accommodate new downtown office development.

DEVELOPER FEEDBACK

Local and regional developers were consulted as part of this process to gain insights from the development community regarding the potential they see in the East Riverfront District and the types of development products they thought were most realistic in the area.

Developers interviewed include:

- Alan Woldt, Woldt Realty, Wausau, WI
- Bill Greenwood, Stifell Companies, Wausau, WI
- Chuck and Chris Ghidorzi, The Ghidorzi Company, Wausau, WI
- Bill Schofield, Scholfield Realty, Wausau, WI
- Doug Bender, Bender Construction, Weston, WI
- Mark Craig, Compass Properties, Madison, Milwaukee and Wausau, WI
- Dan Barkes, Hendricks Commercial properties, Beloit, WI
- Mike Slavsh, Hovde Properties, Madison, WI

The following is a summary of key themes discussed in the interviews regarding potential for retail, office and residential construction in the East Riverfront District.

Retail

- The local retail market is challenged and demand for new retail space is low.
- The district could be an extension of the retail corridor in downtown Wausau.
- New restaurants are opening in adjoining neighborhoods, signifying increased consumer interest in the area.
- Potential conversion of the remaining industrial building in the study area to food/family entertainment starts to establish retail/restaurant presence near the daylighted stream. There is potential for this project to evolve over time.

Office

- The local office market is challenged and demand for new office space is low.
- Some developers expressed interest in developing office but only when primary tenants/users can be identified, probably not speculative multi-tenant buildings.

Residential

- Riverfront location and proximity to downtown could make higher-end condos, townhomes, or even single family units attractive.
- There was concern by one interviewee about impact of nearby low income units on higher-end units.
- Housing and residential will come before other uses.
- More residents are a win for the East Riverfront District and downtown. They are the stewards of downtown.
- Condominiums are risky due to developer liability laws.

Interviews also discussed redevelopment strategies and interviewees' impressions of how the City of Wausau could maximize its partnership with the development community to attract new construction in the district. One of the key questions was whether the City should offer up parcels in the East Riverfront District individually or to a joint developer. Most interviewees felt there were very few developers in Wausau area with capacity to develop all 16 acres comprising the catalyst sites at the same time. Among developers local to Wausau and those based outside of Wausau, some distinctions were apparent in their response. Non-local developers expressed:

- Greater interest in a master developer concept as opposed to RFPs that offered individual sites. Interviewees believed that developing the first building in the area would be the most difficult, but would set the stage for future development. Interviewees felt they should be able to follow up on the success of their initial risk.
- Desire for very detailed information about the site in the RFP: geotechnical and environmental information, title of available, good market information and sufficient time for responding to the RFP. Most are busy and good information makes it easier to evaluate and decide to invest the time in preparing a strong proposal for an unfamiliar area.

Regarding general opinions on the overall development process, interviewees noted:

- The City has plenty of time to seek quality development. Local market demand is not strong enough to rapidly absorb these sites.
- Developers encouraged the City to "set the bar high" through design guidelines governing property aesthetics. Developers feared that low-quality aesthetics anywhere on these sites could negatively impact the value of nearby properties.
- The City should time the RFP release for summer with decisions made by fall. This allows developers to use the winter season project planning and enter spring ready to start construction.
- Some thought it would be difficult for a single developer to develop the whole property, recommending a phased approach. Others thought a single master developer approach could work successful as long as the property could still be developed in pieces over time.

- Developers recommended the city rezone the catalyst sites in advance of issuing a development request for proposals. Knowing zoning requirements in advance limits unknowns in the process.
- Provide information on the status of adjoining properties, particularly any that might impact market perceptions, i.e., ABC Supply
- Provide soil, environmental and title information.
- Provide information on the availability of public funding and the City's approach to TIF financing
- Provide perpendicular public ways (with utility distribution) or provide funds to developers to construct public ways which would allow flexibility in their location.
- Green Bay's Fox River waterfront was viewed as a potential comparable. It includes retail and market-rate apartments.

PUBLIC INPUT

As demonstrated by previous plans addressing the East Riverfront District, revitalization of this area has been a priority in Wausau for many years. As part of this Brownfields AWP grant, the City sought to re-engage citizens and create new opportunities for community input toward the future of the district.

In February 2014, the City hosted a charrette to understand the community's design goals. The overall goals identified through the charrette process are summarized here:

1. Accommodate persons with disabilities
2. Make kayaking suitable for lay person skills, not just professionals
3. Design for health and active living
4. Reclaim natural creek
5. Connection to and from residential area and along ends of existing streets
6. Integrate redevelopment of nearby city blocks with huge buildings or parking
7. Promote mixed use development with a strong river relationship
8. Restored and enhance Barker Stewart Ave and Bridge Street
9. Year round activities
10. Quiet and contemplative space
11. Public transportation connection to downtown



Figure 21. Early design concept discussed at community charrette

Using input from the charrette, Stantec refined concepts depicting how the East Riverfront District might be repurposed. Concepts and photos of example redevelopment projects were shared at community meetings in July 2014 and in February 2015 and via a project website to receive further input from the public. Over 100 people attended the July 2014 open house and the project web page was viewed over 900 times.

The following comments are representative of public attitudes expressed during this process.

“Housing is critical.”

Members of the public expressed demand for housing on this site more than other uses like office, retail, or hotel.

“It should not be for the young or old. Mix it up.”

When referring to the type of development as well as the type of activities and programming at the East Riverfront, community members expresses support for a mixed district that could support a variety of age groups. Ideas included restaurants, playground space, and kayaking facilities.

“I can’t wait until the trail is expanded.”

Expansion of the bike/walk trail through the district, planned for summer 2015 has widespread support.

“Polka bands, outdoor cafes, hydrobike rentals, bike polo court.”

Wausau residents expressed enthusiasm for the opportunities they saw in the enhanced public space along the East Riverfront. These responses indicate people seek create opportunities for both active and passive recreation.

“Too much emphasis on parking. More open spaces, emphasis on waterfront activities and the winter season.”

This comment indicates a desire to minimize parking in favor of open space and recreational opportunities that respond to the river.

Community members were also asked to indicate the type of activities they wanted to be able to do in the East Riverfront District and the type of visual aesthetic they preferred. Overwhelmingly, people indicated a desire to shop, dine, and attend events in the district. Running, biking, and playing were also strongly supported. Many people expressed a desire to live or work in the district; lower preference for these options is typical given that many more people are likely to visit an area rather than relocate their office or business.

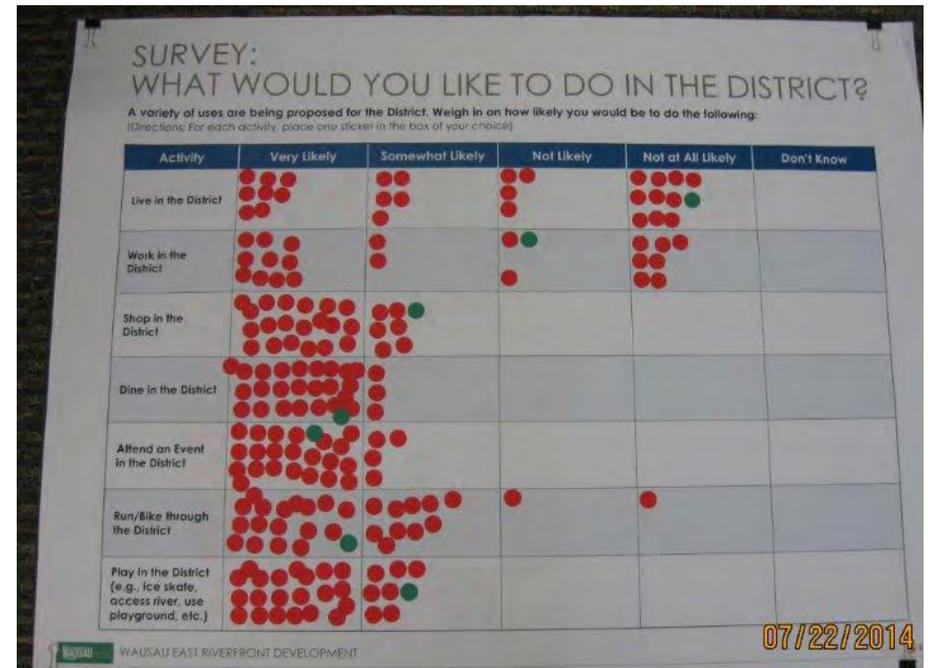


Figure 22. Public open house response indicate “shop in the district” and “dine in the district” are most desirable uses of redevelopment

When shown pictures of different types of housing, community members supported smaller scale development such as townhomes over large, multi-unit structures.



Figure 23. Public open house participants expressed preference for smaller scaled residential development such as townhomes.

When shown different types of dining options, restaurants with outdoor seating and strong connections to the water were preferred.

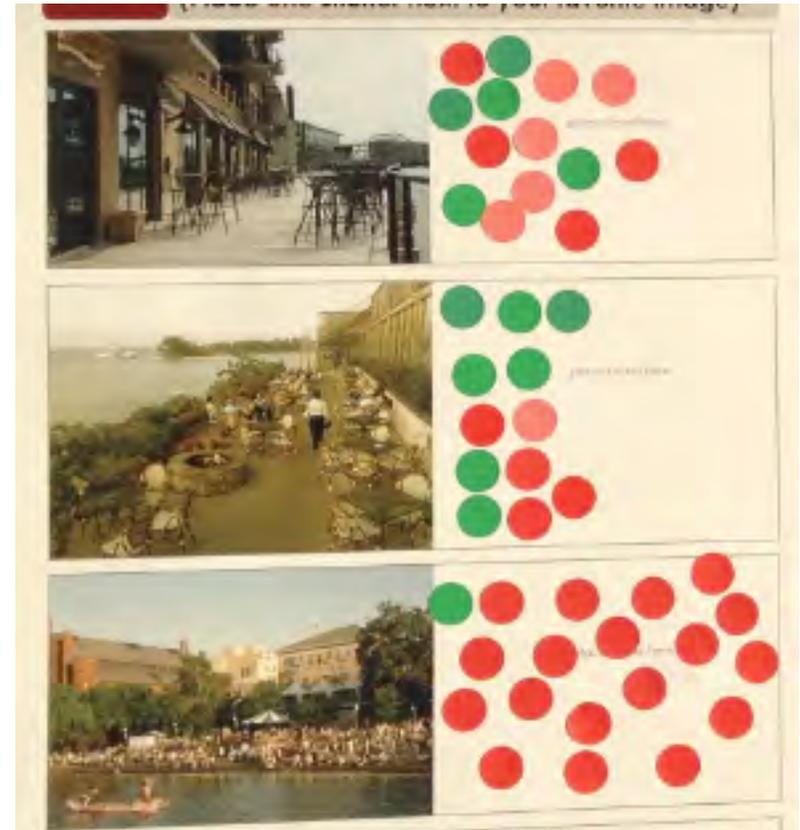


Figure 24. Public open house participants expressed preference for dining options with outdoor seating near the water.

REDEVELOPMENT GOALS AND IMPLEMENTATION STRATEGIES

VISION AND GOALS

The goals and strategies in this plan combine findings from public input, market research, and developer feedback identified in Chapter 4 to articulate a community vision for the East Riverfront District.

VISION

The redevelopment of the East Riverfront District results in a vibrant urban neighborhood. The district is anchored by new housing choices and supports high quality entertainment, retail and office uses. New uses and public amenities connect people to the Wisconsin River and create a destination enjoyed by citizens of all ages. The East Riverfront District complements and extends Wausau's downtown core, connects adjacent residential neighborhoods, and provides a new opportunity for residents to experience the Wisconsin River.

General Image and Character

1. The district's high quality, durable structures are timeless in design and compatible with surrounding neighborhoods.
2. The district's layout, site planning, and landscape design result in a strong image and character.
3. Pedestrian-scaled development and a mixture of land uses support the district's walkability and integration with downtown and surrounding neighborhoods.
4. The district has a vibrant public realm: streets, sidewalks, open space, and commercial venues create inviting spaces for people to interact throughout the day.
5. People come to the district to enjoy the Wisconsin River. Public access to the river and along its edge supports passive and active recreational opportunities.

Land Use

1. Redevelopment facilitates environmental clean-up, reuse and redevelopment of identified brownfields, removing risk of exposure associated with these sites.
2. The site is redeveloped to contain a mixture of residential, office and retail/entertainment uses at an appropriate urban density. Where a mixture of uses occurs on the same parcel, care is taken to ensure that site activities and building structures complement other uses.
 - a. Housing types are diverse. Private residences are integrated with the public realm.
 - b. The scale and character of retail development complements the downtown core. Restaurants, entertainment venues, and service retail take advantage of the site's frontage along First Street and water amenities, including the Wisconsin River and the daylighted creek.
 - c. Office uses are added over time as the local employment market expands.

Open Space and Natural Resources

1. The district is visually and physically connected to the Wisconsin River.
2. High quality public space encourages use among all age groups.
3. The daylighted creek promotes public enjoyment of the Wisconsin River.
4. Landscaping supports native species and water quality.
5. The district incorporates stormwater Best Management Practices, resulting in a net improvement to water quality flowing into the Wisconsin River.

Transportation

1. New north-south roads and trails create multimodal access into and through the district from downtown and surrounding areas.
2. East-west streets are extended to create public access to the Wisconsin River.
3. Views of parked vehicles are minimized; opportunities to reduce parking needs and screen parking areas are maximized.
4. Sidewalks throughout the district facilitate circulation and create space for public life.

Economic Development

1. Downtown Wausau's residential and worker populations increase as a result of redevelopment.
2. Downtown Wausau's tax base increases through net gains in office, residential, retail, and entertainment uses.

ILLUSTRATIVE CONCEPTS

The following illustrative concepts are intended to demonstrate how properties in the East Riverfront District could be redeveloped in accordance with the Plan's vision and goals. The Concept Plan in Figure 25 was presented to the public at community outreach meetings and participants expressed general support for the type of development mix presented in the concept. Figure 26 depicts more detailed illustrations and photos of example uses of public space in the East Riverfront District.

The Concept Plan depicts a mixture of uses that can support activity 24 hours a day in the East Riverfront. It shows ample public space that can be used flexibly for both active recreation and passive recreation along waterfront amenities. Adjoining neighborhoods have new connections to physically access the river and best practices for stormwater management improve water quality. Wausau's downtown is extended to incorporate complimentary uses.

The City expects that actual development proposals may differ from those illustrated; however, development proposals are expected to respond to and advance City goals.



Figure 25. Illustrative Concept Plan depicting a potential East Riverfront District redevelopment scenario

Figure 26. Potential Public Space Improvements in the East Riverfront District



POTENTIAL PLAZA FEATURES
 canopy restroom/concession structure, plantings, splash pad, sand box, bocce ball



POTENTIAL WHARF AND TRAIL AMENITIES
 Plantings, river promenade, creek overlook



Redevelopment Strategy

The City of Wausau has invested in the East Riverfront District through public amenities and contamination cleanup. As the owner of these properties, the next step toward realizing the vision and goals outlined in this plan is for the City to issue a Request for Proposals for redevelopment of the catalyst sites. The following is an outline and proposed process for issuing this RFP.

Respective Roles: City and Developer

Redevelopment of the East Riverfront District requires cooperation, almost a partnership, between the City and the private parties that will redevelop the site. The Wausau real estate markets do not have the strength for rapid absorption of development on the property and the parcels will need to be developed over time. The City must take certain actions to prepare the district for development so that designated developers can move quickly and with market credibility to develop the parcels as they secure tenants for commercial development and financing for residential development.

The City's role is to:

- Complete environmental cleanup of the parcels or provide a mechanism and funding strategy to allow private developers to remediate contamination within a financially feasible project structure
- Put in place the public infrastructure needed for development and to meet City objectives
- Make zoning changes to allow simple permitting of likely and acceptable development programs
- Provide a plan and design guidelines that assure a developer on any one parcel that whatever their neighbors develop will be compatible.
- Establish a credible and simple developer solicitation process so that there is confidence that all of the property will be developed over a reasonable time period.

The developer's role is to:

- Plan a project that meets the City's objectives and is compatible with the larger plan
- Obtain tenant/user commitments

- Design the buildings and development parcels
- Finance their development
- Construct and operate the development projects.

Key Public Actions

Some key public actions and planning decisions have been recommended and some have already begun to be implemented by the City:

Infrastructure and amenities

- Daylight the box culvert storm drain to create a stream amenity (completed)
- Landscape the stream embankments (underway)
- Construct new First Street (underway)
- Extend all utilities to the parcel frontage in First Street
- Construct internal public ways with utilities, or provide for developer to construct per a mutually agreed upon plan
- Clean-up and grade river embankment slope
- Construct riverfront bike/pedestrian trail (underway)
- Construct the planned kayak and canoe launch/pier
- Construct park at East Bridge Street end of the District

Site preparation

- Clean up hazardous materials or identify funding sources for developer execution
- Remove old foundations to six feet below grade, document locations of any remaining piles below and rough grade parcels (completed)
- Rough grade parcels

Regulatory

- Rezone the property to allow for development consistent with the plan

Developer Solicitation

- Prepare a developer's kit and solicit development proposals
- Select a developer or developers
- Negotiate development agreements and sell property

Key Private Sector Actions to be Required of Developers

- Prepare development plan
- Permit development
- Design, finance and construct buildings, parking and landscaping
- Extend utilities and roadways into the site consistent with proposed development plans
- Construct extension of Fulton Street and McIndoe Street, either as a road or as a landscaped pedestrian access, approximately as shown in illustrative plans
- Maintain the properties per an agreed upon standard.

Developer Solicitation Process

Two key questions in establishing a disposition and redevelopment process are:

Should there be a master developer that develops the project in phases over time or should the City create a master plan and guidelines and just solicit developers for portions of the site?

Will the City realize any revenue or will developers require financial support?

With projects of this scale, it is typically preferred that a single master developer work with the municipality to prepare a plan that meets the city's objectives and is market and financially feasible. The master developer might bring on sub-developers to develop certain uses on specific parcels where the master developer didn't have the right expertise or wanted to spread the risk. One ideally would like to take advantage of creative ideas for the property of a number of developers that have real interest in developing the property and will ultimately take on financial responsibility and development risk. This approach is preferred because it also usually lends itself to a well-coordinated plan with compatible uses.

However, a lack of clear strength in the Wausau market and discussions with local developers and knowledgeable brokers leads to the conclusion that the entire property will only be developed in phases over an extended period of time. Some of the real estate professionals interviewed during this plan thought the master developer approach would work as long as they could put in place a phasing plan and develop the parcels on a phased basis consistent with the plans or as they might be revised with City approval. Others were skeptical that anyone would commit to developing all of the parcels, even over an extended timeframe and thought it better for the City to select developers for each parcel and put standards in place to ensure that what was developed on one parcel would be protected from incompatible and lower-quality development on another.

The property breaks down naturally into three development parcels, depicted in Figure 27 on page 69. This plan recommends that the City solicit development proposals for each of the three parcels according to the descriptions below.

North parcel: From Bridge Street to the stream. It lends itself to:

- Free-standing retail/restaurant uses given that a family entertainment/restaurant use is already moving forward on the site. That use may not be very compatible with residential.
- Multi-story office with retail/restaurant on ground floor adjacent to the stream or along 1st Street.

Central Parcel: South of the stream to the Fulton Street extension. It lends itself to:

- Retail/restaurant along the stream.
- Multi-family residential, possibly with ground floor retail/restaurant adjacent to the stream or along 1st Street.
- Multi-story office with retail/restaurant on ground floor adjacent to the stream or along 1st Street.

South Parcel: South of the Fulton Street extension. It lends itself to:

- Multi-family residential with retail/restaurant on ground floor along 1st Street.
- Multi-story office with retail/restaurant on ground floor along 1st Street.

We recommend structuring an RFP that will allow either submission of a master developer proposal for all parcels or a proposal for just the North Parcel or for just the combined Central and South Parcels. We believe it is important that the Central and South Parcels be planned jointly and their development is coordinated. They can still be developed on a phased basis.

Redevelopment Timeline

The following timeline is recommended for redevelopment of these parcels. The timeline assumes work begins in June 2016.

	Key Activity	Timeframe
1	Prepare development and design guidelines	Jun - Oct 2015
2	Prepare illustrative plan	Jun - Dec 2015
3	Prepare a list of prospective developers	June - Oct 2015
4	Prepare a marketing information package and send to prospect list	Jun - Dec 2015
5	Rezone property to allow for development consistent with this plan	Nov 2015 - May 2016
6	Infrastructure Implementation Landscape the stream embankments Construct First Street extension Extend all utilities Clean up and grade river embankment slope Construct riverfront bicycle/pedestrian trail Construct kayak/canoe launch Construct park at north end of the district	Jun 2015- Oct 2016
7	Site preparation Complete remediation of hazardous materials Remove old foundations to six feet below grade and document locations of any remaining piles below and rough grade parcels	Jun 2015- Oct 2016
8	Prepare a developer information toolkit	Jan 2016-April 2016
9	Solicit development proposals	May -Aug 2016
10	Select a developer or developers	Sept-Dec 2016
11	Negotiate development agreements and sell property	Jan-Jun 2017

EAST RIVERFRONT DEVELOPMENT FRAMEWORK



Wausau, Wisconsin / 05.12.2015
WAUSAU EAST RIVERFRONT DEVELOPMENT

Figure 27. East Riverfront Development Framework

PROPOSED PUBLIC SPACE
 [open space & roads
 to be negotiated]

DEVELOPABLE

PUBLIC SPACE



Development and Design Guidelines

The RFP submissions and development should be subject to achieving the City's goals as listed above and according to development and design guidelines. Guidelines serve to establish clearly the City's expectation for development in terms of acceptable and preferred uses, performance standards, design principles and preferences, scale and measures to achieve other City objectives.

The existing Wausau Design Guidelines cover most of the design principles and preferences that we might want to use to guide development. When an RFP is prepared, the City should review these in more detail and clarify any diversions that we feel are appropriate.

Development guidelines may address the following:

Character

1. Provide uses, structures and environments that complement and extend Wausau's downtown core, connect adjacent residential neighborhoods, and provide a new opportunity for residents to experience the Wisconsin River.
2. Provide pedestrian-scaled development and support the district's walkability and connection to downtown and surrounding neighborhoods
3. Develop high quality, durable structures that are attractive and aesthetically compatible with the surrounding neighborhoods.
4. The overall development should have a sense of place
5. Building layout, site planning, and landscape design should result in a strong image and character both internally and externally.
6. The district is visually and physically connected to the Wisconsin River.

Uses and Site Layout

1. The site should contain a mixture of multi-family residential and/or office and retail/restaurant uses located and designed for compatibility.
2. If residential is developed housing units for low and moderate income residents should be included.
3. Restaurants and service retail should take advantage of the site's frontage along First Street and water amenities, including the Wisconsin River and the daylighted creek.
4. The scale and character of retail/restaurant development should complement the downtown core as opposed to directly competing.

Open Space and Natural Resources

1. High quality public space that encourages use among all age groups should be provided, particularly related to the water amenities.
2. Preserve existing vegetation and landscaping to the extent it supports native species and water quality.
3. Stormwater Best Management Practices should be incorporated into the plan in order to improve water quality flowing into the Wisconsin River.

Transportation

1. An extension of Fulton Street should be provided to connect residents to the Wisconsin River, either as a pedestrian-way or a street, The exact location is flexible to accommodate building layout and dimensional requirements.
2. Parking areas should be shared. Parking lots should be screened to protect views from both the street and the Wisconsin River. Though much of the parking should be on-street parking.

Sample Developer Package Outline

1 Invitation to Bid / Introduction

2 Property Description

- 2.1 Location and Access
- 2.2 Wausau
- 2.3 Description of the Property
- 2.4 Planning for East Riverfront District
- 2.5 Plans for adjoining properties
- 2.6 Zoning
- 2.7 Environmental Issues
- 2.8 Technical Information
- 2.9 Municipal Commitments

3 Development Guidelines

- 3.1 Programmatic and Use Guidelines
- 3.2 Design Guidelines
- 3.3 Financial Guidelines
- 3.4 Implementation Guidelines

4 Developer Selection Process & Submission Requirements

- 4.1 Submission Enclosures
- 4.2 The Developer
- 4.3 Development Concept
- 4.4 Conceptual Design Drawings
- 4.5 Implementation Plan & Project Timetable

- 4.6 Management Plan
- 4.7 Financial Proposal & Business Terms
- 4.8 Project Financing and Financial Analysis
- 4.9 Financial Qualifications
- 4.10 Additional Items

5 Selection Process

- 5.1 Submission Deadline
- 5.2 Selection Criteria
- 5.3 Selection & Disposition Process
- 5.4 Site Tours & Briefing
- 5.5 Development Agreement and Terms

Appendices

- A. Site Location & Context
- B. Existing Site Conditions & Parcel Map
- C. Existing Conditions Photos
- D. Site Opportunities & Constraints
- E. Illustrative Plan
- F. Demographics
- G. Market Study
- H. Previous Reports

APPENDICES

APPENDIX A: BROWNFIELD INVENTORY DETAILED RESULTS

Potential Environmentally Impaired Sites Identified on Sanborn Maps													
Name	Address	Type	1884	1891	1898	1904	1912	1923	1950	1954	1961	1963	1967
City Water Works	1701 River Dr N	Public Utility		X	X	X	X	X	X	X	X	X	X
Goodwillie Bros Box Factory	100 Bridge St E	Factory		X	X	X	X	X	X	X	X	X	X
Filing Station	300 Bridge St E	Filing Station							X	X	X	X	X
DJ Murray Manufacturing Co	102 Fulton St	Manf. Co.	X	X	X	X	X	X	X	X	X	X	X
Wausau Ice & Fuel Co.	802-814 1st St N	Coal Storage					X	X	X	X	X	X	X
Cheese & Dairy Warehouse	800 1st St N	Cheese & Dairy					X	X	X	X	X	X	X
Hammerblow Tool Co	920 1st St N	Tool Company							X	X	X	X	X
Danielson Tool Co.	920 1st St N	Machine Shop						X					
Ford Auto Assemb & Repair	920 1st St N	Auto Repair						X					
Pier Lumber Company	1202 1st St N	Lumberyard						X					
Wausau Lumber Co Yards	1202 1st St N	Storage Yards	X										
Healy-Brown Co. Fuel & Ice	1202 1st St N	Ice House					X	X					
DJ Murray Manufacturing Co	1202 1st St N	Manf. Co.							X	X	X	X	X
Cloverbelt Cooperative Serv	1202 1st St N	Oil Storage							X	X	X	X	X
Wausau Lumber Co Sawmill	1212 1st St N	Sawmill	X										
Barker Stewarts Lumber Yard	1212 1st St N	Lumberyard		X	X								
Badger Bag & Repair Co.	1418 1st St N	Factory						X					
Marathon Corp Paper Carton	1418 1st St N	Factory							X	X	X	X	X
Wausau Electric Co.	1500 1st St N	Public Utility		X	X	X							
Car Barn & Repair Shop	1500 1st St N	Service Station					X	X	X	X	X	X	X
D Automotive Parts	700 3rd St N	Auto Parts Manf							X	X	X	X	X
Clinic	808 3rd St N	Clinic									X	X	X
Werheims Sash Dr & Bld Fac	1009 3rd St N	Manf. Co.	X	X	X	X							
JM Kuebler Co Sh Dr&Blinds	1009 3rd St N	Manf. Co.					X	X	X	X			
Marathon Millwork Corp	1009 3rd St N	Manf. Co.									X	X	X
Restaurant	1203 3rd St N	Restaurant								X	X		
Restaurant	1206 3rd St N	Restaurant								X	X		
Bottling Co.	1213 3rd St N	Factory			X	X							
Rug Cleaners	1314 3rd St N	Cleaners										X	X
General Store	1407 3rd St N	General Store				X	X						
North Side Bottling Works	1502 3rd St N	Factory							X	X	X	X	X
Remnel Bro Bottling Co	1502 3rd St N	Factory					X	X					
Filing Station	1511 3rd St N	Filing Station											X
Filing Station	1514 3rd St N	Filing Station							X	X	X	X	X
J.C. Smiths	1106 5th St N	Lumberyard	X	X									
Werheims Sash Dr & Bld Fac	1106 5th St N	Lumberyard			X	X							
JM Kuebler Co Sh Dr&Blinds	1106 5th St N	Manf. Co.					X	X	X	X			
Marathon Millwork Corp	1106 5th St N	Manf. Co.									X	X	X

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Summary of EDR Database Findings Within or Near Planning Area

Name	Currently Occupied	Address	Miles from Planning Area	Database	EDR Map ID	EDR Page
Scenic Signs & Screen Print	Y	1502 1st St N	0	RCRA-CESQG	C14	103
Freewheel N Cyclery	Y	1314 3rd St N	0	RCRA-CESQG	24	164
Yawkey Hse Mus - Marath	N	403 Mcindoe St	0.13	RCRA-CESQG	G40	196
Jansen Property	Y	1008 1st St N	0	WI ERP list	A2	27
Hammerblow Corp	N	1000 1st St N	0	WI ERP list	A3	36
Marathon Printing Prop	N	1010 1st St N	0	WI ERP list	A6	79
Marathon MillWork Bldg	Y	1009-1011 3rd St N	0	WI ERP list	B7	82
Tomorrow Valley Coop	Y	1202 1st St N	0	WI ERP list	22	112
Seig Auto Parts (Former)	N	800-810 1st St N	0.125	WI ERP list	F34	174
Facility Closed	N	1514 3rd St N	0	LUST	18	107
Tomorrow Valley Corp	Y	1202 1st St N	0	LUST	22	112
Unnamed Closed Facility	N	Bridge & 4th St N	0	LUST	29	168
Unnamed	N	1514 3rd St N	0	LUST, Hist	18	107
Unnamed	N	1212 1st St N	0	LUST, Hist	A20	111
Unnamed	N	1212 1st St N	0	LUST, Hist	A21	112
Tomorrow Valley Coop	Y	1202 1st St N	0	LUST, Hist	22	112
Unnamed Closed Facility	N	Bridge & 4th St N	0	LUST, Hist	29	168
Unnamed	N	1011 3rd St N	0	UST	B8	92
Unnamed	N	1002 3rd St N	0	UST	B9	93
Unnamed	N	1000 1st St N	0	UST	A10	94
Unnamed	N	1202 1st St N	0	UST	A13	98
Unnamed	N	1502 1st St N	0	UST	C15	105
Unnamed	N	1506 1st St N	0	UST	C16	105
Unnamed	N	Bridge St & 2nd St N	0	UST	17	106
Unnamed	N	1407 3rd St N	0	UST	23	163
Unnamed	N	1601 3rd St N	0	UST	D25	166

Name	Currently Occupied	Address	Miles from Planning Area	Database	EDR Map ID	EDR Page
Unnamed	N	Bridge & 3rd St N	0	UST	D26	166
Unnamed	N	818 1st St N	0	UST	F30	170
Unnamed	N	802 1st St N	0	UST	F31	171
Unnamed	N	203 Chicago Ave	0.13	UST	35	190
Unnamed	N	903 3rd St N	0.13	UST	36	190
Unnamed	N	1509 5th St N	0.13	UST	37	192
Unnamed	N	915 5th St N	0.13	UST	G38	192
Unnamed	N	501 McIndoe St	0.13	UST	G41	197
Unnamed	N	1202 1st St N	0	AST	A13	98
Seig Auto Parts (Former)	N	800-810 1st St N	0.125	AST	F33	173
Jansen Property	Y	1008 1st St N	0	AUL	A2	27
Hammerblow Corp	N	1000 1st St N	0	AUL	A3	36
Marathon MillWork Bldg	Y	1009-1011 3rd St N	0	AUL	B7	82
Tomorrow Valley Coop	Y	1202 1st St N	0	AUL	22	112
Seig Auto Parts former	N	800-810 First St	0.125	AUL	F34	174
Jansen Property	Y	1008 1st St N	0	USEPA BrnFd	A5	27
Sav-O-Supply #11	Y	1418 1st St N	0	USEPA BrnFd	19	109
Unnamed	N	502 Fulton St	0	EDR US Hist Auto	E27	167
Unnamed	N	512 Fulton St	0	EDR US Hist Auto	E28	168

Dist - "0" means location is within planning area
UST - Underground Storage Tank
LUST - Leaking UST
BrnFd - Brownfield
CESQG - Conditionally Exempt Small Quantity Generator
WI ERP - Wisconsin Emergency Repair Program
AUL - Deed Restriction on Property
Unnamed - Location name not identified in EDR database

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Summary of Sites from Databases by Address

Site No.	Location	Facility	Type	San	EDR	DNR
5	100 Bridge St E	Goodwillie Bros Box Factory	Factory	X		
6	105 Central Bridge St	Unnamed	UST		X	
6	105 Central Bridge St	Unnamed	AUL		X	
7	300 Bridge St E	Filing Station	Filing Station	X		
8B	Bridge & 3rd St N	Unnamed	UST		X	
8A	Bridge & 4th St N	Unnamed Closed Facility	LUST		X	
8A	Bridge & 4th St N	Unnamed Closed Facility	LUST, Hist		X	
8C	Bridge St & 2nd St N	Unnamed	UST		X	
9	203 Chicago Ave	Unnamed	UST		X	
10	102 Fulton St	DJ Murray Manufacturing Co	Manf. Co.	X		
11	502 Fulton St	Unnamed	EDR US Hist Auto		X	
12	512 Fulton St	Unnamed	EDR US Hist Auto		X	
13	403 McIndoe St	Yawkey Hse Mus - Marath	RCRA-CESQG		X	
14	501 McIndoe St	Unnamed	UST		X	
15	1701 River Dr N	City Water Works	Public Utility	X		
16	500 1st St N	Lot#1 McDevco Site	ERP			X
17	606 1st St N	Motor Service (Former)	ERP			X
18	800 1st St N	Cheese & Dairy Warehouse	Cheese & Dairy	X		
18	800-810 1st St N	Sieg Auto Parts (Former)	ERP			X
18	800-810 1st St N	Seig Auto Parts (Former)	WI ERP list		X	
18	800-810 1st St N	Seig Auto Parts (Former)	AST		X	
18	800-810 1st St N	Seig Auto Parts former	USEPA Brownfield		X	
18	800-810 1st St N	Seig Auto Parts former	AUL		X	
18	802 1st St N	Unnamed	UST		X	
18	802-814 1st St N	Wausau Ice & Fuel Co.	Coal Storage	X		
19	818 1st St N	Unnamed	UST		X	
4	920 1st St N	Hammerblow Tool Co	Tool Company	X		

Site No.	Location	Facility	Type	San	EDR	DNR
4	920 1st St N	Danielson Tool Co.	Machine Shop	X		
4	920 1st St N	Ford Auto Assemb & Repair	Auto Repair	X		
4	1000 1st St N	Hammerblow Corp Site	ERP			X
4	1000 1st St N	Hammerblow Corp	WI ERP list		X	
4	1000 1st St N	Unnamed	UST		X	
4	1000 1st St N	Hammerblow Corp	AUL		X	
3A	1008 1st St N	Jansen Property	ERP			X
3A	1008 1st St N	Jansen Property	WI ERP list		X	
3A	1008 1st St N	Jansen Property	AUL		X	
3A	1008 1st St N	Jansen Property	USEPA Brownfield		X	
3	1010 1st St N	Vacant Lot	ERP			X
3	1010 1st St N	Marathon Printing Prop	WI ERP list		X	
1	1202 1st St N	Pier Lumber Company	Lumberyard	X		
1	1202 1st St N	Wausau Lumber Co Yards	Storage Yards	X		
1	1202 1st St N	Healy-Brown Co. Fuel & Ice	Ice House	X		
1	1202 1st St N	DJ Murray Manufacturing Co	Manf. Co.	X		
1	1202 1st St N	Cloverbelt Cooperative Serv	Oil Storage	X		
1	1202 1st St N	Cloverbelt Property	LUST			X
1	1202 1st St N	Cloverbelt Coop	ERP			X
1	1202 1st St N	Tomorrow Valley Coop (Former)	ERP			X
1	1202 1st St N	Tomorrow Valley Coop	WI ERP list		X	
1	1202 1st St N	Tomorrow Valley Corp	LUST		X	
1	1202 1st St N	Tomorrow Valley Coop	LUST, Hist		X	
1	1202 1st St N	Unnamed	UST		X	
1	1202 1st St N	Unnamed	AST		X	
1	1202 1st St N	Tomorrow Valley Coop	AUL		X	
2	1212 1st St N	Wausau Lumber Co Sawmill	Sawmill	X		
2	1212 1st St N	Barker Stewarts Lumber Yard	Lumberyard	X		
2	1212 1st St N	Unnamed	LUST, Hist		X	

Site No.	Location	Facility	Type	San	EDR	DNR
2	1212 1st St N	Unnamed	LUST, Hist		X	
20	1418 1st St N	Badger Bag & Repair Co.	Factory	X		
20	1418 1st St N	Marathon Corp Paper Carton	Factory	X		
20	1418 1st St N	Sav-O-Supply #11	USEPA Brownfield		X	
21	1500 1st St N	Wausau Electric Co.	Public Utility	X		
21	1500 1st St N	Car Barn & Repair Shop	Service Station	X		
22	1502 1st St N	Zastrow Property (Former)	ERP			X
22	1502 1st St N	Scenic Signs & Screen Print	RCRA-CESQG		X	
22	1502 1st St N	Unnamed	UST		X	
23	1506 1st St N	Unnamed	UST		X	
24	700 3rd St N	D Automotive Parts	Auto Parts Manf	X		
25	707 3rd St N	YMCA	LUST			X
26	808 3rd St N	Clinic	Clinic	X		
27	903 3rd St N	Unnamed	UST		X	
27	903 3rd St N	Unnamed	AST		X	
28	1002 3rd St N	Unnamed	UST		X	
29	1009 3rd St N	Werheims Sash Dr & Bld Fac	Manf. Co.	X		
29	1009 3rd St N	JM Kuebler Co Sh Dr&Blinds	Manf. Co.	X		
29	1009 3rd St N	Marathon Millwork Corp	Manf. Co.	X		
29	1009-1011 3rd St N	Marathon Millwork Bldg	ERP			X
29	1009-1011 3rd St N	Marathon MillWork Bldg	WI ERP list		X	
29	1009-1011 3rd St N	Marathon MillWork Bldg	AUL		X	
29	1011 3rd St N	Unnamed	UST		X	
30	1203 3rd St N	Restaurant	Restaurant	X		
31	1206 3rd St N	Restaurant	Restaurant	X		
32	1213 3rd St N	Bottling Co.	Factory	X		
33	1314 3rd St N	Rug Cleaners	Cleaners	X		
33	1314 3rd St N	Freewheel N Cyclery	RCRA-CESQG		X	
34	1407 3rd St N	General Store	General Store	X		

Site No.	Location	Facility	Type	San	EDR	DNR
34	1407 3rd St N	Unnamed	UST		X	
35	1502 3rd St N	North Side Bottling Works	Factory	X		
35	1502 3rd St N	Remnel Bro Bottling Co	Factory	X		
36	1511 3rd St N	Filing Station	Filing Station	X		
36	1511 3rd St N	Riiser Oil 3rd St	ERP			X
36	1511 3rd St N	Riiser Oil 3rd St	LUST			X
37	1514 3rd St N	Filing Station	Filing Station	X		
37	1514 3rd St N	Service Station (Former)	LUST			X
37	1514 3rd St N	Facility Closed	LUST		X	
37	1514 3rd St N	Unnamed	LUST, Hist		X	
38	1601 3rd St N	Unnamed	UST		X	
39	915 5th St N	Unnamed	UST		X	
40	1106 5th St N	J.C. Smiths	Lumberyard	X		
40	1106 5th St N	Werheims Sash Dr & Bld Fac	Lumberyard	X		
40	1106 5th St N	JM Kuebler Co Sh Dr&Blinds	Manf. Co.	X		
40	1106 5th St N	Marathon Millwork Corp	Manf. Co.	X		
41	1509 5th St N	Unnamed	UST		X	
42	1006 6th St N	Camelot Cleaner (Former)	ERP			X
43	1203 6th St N	Stueber Dairy Peoples State Bank	LUST			X
44	1314 6th St N	MS Solutions	LUST			X

UST - Underground Storage Tank

LUST - Leaking Underground Storage Tank

LUST, Hist - Historical LUST

CESQG - Conditionally Exempt Small Quantity Generator

WI ERP - Wisconsin Emergency Repair Program

AUL - Deed Restriction on Property

Unnamed - Location name not identified in EDR database

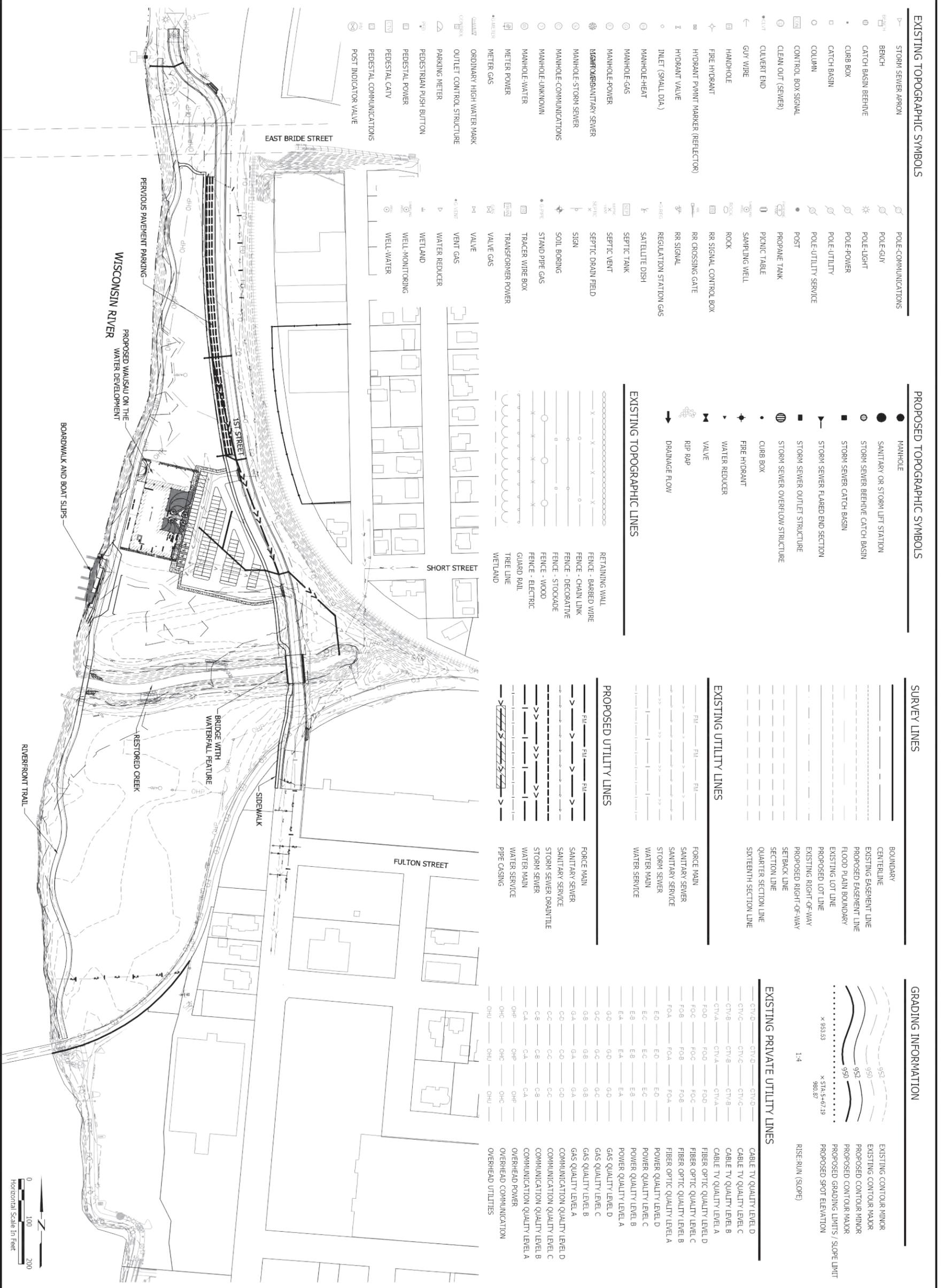
BRRTS - Bureau for Reclamation and Redevelopment Tracking System

ERP - Environmental Repair Project

APPENDIX C: EXISTING AND PROPOSED INFRASTRUCTURE

Plot Date: 05/13/2015 - 3:19pm
 Drawing Name: V:\1938\active\193802508\CAD\DWG\Task_Order_No_12\A\193802508_Infrastructure_Plan.dwg
 User: 193803147.XSXI, 193803147.XSNC-WHARR, 193803147.XSXI, 193803147.XSNC-1151, W.C.W. landscape concept, 193802841.X1NA, 193802841.XSNC, 193802841.XSNC, 193803147.XSNI, 193803147.XSXI, 193803147.XSNC-Shore, 193802508.TLB, 193802508, 12.6.XSNC, 193802508, 12.6.XSNC, 193802508, 12.6.XSNC

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO STANTEC IMMEDIATELY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF STANTEC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY STANTEC IS PROHIBITED.



EXISTING TOPOGRAPHIC SYMBOLS

- STORM SEWER APRON
- BENCH
- CATCH BASIN BEEHIVE
- CURB BOX
- CATCH BASIN
- COLUMN
- CONTROL BOX SIGNAL
- CLEAN OUT (SEWER)
- CUVERT END
- GUY WIRE
- HANDHOLE
- FIRE HYDRANT
- HYDRANT PAVNT MARKER (REFLECTOR)
- HYDRANT VALVE
- INLET (SMALL DIA.)
- MANHOLE-HEAT
- MANHOLE-GAS
- MANHOLE-POWER
- MANHOLE-SEWER
- MANHOLE-STORM SEWER
- MANHOLE-COMMUNICATIONS
- MANHOLE-UNKNOWN
- MANHOLE-WATER
- METER POWER
- METER GAS
- ORDINARY HIGH WATER MARK
- OUTLET CONTROL STRUCTURE
- PARKING METER
- PEDESTRIAN PUSH BUTTON
- PEDESTAL POWER
- PEDESTAL CATV
- PEDESTAL COMMUNICATIONS
- POST INDICATOR VALVE
- POLE-COMMUNICATIONS
- POLE-GUY
- POLE-LIGHT
- POLE-POWER
- POLE-UTILITY
- POLE-UTILITY SERVICE
- POST
- PROPANE TANK
- PICNIC TABLE
- SAMPLING WELL
- ROCK
- RR SIGNAL CONTROL BOX
- RR CROSSING GATE
- RR SIGNAL
- REGULATION STATION GAS
- SATELLITE DISH
- SEPTIC TANK
- SEPTIC VENT
- SEPTIC DRAIN FIELD
- SIGN
- SOIL BORING
- STAND PIPE GAS
- TRACER WIRE BOX
- TRANSFORMER POWER
- VALVE GAS
- VALVE
- VENT GAS
- WATER REDUCER
- WETLAND
- WELL-MONITORING
- WELL-WATER

PROPOSED TOPOGRAPHIC SYMBOLS

- MANHOLE
- SANITARY OR STORM LIFT STATION
- STORM SEWER BEEHIVE CATCH BASIN
- STORM SEWER CATCH BASIN
- STORM SEWER FLARED END SECTION
- STORM SEWER OUTLET STRUCTURE
- STORM SEWER OVERFLOW STRUCTURE
- CURB BOX
- FIRE HYDRANT
- WATER REDUCER
- VALVE
- RIP RAP
- DRAINAGE FLOW

EXISTING TOPOGRAPHIC LINES

- RETAINING WALL
- FENCE - BARBED WIRE
- FENCE - CHAIN LINK
- FENCE - DECORATIVE
- FENCE - STOCKADE
- FENCE - WOOD
- FENCE - ELECTRIC
- GUARD RAIL
- TREE LINE
- WETLAND

SURVEY LINES

- BOUNDARY
- CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- FLOOD PLAIN BOUNDARY
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED RIGHT-OF-WAY
- SEBACK LINE
- SECTION LINE
- QUARTER SECTION LINE
- SIXTEENTH SECTION LINE

EXISTING UTILITY LINES

- FORCE MAIN
- SANITARY SEWER
- SANITARY SERVICE
- STORM SEWER
- WATER MAIN
- WATER SERVICE

PROPOSED UTILITY LINES

- FORCE MAIN
- SANITARY SEWER
- SANITARY SERVICE
- STORM SEWER DRAIN/TILE
- STORM SEWER
- WATER MAIN
- WATER SERVICE
- PIPE CASING

GRADING INFORMATION

- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED GRADING LIMITS / SLOPE LIMIT
- PROPOSED SPOT ELEVATION
- RISE:RUN (SLOPE)

EXISTING PRIVATE UTILITY LINES

- CABLE TV QUALITY LEVEL D
- CABLE TV QUALITY LEVEL C
- CABLE TV QUALITY LEVEL B
- CABLE TV QUALITY LEVEL A
- FIBER OPTIC QUALITY LEVEL D
- FIBER OPTIC QUALITY LEVEL C
- FIBER OPTIC QUALITY LEVEL B
- FIBER OPTIC QUALITY LEVEL A
- POWER QUALITY LEVEL D
- POWER QUALITY LEVEL C
- POWER QUALITY LEVEL B
- POWER QUALITY LEVEL A
- GAS QUALITY LEVEL C
- GAS QUALITY LEVEL B
- GAS QUALITY LEVEL A
- COMMUNICATION QUALITY LEVEL D
- COMMUNICATION QUALITY LEVEL C
- COMMUNICATION QUALITY LEVEL B
- COMMUNICATION QUALITY LEVEL A
- OVERHEAD POWER
- OVERHEAD COMMUNICATION
- OVERHEAD UTILITIES

<p>NO. REVISION DATE</p>	<p>CITY OF WAUSAU, WISCONSIN EAST RIVERFRONT DEVELOPMENT FRAMEWORK EXISTING AND PROPOSED INFRASTRUCTURE PLAN OVERALL SITE AND SYMBOLS</p>	<p>I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA</p> <p>PRINT NAME: STUART M. KRAHN</p> <p>SIGNATURE: _____</p> <p>DATE: MAY 13, 2015 LIC. NO. 40002</p>	<p>Stantec</p> <p>2335 Highway 36 W St. Paul, MN 55113 www.stantec.com</p>
<p>DESIGNED: SKM</p> <p>CHECKED: SKM</p> <p>APPROVED: SKM</p> <p>PROJECT NO.: 193802508</p>	<p>DATE: 05/13/2015</p> <p>TIME: 3:19 PM</p> <p>PROJECT: INFRA 1</p>		



NOTES:
 1. SEE DRAWING INFRA 1 FOR SYMBOLS LEGEND

INFR 3	DATE	REVISION
DESIGNED BY	DATE	REVISION
DRAWN BY	DATE	REVISION
CHECKED BY	DATE	REVISION
APPROVED BY	DATE	REVISION
PROJECT NO.	193802508	

CITY OF WAUSAU, WISCONSIN
 EAST RIVERFRONT DEVELOPMENT FRAMEWORK
 EXISTING AND PROPOSED INFRASTRUCTURE PLAN
 SOUTH

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA
 PRINT NAME: STUART M. KRAHN
 SIGNATURE: _____
 DATE: MAY 13, 2015 LIC. NO. 40002

Stantec
 2335 Highway 36 W
 St. Paul, MN 55113
 www.stantec.com

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

INITIAL RESOLUTION OF THE FINANCE COMMITTEE	
PROVIDING FOR THE SALE OF \$4,285,000 GENERAL OBLIGATION PROMISSORY NOTES	
Committee Action:	Approved 4-0
Fiscal Impact:	\$4,285,000 plus interest of \$625,000
File Number:	15-0608
Date Introduced:	June 10, 2015

FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
	<i>Included in Budget:</i>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> <i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/> <i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> <i>Amount: To be determined on sale date</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/> <i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/> <i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/> <i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/> <i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

WHEREAS the City of Wausau, Marathon County, Wisconsin (the "City") is presently in need of an amount not to exceed \$4,285,000 for public purposes, including paying the cost of Wisconsin Department of Transportation projects, street, sidewalk, storm sewer and other concrete improvements and extensions, acquiring fire equipment and a transit hoist, and providing financial assistance to Tax Incremental District No. 8 projects, such as street improvements and utility relocation and remediation; and

WHEREAS it is desirable to borrow said funds through the issuance of general obligation promissory notes pursuant to Section 67.12(12), Wisconsin Statutes;

NOW, THEREFORE, BE IT RESOLVED that:

Section 1. Issuance of the Notes. The City shall issue its General Obligation Promissory Notes in an amount not to exceed \$4,285,000 (the "Notes") for the purposes above specified.

Section 2. Sale of Notes. The Common Council hereby authorizes and directs that the Notes be offered for public sale. At a subsequent meeting, the Common Council shall consider such bids for the Notes as may have been received and take action thereon.

Section 3. Notice of Sale. The City Clerk (in consultation with the City's financial advisor, Ehlers & Associates, Inc. ("Ehlers")) be and hereby is directed to cause notice of the sale of the Notes to

be disseminated in such manner and at such times as the City Clerk may determine and to cause copies of a complete, official Notice of Sale and other pertinent data to be forwarded to interested bidders as the City Clerk may determine.

Section 4. Official Statement. The City Clerk shall cause an Official Statement concerning this issue to be prepared by Ehlers. The appropriate City officials shall determine when the Official Statement is final for purposes of Securities and Exchange Commission Rule 15c2-12 and shall certify said Statement, such certification to constitute full authorization of such Statement under this resolution.

Adopted, approved and recorded June 10, 2015.

James E. Tipple
Mayor

ATTEST:

Toni Rayala
City Clerk

(SEAL)

FINANCE COMMITTEE

Date and Time: Tuesday, **May 26, 2015** @ 5:30 pm., Board Room

Members Present: Winters, Kellbach, Nagle, Oberbeck

Members Excused: Nutting

Others Present: Groat, Jacobson, Giese, Hebert, Kerntop, Kujawa, Lindman, Tipple, Rasmussen, Mielke, Neal, Elizabeth Field, Dick Barrett, Lisa Barry

- 1) **Discussion and Possible Action regarding the Resolution Providing for the Sale of \$4,285,000 General Obligation Promissory Notes**
AND
- 2) **Discussion and Possible Action regarding the Resolution Authorizing \$5,705,000 General Obligation Bonds for Community Development Projects in Tax Incremental District Nos. 3 and 10 and Swimming Pool Project**
AND
- 3) **Discussion and Possible Action regarding the Resolution Authorizing \$2,655,000 Taxable General Obligation Bonds for Community Development Projects in Tax Incremental District Number 3**

Groat stated at the last meeting they had reviewed the borrowing and reconciliation of what was included in the budget versus what we were proposing. This included not funding the placeholder we had put in for Thomas Street because the official map would be adopted late in the year and we would be able to proceed with land acquisition and reimburse ourselves from any 2016 borrowing. We had increased the borrowing by \$1 million for the Resurrection Church purchase; decreased TID #7 borrowing by \$305,000 for a delay in the stormwater project; and decreased TID #8 to reflect the funding needs. This resulted in a net reduction of about \$3.8 million in borrowing.

Groat stated the schedule for debt issuance was for Finance to consider the preliminary resolutions on May 26th and would forward to Council on June 10th. The final sale will be presented to Finance and Council on July 14th with tentative settlement on August 1st. Winters noted this was a total of \$12.4 million for all three resolutions.

Motion by Nagle, second by Oberbeck to approve the three borrowing resolutions above. Motion carried 4-0.

Resolutions, the City of Wausau, Marathon County, Wisconsin (the "City") shall issue the Bonds in an amount not to exceed \$5,705,000 for the purposes above specified.

Section 2. Notice to Electors. The City Clerk shall, within fifteen (15) days publish a notice to the electors regarding adoption of the Initial Resolutions in substantially the form attached hereto in the official City newspaper as a class 1 notice under ch. 985, Wis. Stats.

Section 3. Sale of Bonds. The Common Council hereby authorizes and directs that the Bonds be offered for public sale. At a subsequent meeting, the Common Council shall consider such bids for the Bonds as may have been received and take action thereon.

Section 4. Notice of Sale. The City Clerk (in consultation with the City's financial advisor, Ehlers & Associates, Inc. ("Ehlers")) is hereby authorized and directed to cause the sale of the Bonds to be publicized at such times and in such manner as the City Clerk may determine and to cause copies of a complete official Notice of Sale and other pertinent data to be forwarded to interested bidders as the City Clerk may determine.

Adopted, approved and recorded June 10, 2015.

James E. Tipple
Mayor

ATTEST:

Toni Rayala
City Clerk

(SEAL)

FINANCE COMMITTEE

Date and Time: Tuesday, **May 26, 2015** @ 5:30 pm., Board Room

Members Present: Winters, Kellbach, Nagle, Oberbeck

Members Excused: Nutting

Others Present: Groat, Jacobson, Giese, Hebert, Kerntop, Kujawa, Lindman, Tipple, Rasmussen, Mielke, Neal, Elizabeth Field, Dick Barrett, Lisa Barry

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AND
- 2) **Discussion and Possible Action regarding the Resolution Authorizing \$5,705,000 General Obligation Bonds for Community Development Projects in Tax Incremental District Nos. 3 and 10 and Swimming Pool Project**
AND
- 3) **Discussion and Possible Action regarding the Resolution Authorizing \$2,655,000 Taxable General Obligation Bonds for Community Development Projects in Tax Incremental District Number 3**

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Groat stated the schedule for debt issuance was for Finance to consider the preliminary resolutions on May 26th and would forward to Council on June 10th. The final sale will be presented to Finance and Council on July 14th with tentative settlement on August 1st. Winters noted this was a total of \$12.4 million for all three resolutions.

Motion by Nagle, second by Oberbeck to approve the three borrowing resolutions above. Motion carried 4-0.

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

INITIAL RESOLUTION OF THE FINANCE COMMITTEE	
AUTHORIZING \$2,655,000 TAXABLE GENERAL OBLIGATION BONDS FOR COMMUNITY DEVELOPMENT PROJECTS	
Committee Action:	Approved 4-0
Fiscal Impact:	\$2,655,000 plus interest of interest of \$681,000
File Number:	15-0610
Date Introduced:	June 10, 2015

FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/>
	<i>Included in Budget:</i>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> <i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/> <i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/> <i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/> <i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/>	No <input type="checkbox"/> <i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> <i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/> <i>Amount: principal and interest</i>
	<i>TID Source: Increment Revenue</i> <input checked="" type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

BE IT RESOLVED by the Common Council of the City of Wausau, Marathon County, Wisconsin (the "City") that there shall be issued, pursuant to Chapter 67, Wisconsin Statutes, general obligation bonds in an amount not to exceed \$2,655,000 for the public purpose of providing financial assistance to community development projects under Section 66.1105, Wisconsin Statutes, in the City's Tax Incremental District No. 3.

BE IT FURTHER RESOLVED, THAT:

Section 1. Notice to Electors. The first resolution paragraph above shall constitute the Initial Resolution for the bonds authorized thereby, within the meaning of Wisconsin Statutes, Section 67.05(1) (the "Initial Resolution"). The City Clerk shall, within fifteen (15) days publish a notice to the electors regarding adoption of the Initial Resolution in substantially the form attached hereto in the official City newspaper as a class 1 notice under ch. 985, Wis. Stats.

Section 2. Issuance of the Bonds. Due to certain provisions contained in the Internal Revenue Code of 1986, as amended, it is necessary to issue such bonds on a taxable rather than tax-exempt basis. The bonds authorized by the Initial Resolution shall be designated "Taxable General Obligation Community Development Bonds" (the "Bonds") and, provided no sufficient petition for referendum is received with respect to the Initial Resolution, the City shall issue Bonds in an amount not to exceed \$2,655,000 for the purpose above specified.

Section 3. Sale of Bonds. The Common Council hereby authorizes and directs that the Bonds be offered for public sale. At a subsequent meeting, the Common Council shall consider such bids for the Bonds as may have been received and take action thereon.

Section 4. Notice of Sale. The City Clerk (in consultation with the City's financial advisor, Ehlers & Associates, Inc. ("Ehlers")) is hereby authorized and directed to cause the sale of the Bonds to be publicized at such times and in such manner as the City Clerk may determine and to cause copies of a complete official Notice of Sale and other pertinent data to be forwarded to interested bidders as the City Clerk may determine.

Section 5. Official Statement. The City Clerk shall cause an Official Statement concerning this issue to be prepared by Ehlers. The appropriate City officials shall determine when the Official Statement is final for purposes of Securities and Exchange Commission Rule 15c2-12 and shall certify said Statement, such certification to constitute full authorization of such Statement under this resolution.

Adopted, approved and recorded June 10, 2015.

James E. Tipple
Mayor

ATTEST:

Toni Rayala
City Clerk

(SEAL)

FINANCE COMMITTEE

Date and Time: Tuesday, **May 26, 2015** @ 5:30 pm., Board Room

Members Present: Winters, Kellbach, Nagle, Oberbeck

Members Excused: Nutting

Others Present: Groat, Jacobson, Giese, Hebert, Kerntop, Kujawa, Lindman, Tipple, Rasmussen, Mielke, Neal, Elizabeth Field, Dick Barrett, Lisa Barry

- 1) **Discussion and Possible Action regarding the Resolution Providing for the Sale of \$4,285,000 General Obligation Promissory Notes**
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Motion by Nagle, second by Oberbeck to approve the three borrowing resolutions above. Motion carried 4-0.

TO: Finance Committee Members

FROM: Anne Jacobson, City Attorney

DATE: June 5, 2015

RE: Appointment of Successor Trustee for Wausau Cemetery Association's Perpetual Care Fund

Purpose: To assist the Committee in selecting a successor trustee for the investment and management of the Perpetual Care Fund of the Wausau Cemetery Association.

Background:

The March 2015 balance in the Perpetual Care Fund Trust Account, according to Patty Grimm, General Manager of the Wausau Cemetery Association, is \$581,378.23.

BMO Harris, formerly M & I Trust, currently acts as the trustee of this account under an agreement between City of Wausau and Marshall & Ilsley Trust Company, to manage the investments entrusted to them for the perpetual maintenance and care of the Pine Grove Cemetery.

M & I has charged a flat \$5,000 for the past 3 years for their administrative fee, and is moving away from this market and asked that a successor trustee be appointed and secondarily noted that their fees would be increasing as well. We do not know what fees were charged to the account by fund companies.

On April 14, your committee considered this matter, and an April 7, 2015 Staff Analysis was contained in those agenda materials. I indicated that Patty Grimm wished to keep all five of the accounts of the Wausau Cemetery Association with one banking facility and had requested to work with Associated Bank and Trust. I was directed to bring back the request, using a Sole Source Purchase Justification form, which was considered on April 28, 2015, at your committee. At that meeting, I was directed to obtain quotes.

A Request for Quotations: Management of Wausau Cemetery Association Perpetual Fund Account was posted to the city's website at the end of May and additionally, the request was either mailed or e-mailed specifically to eleven firms providing financial planning or trust services.

By 3:00 p.m. on June 4, 2015, one quote was received from Associated Bank.

At the time of the preparation of the Sole Source Purchase Form on April 23, 2015, Associated Bank indicated their management fee was 1.20% on the first \$1,000,000, which equaled \$6,976.54, plus administration fees of \$500 for a total of \$7,476.54. Included in their management fee, however, were estimated fees charged to the account and retained by the fund companies.

In preparing their quote for submission to the City, Associated Bank staff clarified that they had included not only their own fees, but had estimated those internal fees charged to the account by the fund companies. Their administrative fee for investment and trust services is 0.84% per annum, or **\$4,883.57**. The estimated fees charged to the account and retained by the fund companies, but not charged by the trustee, are unknown until the funds are invested. Therefore, this quote excludes the additional cost of holding mutual funds, internal to funds themselves, charged and retained by the fund companies, but which Associated estimated would total approximately 0.4% per annum.

Recommendation:

Recommend approval of Associated Bank as successor trustee and authorize the proper city officials to execute an Agreement in substantial compliance with the attached agreement.



Office of the City Attorney

Anne L. Jacobson
City Attorney

Tara G. Alfonso
Assistant City Attorney

TO: Finance Committee Members

FROM: Anne Jacobson, City Attorney *aj*

DATE: June 5, 2015

RE: **Appointment of Successor Trustee for Wausau Cemetery Association's Perpetual Care Fund**

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Background:

The March 2015 balance in the Perpetual Care Fund Trust Account, according to Patty Grimm, General Manager of the Wausau Cemetery Association, is \$581,378.23.

BMO Harris, formerly M & I Trust, currently acts as the trustee of this account under an agreement between City of Wausau and Marshall & Ilsley Trust Company, to manage the investments entrusted to them for the perpetual maintenance and care of the Pine Grove Cemetery.

M & I has charged a flat \$5,000 for the past 3 years for their administrative fee, and is moving away from this market and asked that a successor trustee be appointed and secondarily noted that their fees would be increasing as well. We do not know what fees were charged to the account by fund companies.

On April 14, your committee considered this matter, and an April 7, 2015 Staff Analysis was contained in those agenda materials. I indicated that Patty Grimm wished to keep all five of the accounts of the Wausau Cemetery Association with one banking facility and had requested to work with Associated Bank and Trust. I was directed to bring back the request, using a Sole Source Purchase Justification form, which was considered on April 28, 2015, at your committee. At that meeting, I was directed to obtain quotes.

A Request for Quotations: Management of Wausau Cemetery Association Perpetual Fund Account was posted to the city's website at the end of May and additionally, the request was either mailed or e-mailed specifically to eleven firms providing financial planning or trust services.

By 3:00 p.m. on June 4, 2015, one quote was received from Associated Bank.

At the time of the preparation of the Sole Source Purchase Form on April 23, 2015, Associated Bank indicated their management fee was 1.20% on the first \$1,000,000, which equaled \$6,976.54, plus administration fees of \$500 for a total of \$7,476.54. Included in their management fee, however, were estimated fees charged to the account and retained by the fund companies.

In preparing their quote for submission to the City, Associated Bank staff clarified that they had included not only their own fees, but had estimated those internal fees charged to the account by the fund companies. Their administrative fee for investment and trust services is 0.84% per annum, or **\$4,883.57**. The estimated fees charged to the account and retained by the fund companies, but not charged by the trustee, are unknown until the funds are invested. Therefore, this quote excludes the additional cost of holding mutual funds, internal to funds themselves, charged and retained by the fund companies, but which Associated estimated would total approximately 0.4% per annum.

Recommendation:

Recommend approval of Associated Bank as successor trustee and authorize the proper city officials to execute an Agreement in substantial compliance with the attached agreement.

AGREEMENT

THIS AGREEMENT, by and between the CITY OF WAUSAU (the "CITY"), and
_____ (the "TRUSTEE");

WITNESSETH:

The CITY has delivered unto the TRUSTEE the assets listed in Schedule "A" attached hereto, in trust to be used as authorized by ss. 157.50(6) of the Wisconsin Statutes, with the income and principal therefrom to be paid to the CITY in accordance with Paragraph 4(c) to be disbursed by the CITY to the Wausau Cemetery Association for the perpetual maintenance and care of the Pine Grove Cemetery and any other cemeteries that may hereafter come within the jurisdiction of the Wausau Cemetery Association.

1. This trust shall be known as the Wausau Cemetery Perpetual Care.
2. The TRUSTEE shall take hold and retain such funds, and collect and receive all income therefrom in accordance with Paragraph 4.
3. The Wausau Cemetery Association may make its perpetual care deposits directly to the TRUSTEE.
4. The funds and the proceeds thereof shall be invested and reinvested by the TRUSTEE under the terms and conditions stated herein:
 - (a) The funds shall be invested and meet the requirements of Chapter 881 of the Wisconsin Statutes.
 - (b) The TRUSTEE shall perform its duties in accordance with the investment guidelines approved by the Finance Committee of the Wausau City Council (See Exhibit "A"). To be determined by Trustee.
 - (c) The TRUSTEE may disburse directly to the Wausau Cemetery Association or to the CITY and the CITY shall disburse to the Wausau Cemetery Association annually five percent (5%) of the total value of the fund as determined on December 31 of each year. Payouts of the distributable amount shall be made during the succeeding year.
5. The TRUSTEE shall be compensated in accordance with the TRUSTEE's standard fee schedule.
6. The TRUSTEE shall provide an annual accounting to the Wausau Cemetery Association and the City of Wausau of the fund as of the close of business on December 31 of each year.
7. There shall be an annual review of the account and the investment guidelines by the TRUSTEE, a representative of the CITY, and a representative of the Wausau

Cemetery Association. This review shall occur on or before March 31 of each year.

8. The CITY may deposit additional funds to be invested by the TRUSTEE in accordance with the terms hereof.
9. This Agreement may be terminated or modified by either party upon giving sixty (60) days notice of such intent to the other party. Upon termination, the TRUSTEE shall deliver the trust assets to the City of Wausau or to a successor trustee as selected by the City of Wausau.

IN WITNESS WHEREOF, we have hereunto set our hands and seals this ____ day of _____, 2015.

Witnesses

CITY OF WAUSAU

James E. Tipple, Mayor

Toni Rayala, City Clerk

TRUSTEE NAME

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

RESOLUTION OF THE PLAN COMMISSION

Amending the general development plan and approving the precise implementation plan for 1801 and 1901 Westwood Center Boulevard to allow for a single multi-story healthcare facility in an existing Unified Development District.

Committee Action: Approved 4-0

Fiscal Impact: None.

File Number: 03-1116

Date Introduced: June 10, 2015

WHEREAS, the Plan Commission met on May 19, 2015 to consider a request from Freeman White Architecture to amend the general development plan and precise implementation plan for 1801 and 1901 Westwood Center Boulevard to allow for a single multi-story healthcare facility; and

WHEREAS, the petition is to amend the general development plan to reduce the number of buildings on the site from two separate buildings to a single building; and

WHEREAS, the total square footage of the proposed building (approximately 47,000 square feet) would be greater than the square footage originally proposed for the two separate buildings; and

WHEREAS, the location and the footprint of the proposed building is similar to one of the buildings previously shown on the general development plan; and

WHEREAS, the three-story building would house general medical office space and is consistent with existing and planned uses in the immediate area; and

WHEREAS, parking would be accommodated in the large surface parking lots adjacent to and near the building; now therefore

BE IT RESOLVED that the Common Council of the City of Wausau hereby amends the general development plan and approves the precise implementation plans for 1801 and 1901 Westwood Center Boulevard to allow for a single multi-story healthcare facility in an existing Unified Development District, subject to the following:

1. The stormwater plans are approved by the Engineering Department;
2. The lighting fixtures are approved by staff;
3. The landscaping plan is approved by staff;
4. The signage is permitted by staff; and
5. The petitioners execute a formal agreement with the City to use public right-of-way for increased parking.

Approved:

James E. Tipple, Mayor

PLAN COMMISSION

Time and Date: The Plan Commission met on Tuesday, May 19, 2015, at 5:00 p.m. in the Common Council Chambers of Wausau City Hall.

Members Present: Lindman, Rosenberg, Gisselman, Oberbeck

Others Present: Lenz, Hebert, DeSantis, Stephenson, Ghidorzi, Sullivan, Pratt, Bawling, Rolling

PUBLIC HEARING: Amend the UDD at 1801 and 1901 Westwood Center Boulevard to include a new General Development Plan with a single multi-story healthcare facility. (Freeman White Architecture)

Chuck Ghidorzi introduced himself, as well as Joe Sullivan, Bob Pratt, and Jeff Bawling. The original plan of the UDD development included three buildings. Of the three buildings, only one has been built – GI Associates. The space used for the two buildings, would be combined for one building using the total square footage. The size of the new building would be 47,000 square feet. The first item will be to modify the general development plan. The plan is to build a 3-story building and the parking associated with it.

Kathy Rolling, GI Associates, said the location is wonderful and will be enhanced by building on the medical emphasis. In addition, the parking ability has been outstripped and hopes to enhance the parking. The employees currently have to park across the road to the south and it is very dangerous to cross every day.

Lindman closed the public hearing.

Lenz said the first item is to amend the general development plan from two additional buildings to the one being proposed. The plan has continued to be modified since the packet was sent out and the new plan shows more parking spaces have been added and some items will be discussed in the precise implementation plan.

Rosenberg motioned to amend the UDD at 1801 and 1901 Westwood Center Boulevard to include a new General Development Plan with a single multi-story healthcare facility. Oberbeck seconded and the motion carried unanimously 4-0. This item will go to Common Council on June 10, 2015.

Approve the Precise Implementation Plan at 1801 and 1901 Westwood Center Boulevard for a single multi-story healthcare facility.

Ghidorzi said that there are challenges with the site. There are high lines that go over the old Bridge Street. The lines will be buried along with the cable. There is quite a bit of retaining wall that will be required on the east side of the property. This will be used to improve the patient parking. The elevation will be raised to match the 1st floor garden level to extend to Bridge Street. It would otherwise be a challenge by patients and staff to get to the parking area. The 1st plan showed 79 parking stalls with a stairway dropping 12 feet. The entire parking lot will be lowered through blasting and create an access that would be more convenient for patients and employees. This direction makes the most sense and makes room for an expansion for building or parking. It will be a very nice medical campus and it is an opportunity to work together. Ghidorzi said they would like the city to consider an encroachment or easement on what is a 28' right-of-way strip on the old Bridge Street. Ghidorzi said he would like to look

at the possibility of developing 15' of that, which would leave 13'8" for a nice a parkway. The building elevations show brick on four sides with glass also on all sides. The building will look like a pinnacle point as one would see as they travel up Bridge Street.

Pratt showed images of how the building would look from different angles and said that the natural stone will create a monumental piece for the entrance. The building will be lit up at night to create a lantern for the building and also highlighting it. The exam rooms will be located on the side with fewer windows. This will be an asset to the community. Ghidorzi added that the landscaping plan was completed by Rettler. Ghidorzi said that they are trying to advance this and would like to start certain aspects of construction as early as next month. Ghidorzi said the Rettler sent over the preliminary grading plan over to Engineering Department and is working with Sean Gehin. A lighting plan was also sent to Brad Lenz. This will leave the signage review, which will be brought in at a later time.

Lenz said that staff had a couple of questions that were found after submission of the plans. There was a crosswalk going down the internal driveway on the original plan and he asked how the sidewalk would connect to the parking lot. Pratt said a sidewalk would connect to the crosswalk. Lenz said the southern driveway is a one-way into the campus and it looks like there would be a driveway from there out to the southern driveway and asked if there would be a design consideration to direct vehicles around. Pratt said that narrowness has been reviewed and said way-finding signage would be installed. Lenz said that the lot has a steep incline but asked if there would be any consideration to add any landscaping, particularly on the west side. Pratt said he wasn't sure how much topsoil there it, but they would like to soften it. Due to the rocks, he wasn't sure how much landscaping could be done. Ghidorzi added that they would like to get something in. Rock will look good, but landscaping would look better. Lenz asked if the dumpster would be screened on the front side of the development and if it would be well hidden. Ghidorzi answered that they will be well hidden. There isn't a good spot for them, but it won't be seen with the 14' retaining walls. Pratt added that it will be a natural enclosure.

Lenz said that at times, some items are deferred to staff as a condition of an approval. The stormwater plans have been submitted to the engineering staff as recommended. A photometric plan was submitted and he recommend looking at fixtures to make sure they are dark-sky friendly. Signage will need to be reviewed, when it is selected. The Plan Commission can review or staff approval can be done. The north side of the parking lot is currently shown as part of public right-of-way. An agreement or street vacation process may need to occur, which would involve separate committees. Staff recommends approval with the conditions that the stormwater plan, lighting fixture plan, landscaping plan and the signage plan get reviewed and that the petitioners work with the right-of-way issue for the parking stalls.

Gisselman asked how the process for the stormwater plans would work. Lenz said that Gehin is looking at the plans but that it is being accommodated by a regional pond system near Highway 52. Gisselman asked how it will be enforced. Lindman answered that would be done by engineering staff. Lenz said that if it doesn't work, it will come back if the site needs to be modified. Gisselman asked about easements. Lenz said that Westwood Center Boulevard that runs east and west into the cul-de-sac, would be used for the perpendicular stalls that are currently shown in city right-of-way.

Oberbeck motioned to amend the precise implementation plan at 1801 and 1901 Westwood Center Boulevard for a single multi-story healthcare facility with the conditions: the stormwater plan gets approved by the Engineering Department, the lighting fixture gets approved by staff, the landscaping plan gets approved by staff, the signage gets approved by staff, and the petitioners work with staff on the public right-of-way issues for the parking stalls. Rosenberg seconded and the motion carried unanimously 4-0. This item will go to Common Council on June 10, 2015.



STAFF REPORT

TO: City of Wausau Plan Commission
FROM: Brad Lenz, City Planner
DATE: May 14, 2015

GENERAL INFORMATION

APPLICANTS: Robert Pratt, FreemanWhite Architects
LOCATION: 1801 and 1901 Westwood Center Blvd.
EXISTING ZONING: UDD, Unified Development District
REQUESTED ZONING: Amend general development plan and approve precise implementation plan
PURPOSE: To allow for a medical office building in an existing Unified Development District.
EXISTING LAND USE: Medical office building and vacant land
SIZE OF PARCELS: 4.9 acres combined
SURROUNDING ZONING AND LAND USE:
North: Office, general; UDD
South: Office, general; IB, Interchange Business District
East: Interstate 39 right-of-way
West: Office, medical; UDD

(See attached Zoning Map)

ANALYSIS

From Wausau Municipal Code 23.65.040, the approval of a unified development proposal shall be based upon determination as to compliance with the following criteria:

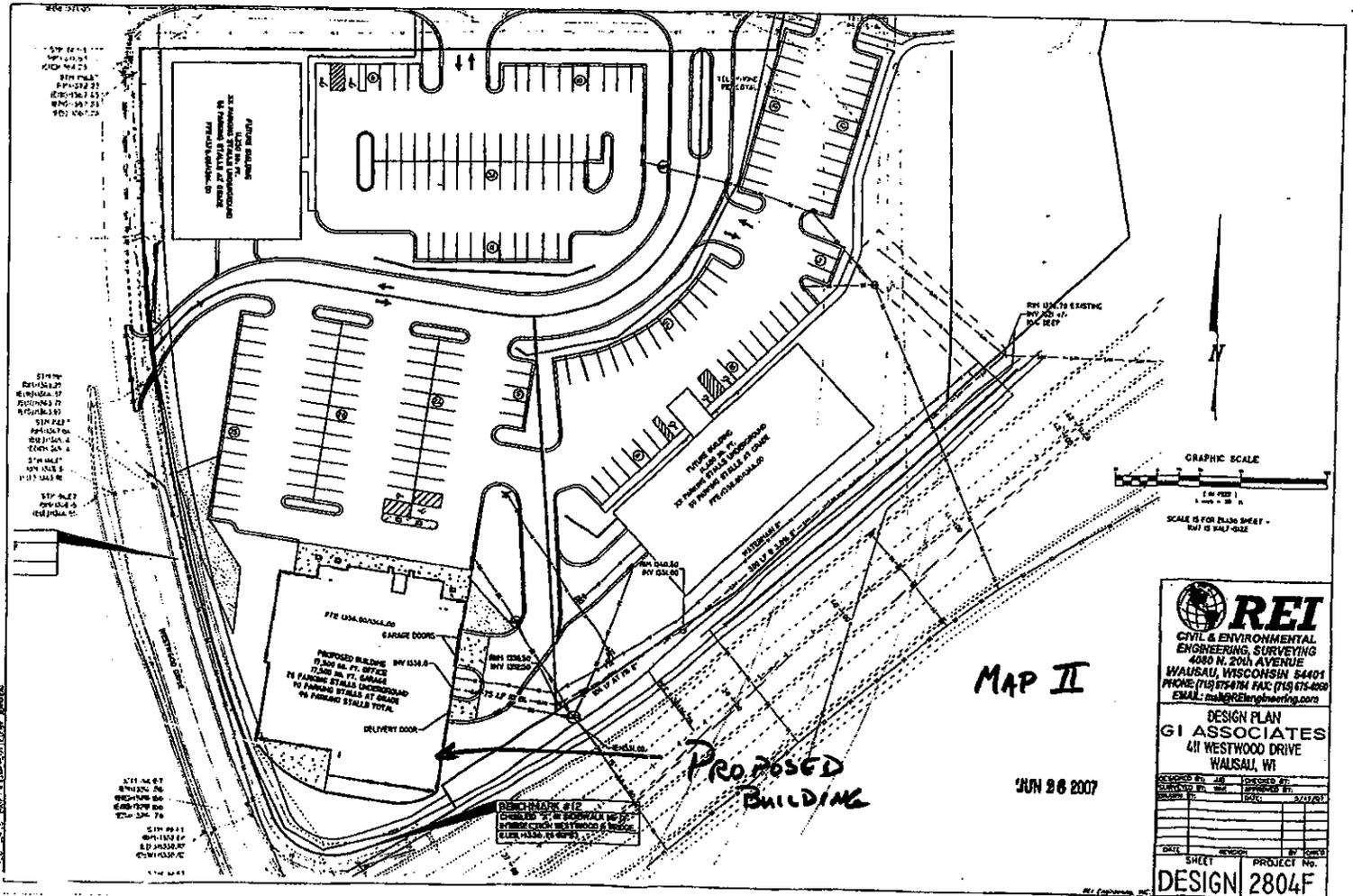
- a) *That the proposed development is consistent with the spirit and intent of these regulations, has been prepared with competent professional advice and guidance and produces significant benefits in terms of improved environmental design to justify the application of the unified development concept;*
- b) *That the site development plan reflects sensitive consideration of the physical nature of the site with particular concern for conservation of natural features, preservation of open space and careful shaping of terrain to minimize scarring, and insures proper drainage and preservation of natural terrain wherever appropriate;*
- c) *That the general character and intensity of use of the development produces an attractive environment appropriate to the uses proposed, and is compatible with existing development in the surrounding area and with general community development plans and policies;*
- d) *That the development can be provided with appropriate municipal services and would not conflict with or cause overload on such facilities as schools, highways, police, fire or utility services;*
- e) *That proposed design standards provide adequately for practical functioning and maintenance, based on actual functional need, in terms of circulation, parking, emergency services, delivery services and snowplowing;*
- f) *That adequate provision has been made to insure proper maintenance and preservation of any common areas provided for the recreation and esthetic enhancement of the development.*

The subject petition is to amend the general development plan to reduce the number of buildings on the site from two separate buildings to a single building. The total square footage of the proposed building (approximately 47,000 square feet) would be greater than the square footage originally proposed for the two separate buildings. The location and the footprint of the proposed building are both similar to one of the buildings previously shown on the general development plan.

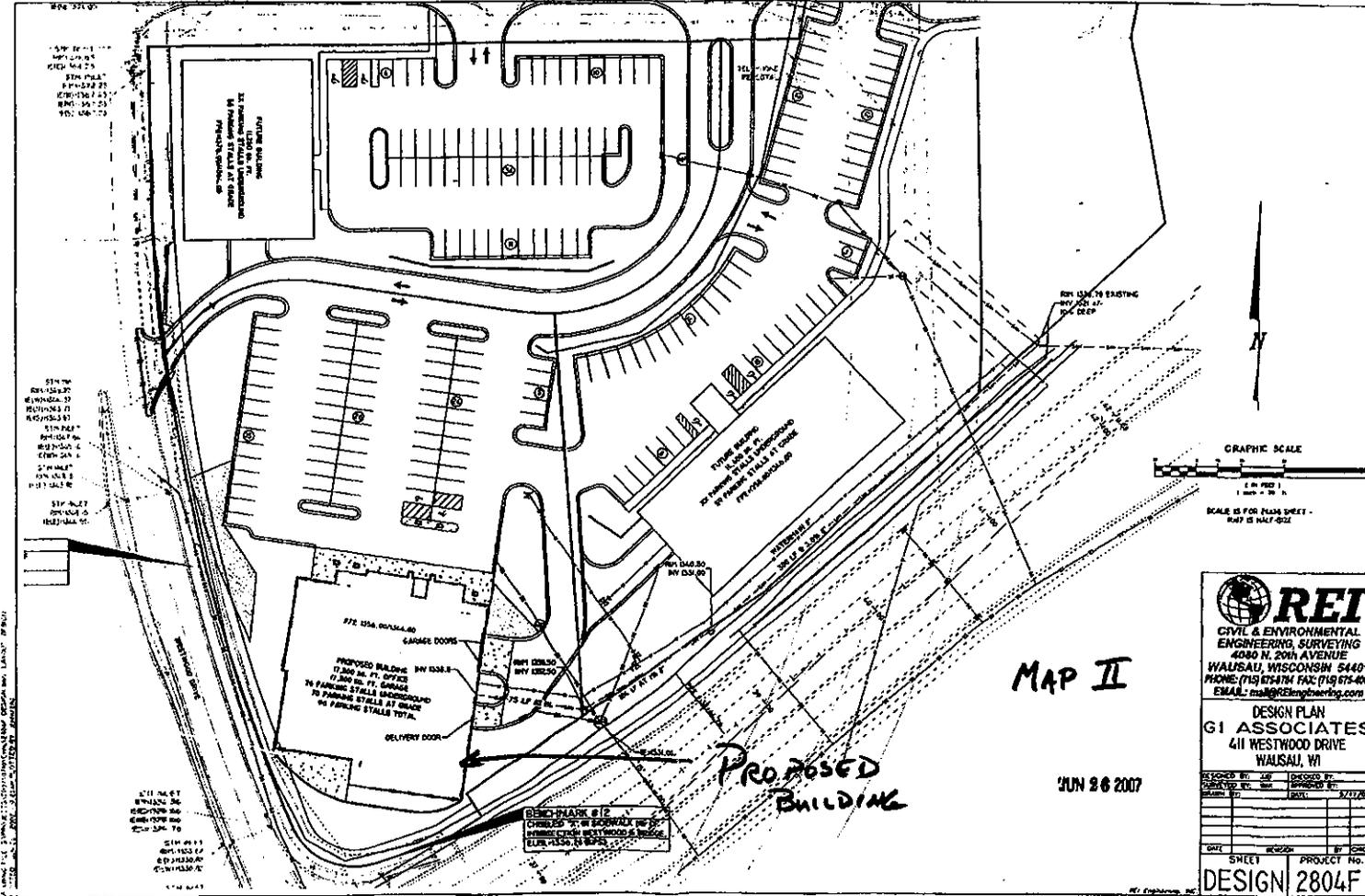
The three-story building would house general medical office space. This use is consistent with existing and planned uses in the immediate area. Parking would be accommodated in the large surface parking lots adjacent to and near the building. The 234 total spaces shown on the site plan are in line with the city's general commercial zoning requirement, which is one space for each 200 square feet of gross floor area in excess of 2,000 square feet. This equates to 225 parking spaces for a building of 47,000 square feet.

The petitioners are seeking precise implementation plan approval in addition to an amendment of the general development plan. Site plans are included in the packet along with building elevations. Staff recommends approval of the plans, subject to a detailed staff review of the stormwater, landscaping, and lighting plans. Staff also recommends that a full sign package for the property be reviewed at the staff level based on the city's regular commercial zoning districts.

EXISTING GENERAL PLAN



EXISTING GENERAL PLAN



REI
CIVIL & ENVIRONMENTAL
ENGINEERING, SURVEYING
4040 N. 20th AVENUE
WALSAU, WISCONSIN 54401
PHONE: (715) 675-4074 FAX: (715) 675-4059
EMAIL: mail@REIengineering.com

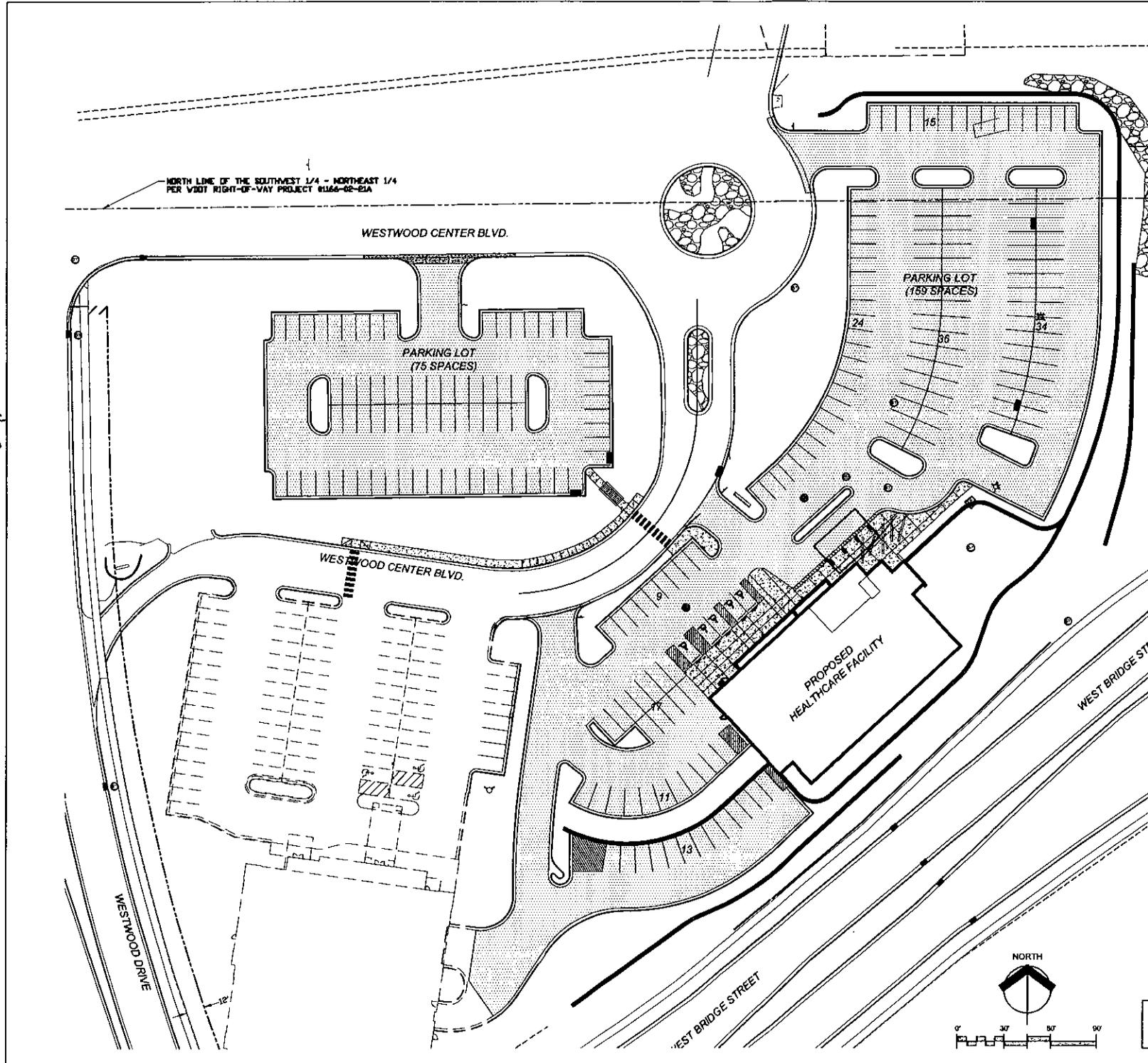
DESIGN PLAN
GI ASSOCIATES
411 WESTWOOD DRIVE
WALSAU, WI

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DATE: JUN 26 2007

SHEET: DESIGN PROJECT NO: 2804F

Proposed General Plan



SITE LAYOUT GENERAL NOTES

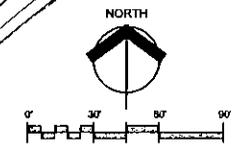
1. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
3. ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN.
4. SEED, FERTILIZE, AND GRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS EXCEPT THOSE AREAS INDICATING SOD.

SITE LAYOUT GENERAL NOTES

- 1. 1" TYPE E-1, HOT MIX ASPHALT
- 1" DENSE GRADED BASE COURSE
- 2. 2" REINFORCED CONCRETE PAVEMENT
- 1" DENSE GRADED BASE COURSE
- 3. 3" REINFORCED CONCRETE DRAINAGE FLUME
- INFILTRATION BASINS 2 & 3
- 4. 4" REINFORCED CONCRETE DRIVE APRON
- 1" DENSE GRADED BASE COURSE
- 5. 24" CURB & GUTTER - TYPE X - CATCH
- 6. 24" CURB & GUTTER - TYPE X - REJECT
- 7. 24" ROLLED CURB & GUTTER
- 8. PRECAST CONCRETE PARKING CURB STOP
- 9. CURB TERMINUS
- 10. PARKING LOT STRIPING
- 11. HANDICAP ACCESSIBLE PARKING STALL W/ SIGNAGE
- 12. FLAG POLE WITH CONCRETE FOOTING & LIGHTING
- SEE ELECTRICAL PLANS FOR LIGHTING DETAILS
- 13. ELECTRICAL SERVICE & TRANSFORMER - BY ELEC. CONTRACTOR
CONCRETE TRANSFORMER PAD BY ELEC. CONTRACTOR - SEE ELECTRICAL PLANS FOR DETAILS
- 14. SITE LIGHTING FIXTURES & BASES - BY ELEC. CONTRACTOR
- SEE ELECTRICAL PLANS FOR DETAILS
- 15. SITE ENTRY FEATURE / SIGNAGE - BY OTHERS
- SEE ARCHITECTURAL PLANS FOR DETAILS
- 16. SITE DUMPSTER PAD & WASTE STORAGE ENCLOSURE
- SEE ARCHITECTURAL PLANS FOR DETAILS
- 17. BUILDING DOWN SPOUT & SCUPPER - BY OTHERS
- SEE ARCHITECTURAL / PLUMBING PLANS FOR DETAILS
- 18. ARMOR TILE, MODEL ADA-C-2424, COLONIAL RED - DETECTABLE WARNING TILES
- 2' W X 1', CAST IN PLACE TILES
- *INSTALL PER MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS*
- 19. PAINTED, STEEL SAFETY BOLLARD
- IRONSMITH PHOENICIA, MODEL 8028-S
- FILL W/ CONCRETE PER MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS
- PAINT TO MATCH CURTAINMALL - SEE ARCHITECTURAL PLANS FOR DETAILS
- 20. DUMPSTER ENCLOSURE & 1" UN-REINFORCED CONCRETE SLAB
- 6" TALL, CERTAINTED BUFFTECH CHESTERFIELD ENCLOSURE
- CERTAINGRAN FINISH, NATURAL CLAY COLOR
- ENCLOSURE TO INCLUDE (2), MATCHING, 6" SWINGING DOORS
- 21. FORMS & SURFACES, CAPITOL, BKE RACK
- ALUMINUM TEXTURE POWDERCOAT FINISH
- QUANTITY

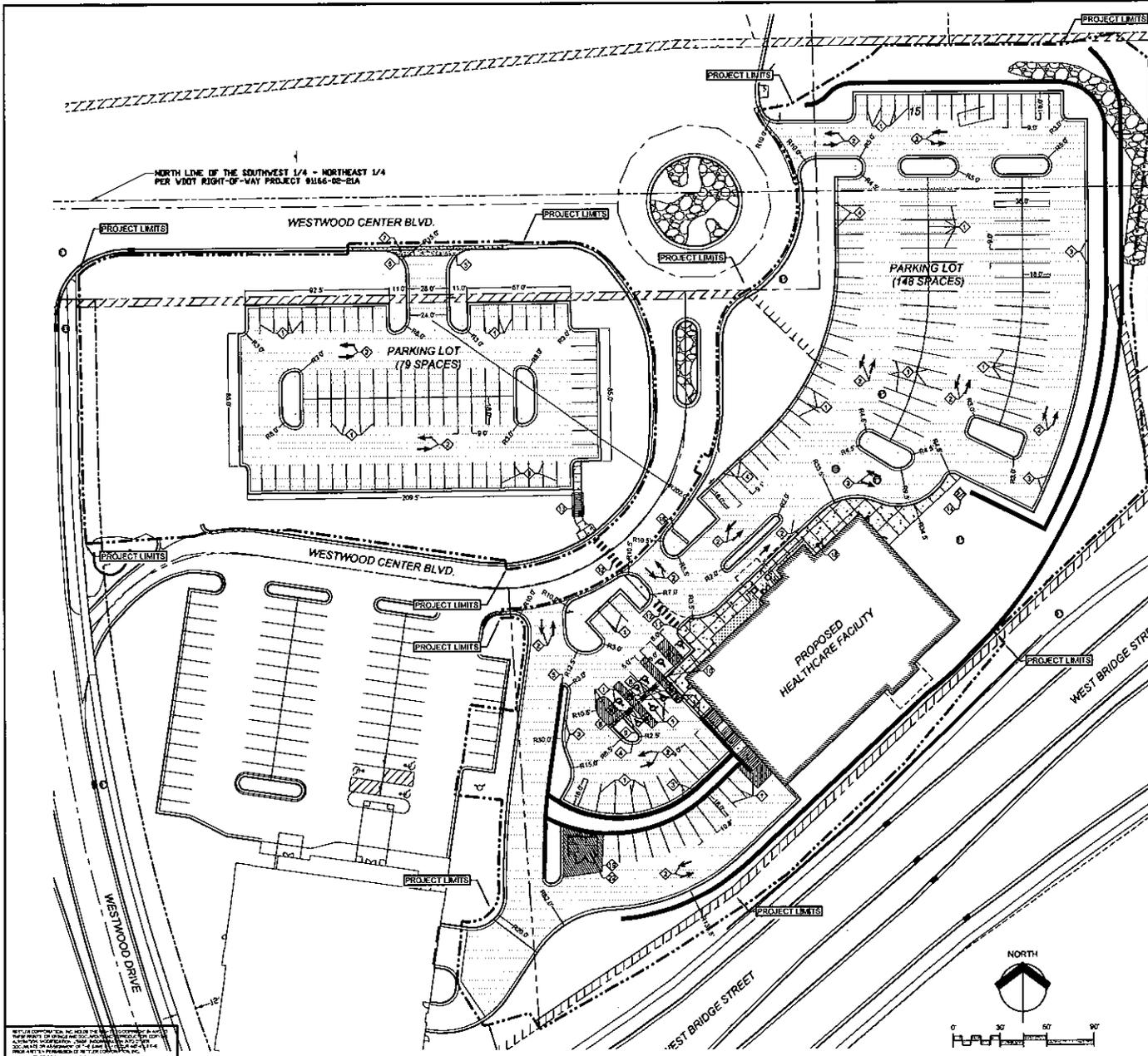
SITE LAYOUT GENERAL NOTES

- 1. 1" HOT MIX ASPHALT PAVEMENT
- 1" DENSE GRADED BASE COURSE
- 2. 2" REINFORCED CONCRETE PAVEMENT
- 1" DENSE GRADED BASE COURSE
- 3. 3" REINFORCED CONCRETE DRIVE APRON
- 1" DENSE GRADED BASE COURSE
- 4. 6"-8" RIVER JAM ROCK
- 5. 6" HIGH CHAIN LINK CONSTRUCTION FENCING (SHALL REMAIN IN PLACE UNTIL PROJECT COMPLETION)



**PRELIMINARY DRAFT
NOT FOR CONSTRUCTION**

Status & Approvals	
Project Key Plan	
NOT FOR CONSTRUCTION	
Rev.	Date
Project Title	
Project Phase CDs - IN PROGRESS	
Date 5/16/12	Drawn By R.R.
Project Number 11757-00	Checked By R.Z.
Sheet Title SITE LAYOUT PLAN	
Sheet Number C-3	Rev. No.



SITE LAYOUT GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL PROPOSED DIMENSIONS ARE REVIEWED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
- SEED, FERTILIZE, AND CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS EXCEPT THOSE AREAS INDICATING SOO.
- ALL CONTRACTORS SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING SITE CONDITIONS PRIOR TO THE BID DATE.
- ALL RADIUS DIMENSIONS AT CURB LOCATIONS ARE TO THE BACK OF CURB.
- CURB ALONG THE STREET SHALL BE THE SAME SIZE AS THE EXISTING CURB ON THE STREET.

SITE LAYOUT GENERAL NOTES

- ◇ PARKING LOT STRIPING (TYP.)
- ◇ DIRECTIONAL ARROWS (TYP.)
- ◇ 24" CURB & GUTTER - TYPE A - CATCH
- ◇ 24" CURB & GUTTER - TYPE B - REJECT
- ◇ CURB TERMINUS
- ◇ PRECAST CONCRETE PARKING CURB STOP
- ◇ CONCRETE DRIVE APRON
- ◇ CONCRETE DRAINAGE FLUME
- ◇ STANDARD ACCESSIBLE PARKING SIGN
- ◇ VAN ACCESSIBLE PARKING SIGN
- ◇ ADA ACCESSIBLE CURB RAMP
- ◇ CROSSWALK STRIPING
- ◇ CONCRETE WALK - STAIRS & HANDRAILS
- ◇ ELECTRICAL SERVICE & TRANSFORMER - BY ELEC. CONTRACTOR. CONCRETE TRANSFORMER PAD BY ELEC. CONTRACTOR - SEE ELECTRICAL PLANS FOR DETAILS.
- ◇ ARMOR TILE, MODEL ADA-C-2424, COLONIAL RED - DETECTABLE WALKING TILES
2" W x 4" L, CAST IN PLACE TILES
*1/2" TALL PER MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS
- ◇ SITE ENTRY FEATURE / SIGNAGE - BY OTHERS
- SEE ARCHITECTURAL PLANS FOR DETAILS
- ◇ BUILDING DOWN SPOUT & SCUPPER - BY OTHERS
- SEE ARCHITECTURAL / PLUMBING PLANS FOR DETAILS
- ◇ FLAG POLE WITH CONCRETE FOOTING & LIGHTING
- SEE ELECTRICAL PLANS FOR LIGHTING DETAILS
- ◇ SITE DUMPSTER PAD & WASTE STORAGE ENCLOSURE
- SEE ARCHITECTURAL PLANS FOR DETAILS
- ◇ SITE LIGHTING FIXTURES & BASES - BY ELEC. CONTRACTOR
- SEE ELECTRICAL PLANS FOR DETAILS
- ◇ PAINTED STEEL SAFETY SOLLARD
- IRONSITH PROVENOMAX, MODEL R028-6
- FILL W/ CONCRETE PER MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS
- PAINT TO MATCH CURTAINWALL - SEE ARCHITECTURAL PLANS FOR DETAILS
- ◇ DUMPSTER ENCLOSURE & 7" UNREINFORCED CONCRETE SLAB
- 6" TALL CERTAINTED BUFTECH CHESTERFIELD ENCLOSURE
- CERTAINT FINISH, NATURAL CLAY COLOR
- ENCLOSURE TO INCLUDE (2) MATCHING 3' SWINGING DOORS
- ◇ FORMS & SURFACES, CAPITOL BIRE RACK
- ALUMINUM TEXTURE: POWDERCOAT FINISH
- QUANTITY

SITE LAYOUT GENERAL NOTES

- 3" TYPE E-1-D, HOT MIX ASPHALT
- 12" DENSE GRADED BASE COURSE
- 5" REINFORCED CONCRETE PAVEMENT
- 8" DENSE GRADED BASE COURSE
- 8" REINFORCED CONCRETE DRIVE APRON
- 12" DENSE GRADED BASE COURSE
- 6"x8" RIVER JAM ROCK
- 8' HIGH CHAIN LINK CONSTRUCTION FENCING (SHALL REMAIN IN PLACE UNTIL PROJECT COMPLETION)

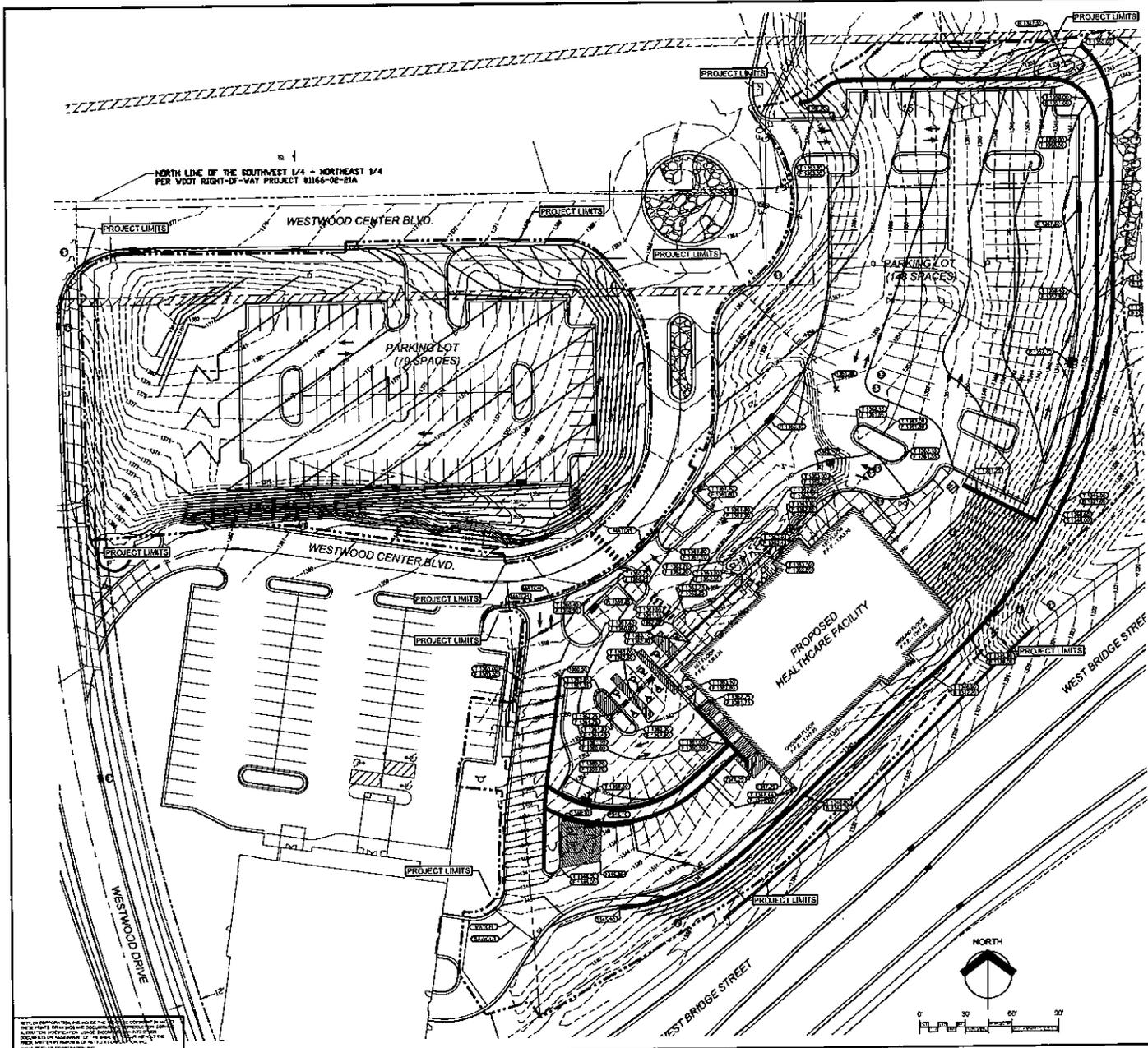
**PRELIMINARY DRAFT
NOT FOR CONSTRUCTION**

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A	1/17/25	JK	PLAN CHECK
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SHRETTLER
Corporation
© 2025 Shrettler Corporation, Wausau, WI 54981
www.shrettler.com

SITE LAYOUT PLAN

**MEDICAL OFFICE BUILDING
1901 WESTWOOD CENTER BLVD
WAUSAU, WISCONSIN**



REVISIONS TO THE ORIGINAL PLAN

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SITE GRADING LEGEND

PROPOSED CONTOURS	— 1092 —
EXISTING CONTOURS	— 1082 —
PROPOSED SPOT ELEVATION	1082.00
PROPOSED RIM ELEVATION	1092.00
PROPOSED TOP OF CURB/WALL ELEV.	1091.00
PROPOSED BOTTOM OF WALL ELEV.	1090.00
PROPOSED FLOWLINE ELEV.	1092.00

**PRELIMINARY DRAFT
NOT FOR CONSTRUCTION**

REV.	DATE	ISSUED FOR
A	5/15/15	PLAN CORR.

DRAWN	XX
CHECKED	XX
DOCUMENT NO.	1512

BRETTLER
corporation
3311 Madison Park Drive, Green Bay, WI 54902
Telephone: 715-331-7800 Fax: 715-341-1057
www.brettler.com

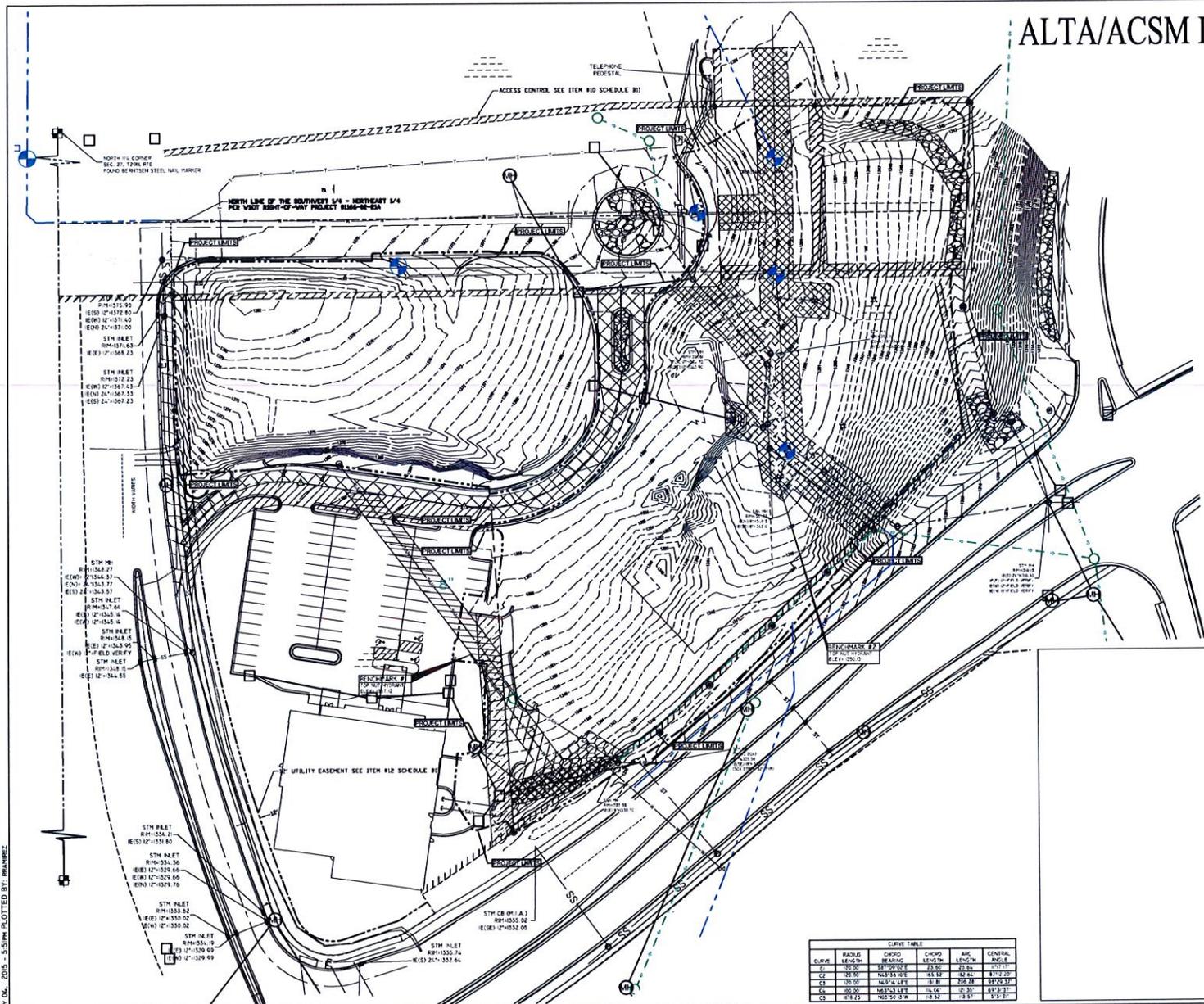
SITE GRADING PLAN

MEDICAL OFFICE BUILDING
1801 WESTWOOD CENTER BLVD
WAUSAU, WISCONSIN

C4.0

BRETTLE CORPORATION, DESIGNER AND ENGINEER, HAS PREPARED THIS PLAN AND SPECIFICATIONS FOR THE PROPOSED GRADING AND CONSTRUCTION OF THE MEDICAL OFFICE BUILDING AND PARKING LOT. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN AND SPECIFICATIONS. THE CLIENT HAS REPRESENTED THAT THE PROPOSED GRADING AND CONSTRUCTION OF THE MEDICAL OFFICE BUILDING AND PARKING LOT IS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS, ORDINANCES, REGULATIONS AND STANDARDS. BRETTLE CORPORATION AND ITS ENGINEERS ASSUME NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN AND SPECIFICATIONS.

ALTA/ACSM LAND TITLE SURVEY



LEGEND

(Symbol) 1.00: BORN PIPE FOUND
 (Symbol) MEASURED BEARING/LENGTH
 (Symbol) EXISTING STORM SEWER MANHOLE
 (Symbol) EXISTING SANITARY SEWER MANHOLE
 (Symbol) EXISTING HYDRANT
 (Symbol) EXISTING WATER INLET
 (Symbol) EXISTING HEALTH POLE
 (Symbol) EXISTING LIGHT POLE
 (Symbol) EXISTING CURB INLET
 (Symbol) EXISTING CATCH BASIN

 VEHICULAR ACCESS POINT
 (Symbol) EXISTING FIBER OPTIC CABLE
 (Symbol) EXISTING UNDERGROUND GAS
 (Symbol) EXISTING UNDERGROUND ELECTRIC
 (Symbol) EXISTING UNDERGROUND TELEPHONE
 (Symbol) EXISTING OVERHEAD UTILITIES
 (Symbol) EXISTING WATER MAIN
 (Symbol) EXISTING STORM SEWER
 (Symbol) EXISTING SANITARY SEWER
 (Symbol) EXISTING PROPERTY LINE

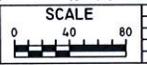
 (Symbol) EXISTING PROPP
 (Symbol) EXISTING CURB & GUTTER

VERTICALLY
 1" = 10' SCALE
 SHOWING APPROXIMATELY THE NORTH 1/2
 OF SECTION 27, TOWNSHIP 24 NORTH,
 RANGE 7 EAST OF THE CITY OF WAUSAU

CURVE TABLE					
CURVE	RADIUS	CHORD	CHORD	ARC	CENTRAL
	LENGTH	BEARING	LENGTH	LENGTH	ANGLE
C1	100.00	100°00'00"	23.86	23.86	100°00'00"
C2	100.00	100°00'00"	23.86	23.86	100°00'00"
C3	100.00	100°00'00"	23.86	23.86	100°00'00"
C4	100.00	100°00'00"	23.86	23.86	100°00'00"
C5	100.00	100°00'00"	23.86	23.86	100°00'00"

DRAWING FILE: I:\2015 PROJECTS\15-023-001\15-023-001-01.dwg
 USER: JWP
 DATE: 12-14-2011
 PLOT: 12-14-2011 10:00 AM
 PLOTTER: HP DesignJet 2400
 PLOT SCALE: 1" = 10'
 PLOT SHEET: 1 OF 3
 PLOT SHEET TITLE: ALTA/ACSM LAND TITLE SURVEY

REI Engineering, Inc.
 4350 N. 25TH AVENUE
 WAUSAU, WISCONSIN 54980
 PHONE: 715.678.9784 FAX: 715.678.4050
 EMAIL: MAIL@REIENGINEERING.COM



DATE	REVISION	BY	CHK'D	DESIGNED BY:	CHECKED BY: TAR
				DESIGNED BY: JWP	APPROVED BY: JWP
				DRAWN BY: JWP	DATE: 12-14-2011

ALTA/ACSM LAND TITLE SURVEY
 OPB LLC
 2 EAST MIFFLIN STREET
 MADISON, WI 53703

REI
 REI No. 2804L
 SHEET 1 OF 3
 C1.0



WEST ELEVATION

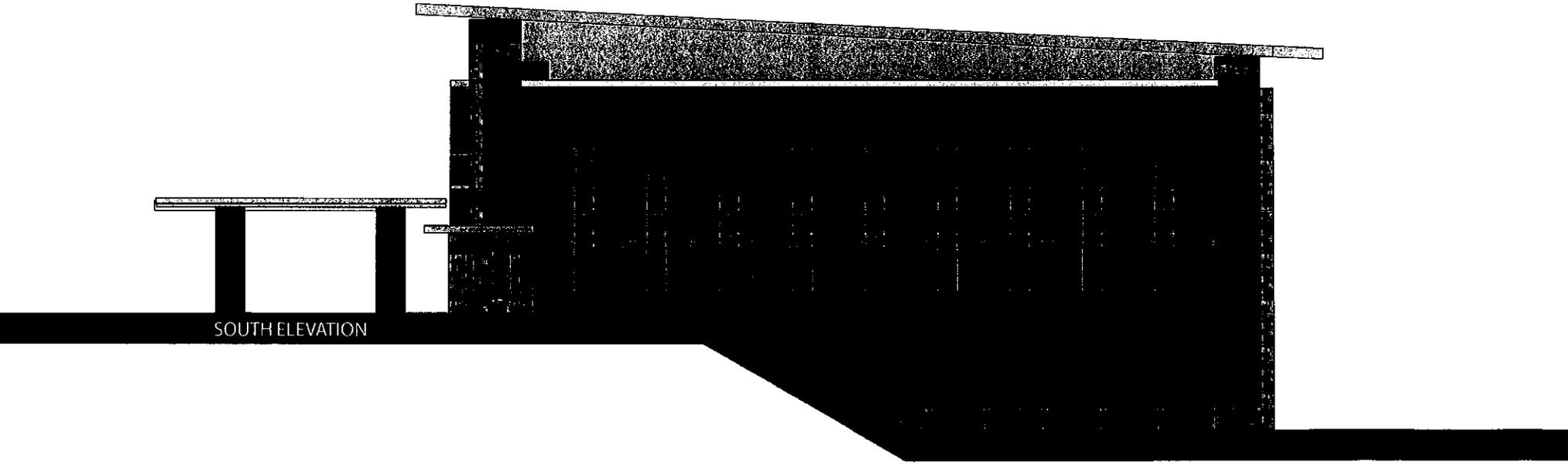


EAST ELEVATION

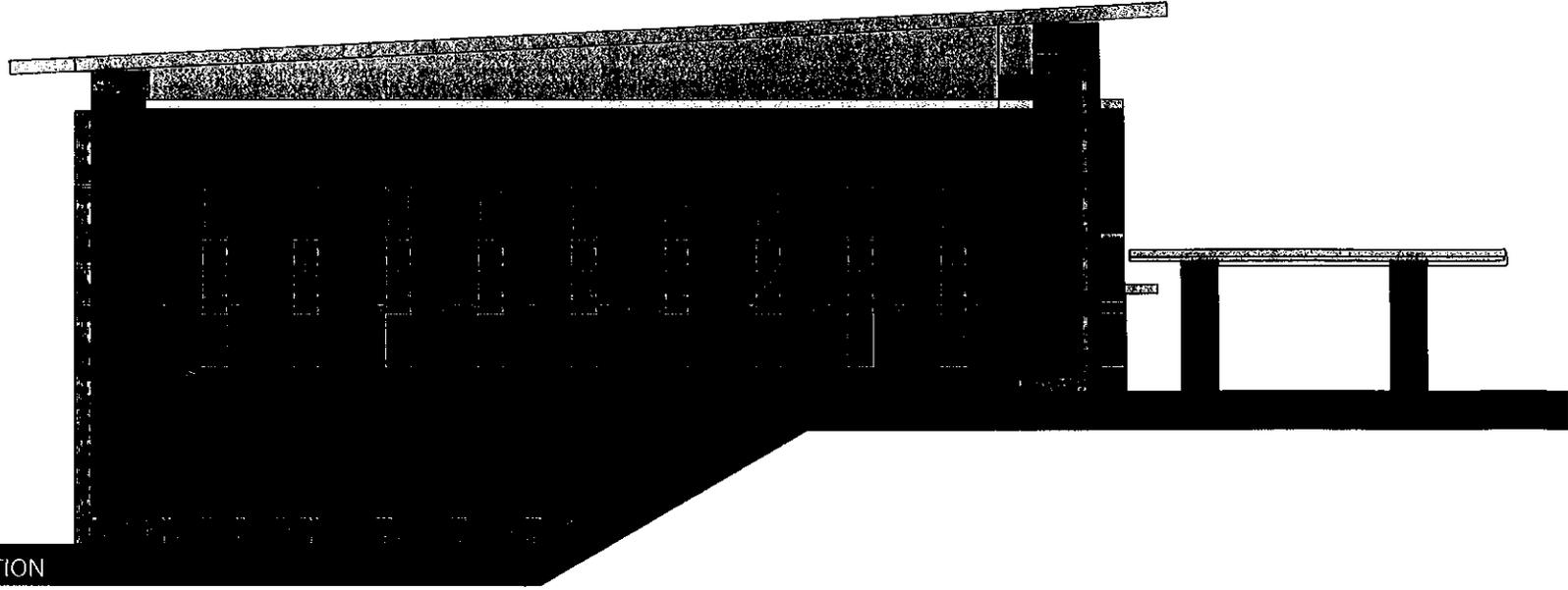
MEDICAL OFFICE BUILDING

1901 Westwood Center Blvd
WAUSAU, WISCONSIN





SOUTH ELEVATION



NORTH ELEVATION

MEDICAL OFFICE BUILDING

1901 Westwood Center Blvd
WAUSAU, WISCONSIN



- NORTH LINE OF THE SOUTHWEST 1/4 - NORTHEAST 1/4
PER WDOT RIGHT-OF-WAY PROJECT #1166-02-21A

WESTWOOD CENTER BLVD.

PARKING LOT
(140 SPACES)

WESTWOOD CENTER BLVD.

PROJECT LIMITS

PROJECT LIMITS

PARKING LOT
(144 SPACES)

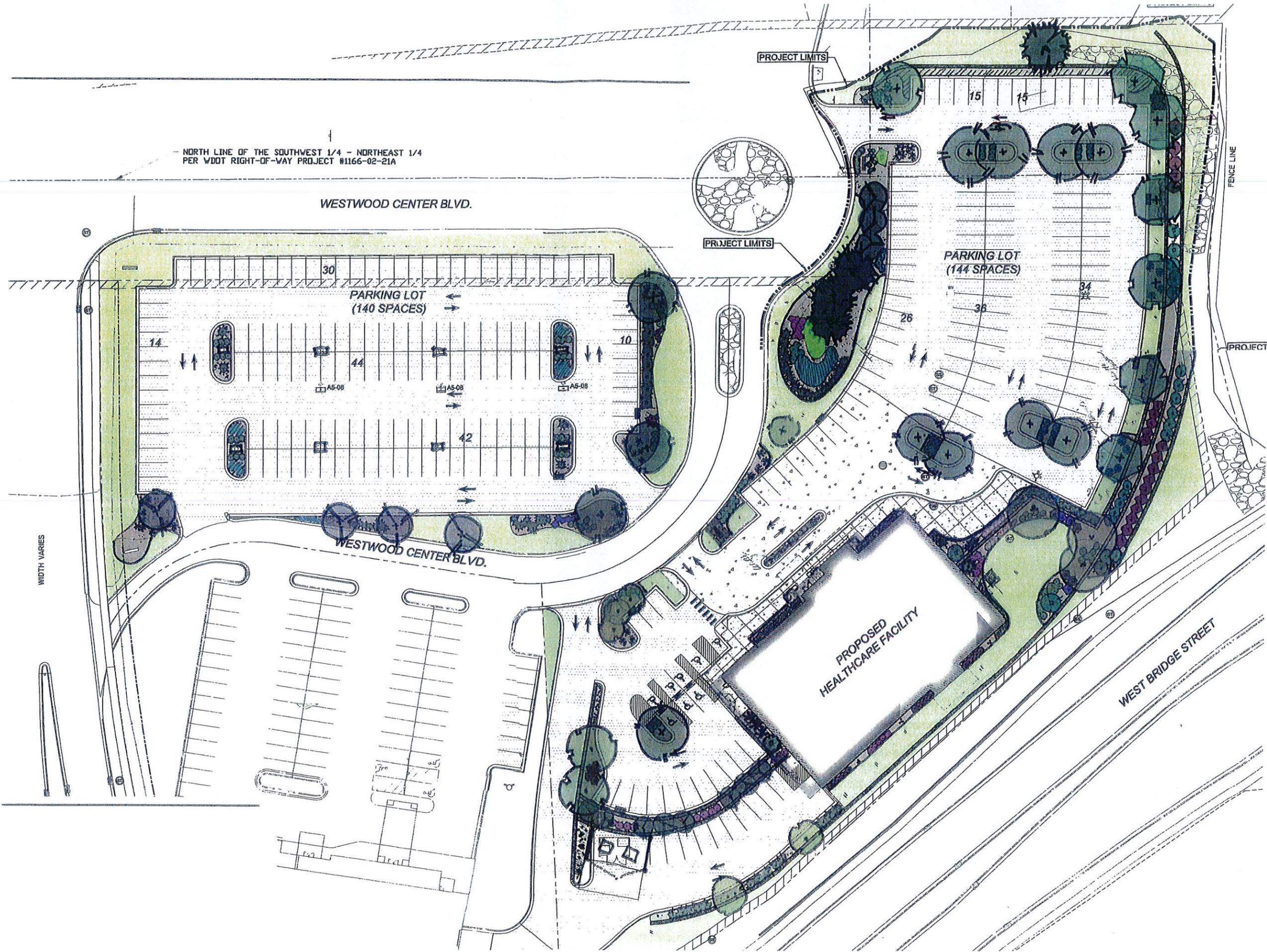
PROJECT

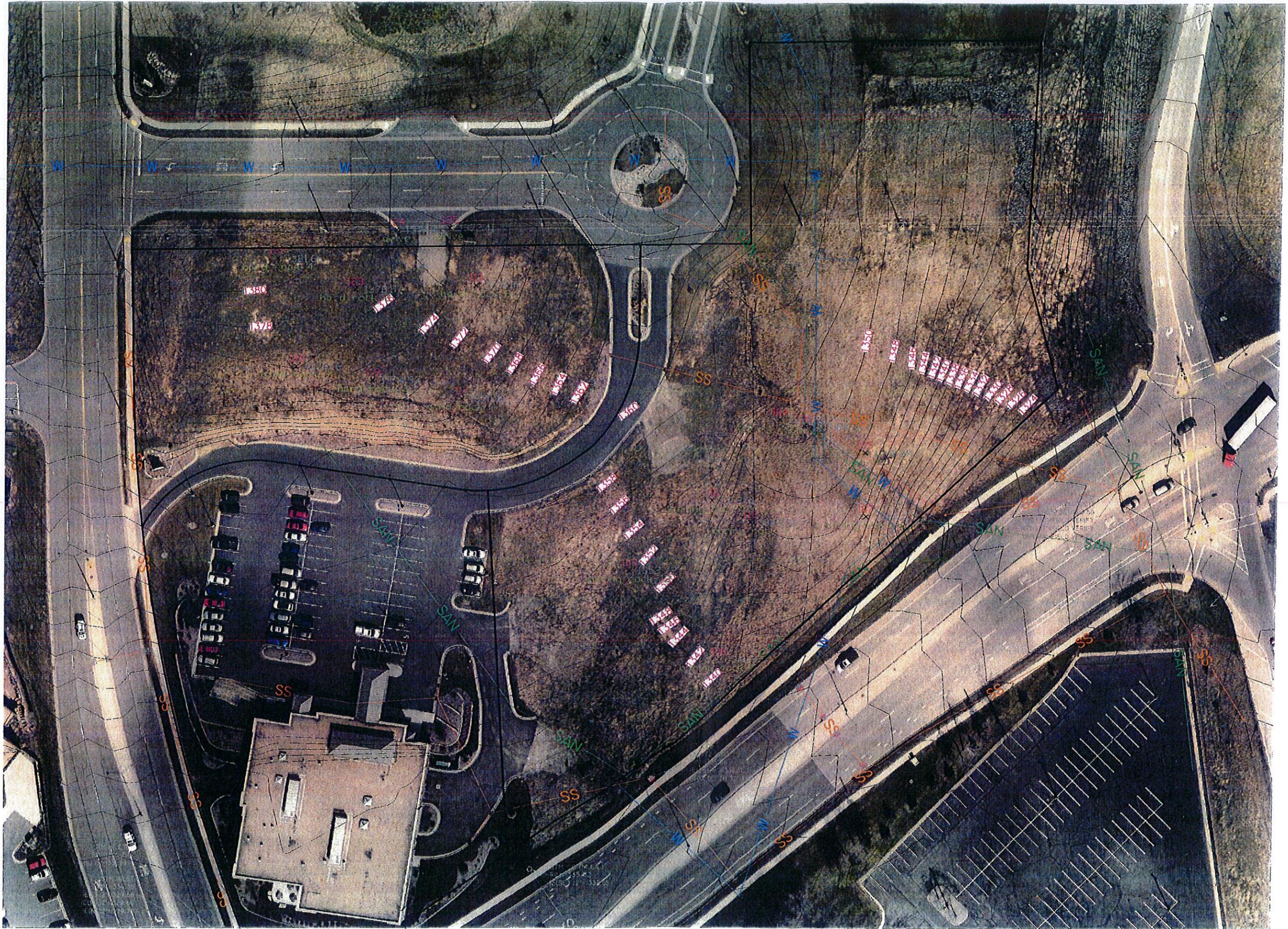
FENCE LINE

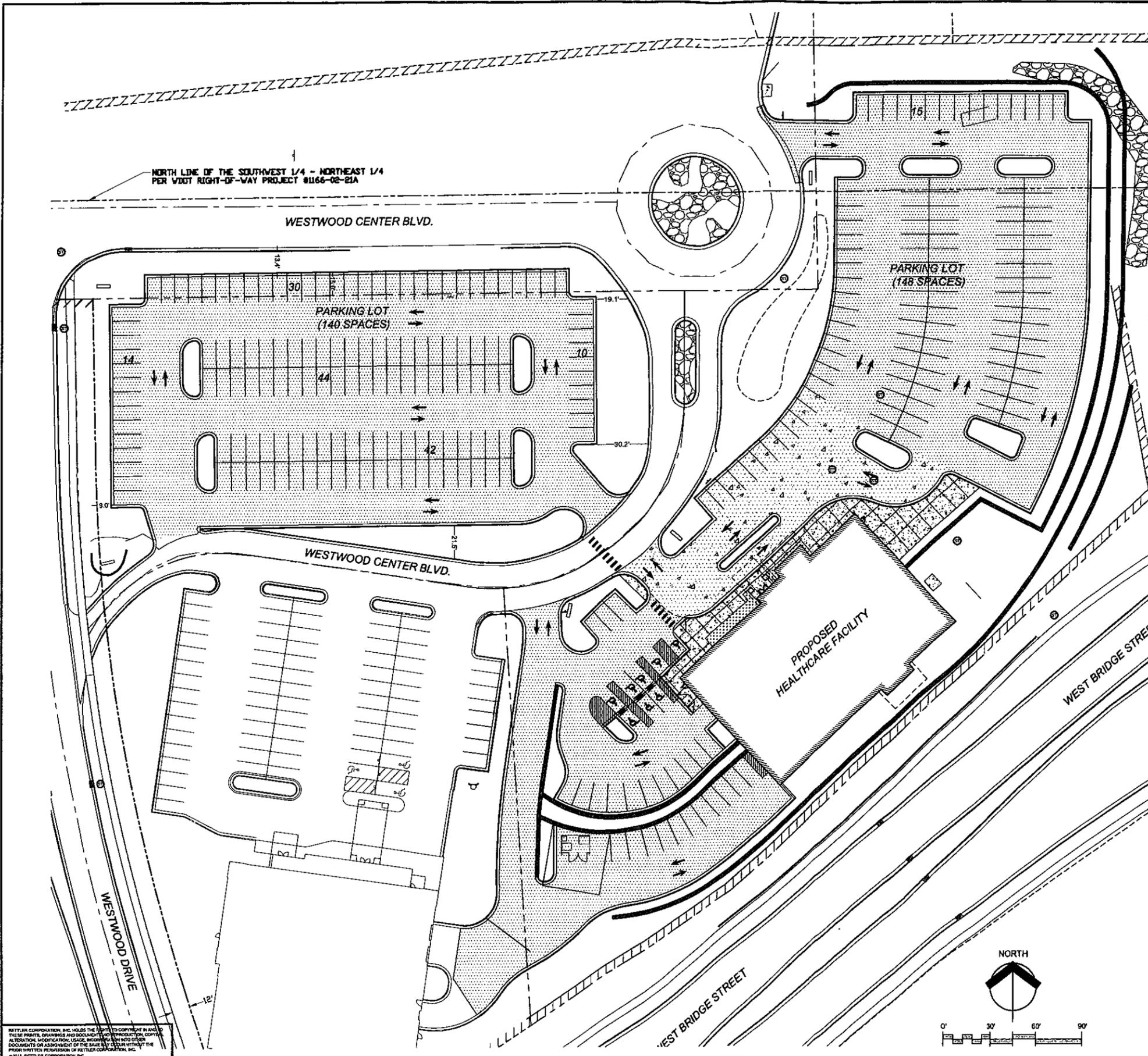
PROPOSED
HEALTHCARE FACILITY

WEST BRIDGE STREET

WIDTH VARIES







NORTH LINE OF THE SOUTHWEST 1/4 - NORTHEAST 1/4
PER VDOT RIGHT-OF-WAY PROJECT #1166-02-21A

WESTWOOD CENTER BLVD.

WESTWOOD CENTER BLVD.

PROPOSED
HEALTHCARE FACILITY

WEST BRIDGE STREET

WEST BRIDGE STREET

WESTWOOD DRIVE

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SITE LAYOUT GENERAL NOTES

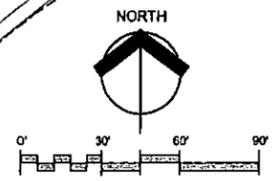
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE PROJECT MANAGER.
- SEED, FERTILIZE, AND CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS EXCEPT THOSE AREAS INDICATING SOD.
- ALL CONTRACTORS SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING SITE CONDITIONS PRIOR TO THE BID DATE.
- ALL RADIUS DIMENSIONS AT CURB LOCATIONS ARE TO THE BACK OF CURB.
- CURB ALONG THE STREET SHALL BE THE SAME SIZE AS THE EXISTING CURB ON THE STREET.

SITE LAYOUT GENERAL NOTES

- 1 PARKING LOT STRIPING (TYP.) CXX
- 2 DIRECTIONAL ARROWS (TYP.) CXX
- 3 24" CURB & GUTTER - TYPE A - CATCH CXX
- 4 24" CURB & GUTTER - TYPE B - REJECT CXX
- 5 CURB TERMINUS CXX
- 6 PRECAST CONCRETE PARKING CURB STOP CXX
- 7 CONCRETE DRIVE APRON CXX
- 8 CONCRETE DRAINAGE FLUME CXX
- 9 STANDARD ACCESSIBLE PARKING SIGN CXX
- 10 VAN ACCESSIBLE PARKING SIGN CXX
- 11 ADA ACCESSIBLE CURB RAMP CXX
- 12 CROSSWALK STRIPING CXX
- 13 CONCRETE WALK - STAIRS & HANDRAILS CXX
- 14 ELECTRICAL SERVICE & TRANSFORMER - BY ELEC. CONTRACTOR
8'-6" x 7'-0" CONCRETE TRANSFORMER PAD BY ELEC. CONTRACTOR -
SEE ELECTRICAL PLANS FOR DETAILS
- 15 ARMOR TILE, MODEL ADA-C-2424, COLONIAL RED - DETECTABLE
WARNING TILES
- 2' W x 2' L, CAST IN PLACE TILES
- INSTALL PER MANUFACTURER'S SPECIFICATIONS &
RECOMMENDATIONS*
- 16 SITE ENTRY FEATURE / SIGNAGE - BY OTHERS
- SEE ARCHITECTURAL PLANS FOR DETAILS
- 17 BUILDING DOWN SPOUT & SCUPPER - BY OTHERS
- SEE ARCHITECTURAL / PLUMBING PLANS FOR DETAILS
- 18 SITE DUMPSTER PAD & WASTE STORAGE ENCLOSURE
- SEE ARCHITECTURAL PLANS FOR DETAILS
- 19 SITE LIGHTING FIXTURES & BASES - BY ELEC.
CONTRACTOR
- SEE ELECTRICAL PLANS FOR DETAILS
- 20 PAINTED, STEEL SAFETY BOLLARD
- IRONSMTIH PHOENICIAN, MODEL 9028-6
- FILL W/ CONCRETE PER MANUFACTURER'S SPECIFICATIONS &
RECOMMENDATIONS
- PAINT TO MATCH CURTAINWALL - SEE ARCHITECTURAL PLANS
FOR DETAILS
- 21 DUMPSTER ENCLOSURE & 7" UN-REINFORCED CONCRETE SLAB
- 6' TALL, CERTAINTED BUFFTECH CHESTERFIELD ENCLOSURE
- CERTAINGRAIN FINISH, NATURAL CLAY COLOR
- ENCLOSURE TO INCLUDE (2), MATCHING, 5' SWINGING DOORS
- 22 FORMS & SURFACES, CAPITOL, BIKE RACK
- ALUMINIUM TEXTURE POWDERCOAT FINISH
- QUANTITY

SITE LAYOUT GENERAL NOTES

- 4" TYPE E-1.0, HOT MIX ASPHALT CXX
- 12" DENSE GRADED BASE COURSE CXX
- 5" REINFORCED CONCRETE PAVEMENT
6" DENSE GRADED BASE COURSE CXX
- 8" REINFORCED CONCRETE DRIVE APRON
12" DENSE GRADED BASE COURSE CXX
- 6"-8" RIVER JAM ROCK CXX
- 6' HIGH, CHAIN LINK, CONSTRUCTION FENCING
(SHALL REMAIN IN PLACE UNTIL PROJECT
COMPLETION) CXX



**PRELIMINARY DRAFT
NOT FOR CONSTRUCTION**

REV	DATE	ISSUED FOR
A	5/15/15	PLAN COMM

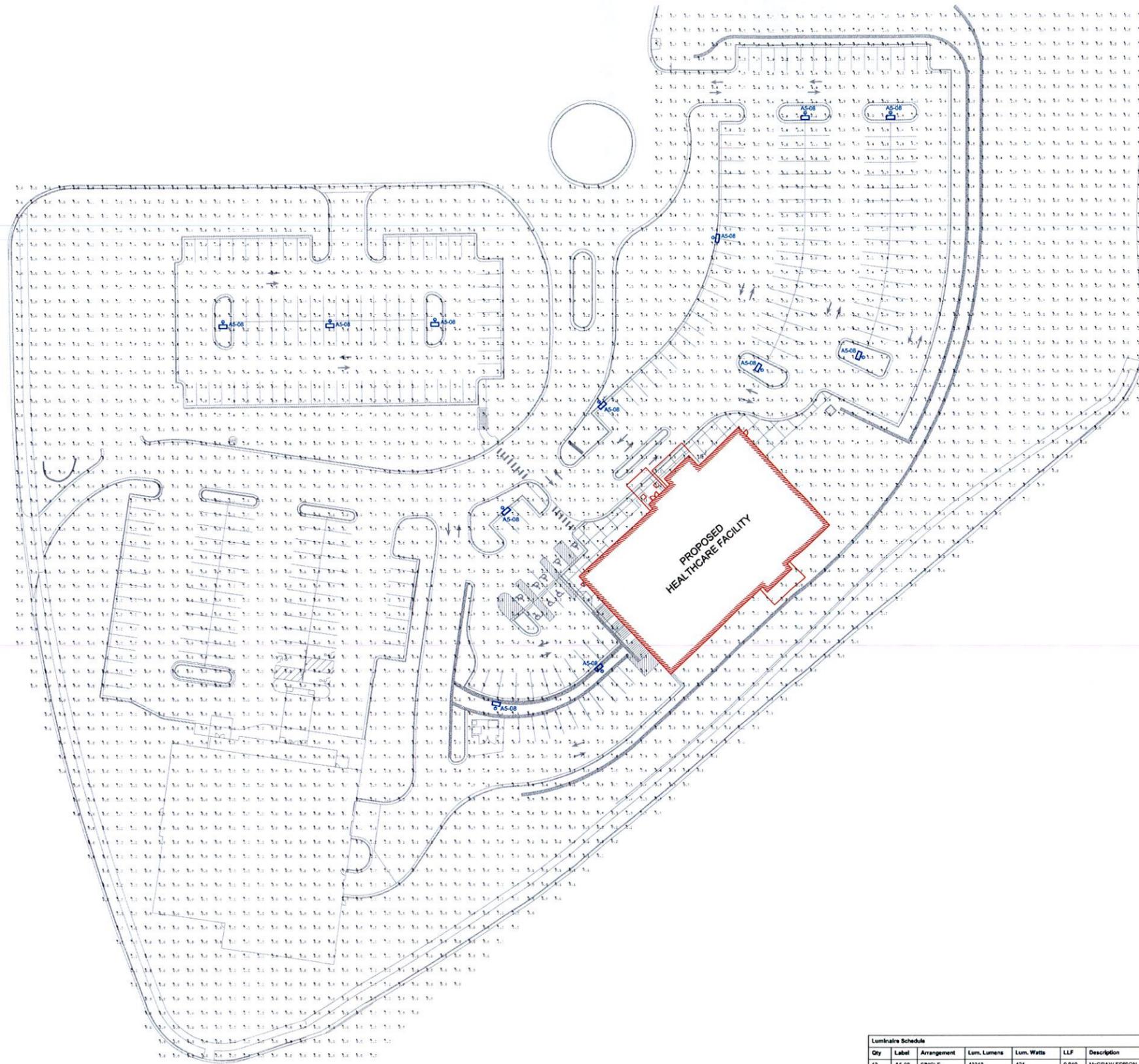
DRAWN: JX
CHECKED: JB
DOCUMENT NO. 15.021

RETTLER
corporation

3517 Business Park Drive, Shawano, WI 54226
Telephone: 715-341-2233, Fax: 715-341-0431
Email: info@rettlar.com, website: www.rettlar.com

SITE LAYOUT PLAN

MEDICAL OFFICE BUILDING
1901 WESTWOOD CENTER BLVD
WAUSAU, WISCONSIN



Luminaire Schedule						
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
12	AS-08	SINGLE	43318	421	0.910	McGRAV-EDMSON + (1) OLEON-AE-08-LED-E1-0W0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTIRE SITE	Illuminance	Fc	1.19	6.3	0.0	N.A.	N.A.
MAIN PARKING LOT	Illuminance	Fc	3.27	6.2	0.4	8.16	15.50
OUT PARKING LOT	Illuminance	Fc	3.26	6.3	0.8	4.08	7.88

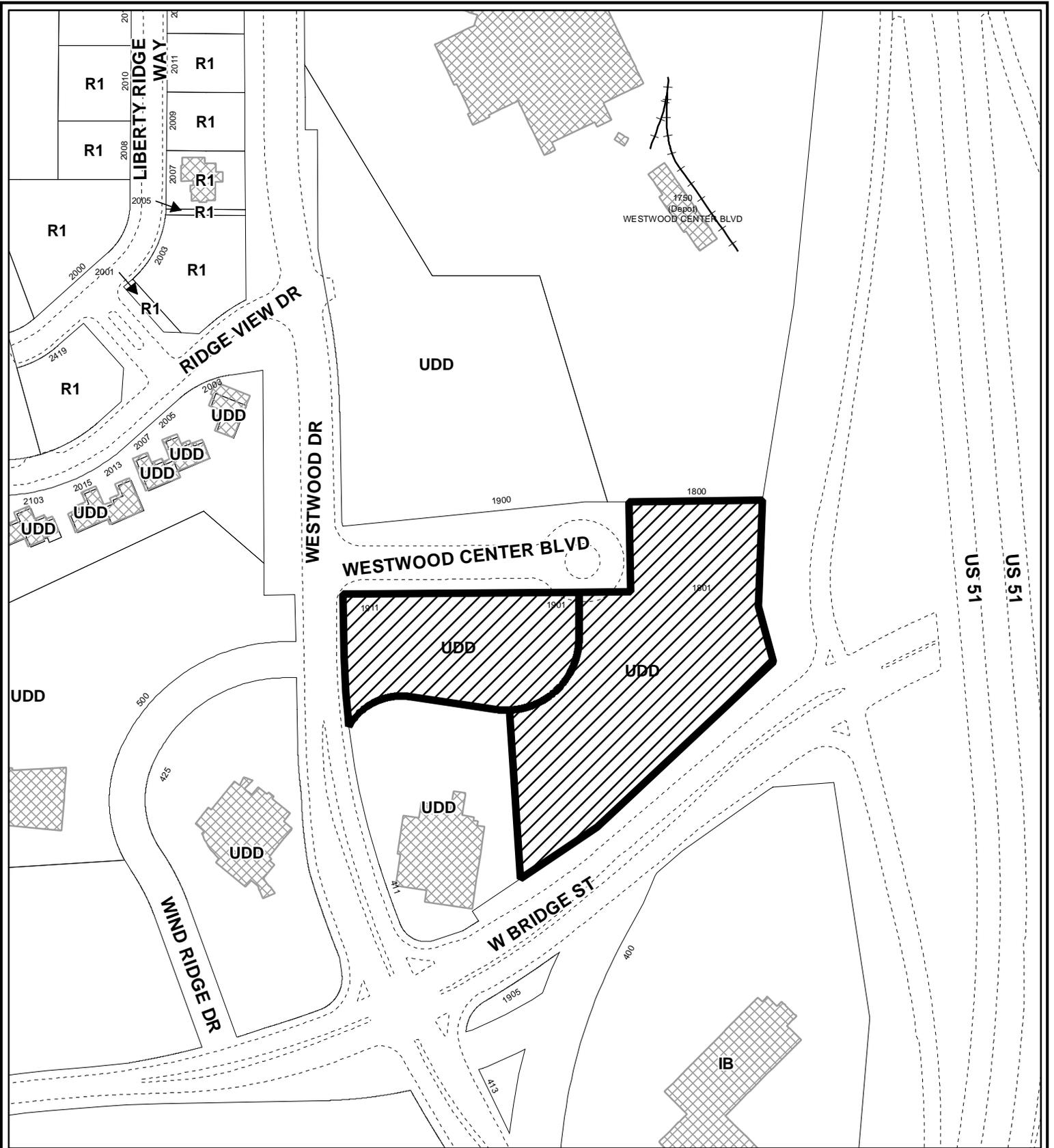


Enterprise Lighting LTD

WAUSAU MEDICAL

LED SITE LIGHTING PLAN

DATE	SCALE	SHEET NUMBER
MAY 14, 2015	1" = 30'-0"	E1



Map Date: May 11, 2015

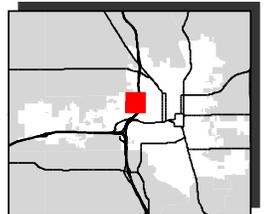
City of Wausau
Marathon County Wisconsin



 Building

 Area of Interest

Map Location



CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

ORDINANCE OF PUBLIC HEALTH & SAFETY COMMITTEE

Creating Section 8.08.05 Feral cat caregiver and TNR program requirements

Committee Action: Approved 5-0

Ordinance Number:

Fiscal Impact: None

File Number: 15-0606

Date Introduced: June 10, 2015

The Common Council of the City of Wausau do ordain as follows:

Section 1. That Section 8.08.05 Feral cat caregiver and TNR program requirements, is hereby created to read as follows:

8.08.05. Feral cat caregiver and TNR program requirements. (a) Definitions. For purposes of this section, the following definitions shall apply:

- (1) “Authorized TNR program” means a TNR program directed and operated by the Community Cat Action Team, provided it remains a non-profit animal rescue or welfare group and qualifies as an exempt organization under section 501(c)(3) of the Internal Revenue Code and has as at least one of its purposes, the rescue and placement of cats which cannot be kept or placed by public animal control agencies or humane shelters.
- (2) “Caregiver” means any person trained and designated by an authorized TNR program as a caregiver, who in accordance with a good faith effort to trap, neuter, vaccinate and return a feral or stray cat to a feral cat colony, provides food, water or shelter to or otherwise cares for a feral or stray cat.
- (3) “Ear-tipped” means a straight line cut of the tip of the ear on a cat, typically the left ear, performed by a licensed veterinarian when a cat is under anesthesia and identifies a cat as sterilized.
- (4) “Feral cat” means a cat that is wild, untamed, or unsocialized.
- (5) “Feral cat colony” means a group of cats that congregates, more or less, together as a unit. Although not every cat in a colony may be feral, any nonferal or free-roaming cats that congregate with a colony shall be deemed to be a part of it.

(6) “Free-roaming cat” means a cat that is regularly off the property of the owner and is not under the physical control or restraint of the owner.

(7) “Pilot area” means that portion of the City bounded by east side of Third Avenue, the west side of Sixth Avenues, the north side of Stewart Avenue and the north side of Spruce Street.

(8) “Stray cat” means a cat that is socialized to humans and does not have an owner.

(9) “TNR” means a trap, neuter and return program pursuant to which feral and stray cats are trapped, neutered or spayed, vaccinated against rabies, ear tipped and returned to the original location where they live.

(b) Feral cat colonies shall be permitted within the pilot area only, and caregivers shall be entitled to maintain such colonies in such pilot area upon strict compliance with the terms and conditions of this section.

(1) Registration of the feral cat colony with the authorized TNR program.

(2) Taking reasonable steps to obtain the vaccination of the colony population for rabies and making reasonable efforts to update the vaccinations on cats that can be recaptured.

(3) Taking reasonable steps to result in the spay/neuter, by a licensed veterinarian, of the colony population.

(4) Taking reasonable steps to find permanent, inside homes for colony cats that exhibit the potential for acclimating to such a placement.

(5) Providing adequate containment and disposal of excrement. Caregivers shall be subject to the provisions of section 8.08.220 notwithstanding any provision of section 8.08.001(f).

(6) Taking reasonable steps to prevent feral colony cats from creating a nuisance on adjacent properties.

(7) In the event that kittens are born to a colony cat, the caregiver shall take reasonable steps likely to result in the removal of the kittens from the feral cat colony after they have been weaned, and obtain placement of the kittens in homes, foster homes or animal rescue facilities.

(8) Immediately report to the City Animal Control Officer any cat that appears to be ill, diseased, or to have been exposed to potentially suffering from rabies. Caregivers shall be subject to the provisions of section 8.08.240 notwithstanding any provision of section 8.08.001(f).

(c) The authorized TNR program shall comply with the provisions of this subsection.

- (1) Review and approve caregivers.
- (2) Help to resolve complaints over the conduct of a feral cat colony caregiver or of cats within a colony.
- (3) Provide the City Animal Control Officer on an annual basis, or upon other reasonable request, with information relating to the authorized TNR program including number of cats and kittens spayed and neutered, number of cats and kittens placed in permanent homes, a list of the names and addresses of approved caregivers, and the number of colonies and number of cats in each feral cat colony.
- (4) Maintain liability insurance for all activities, actions and work performed under in connection with the authorized TNR program with a minimum combined single limit in an amount not less than \$1 million dollars of liability per occurrence for bodily injury and property damage and furnish the City with a Certificate of Insurance naming the City, its employees, agents, representatives, and elected and appointed officials as additional insureds. The policy of insurance shall state that coverage shall not be cancelled by the insurer in less than thirty (30) days after the insured and the City have received written notice of such cancellation

(d) It shall be an affirmative defense to prosecution under sections 8.08.030, Dognapping and catnapping; 8.08.120, Number of dogs and cats limited; 8.08.170, Licenses; and, 8.08.190, Animals not to run at large, that the animal is a feral or stray cat provided care by a caregiver in the pilot area through the authorized TNR program.

(e) The authorization of this program and ordinance and designation of the authorized TNR program shall expire on July 1, 2018, unless reauthorized by the common council.

Section 2. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 3. This ordinance shall be in full force and effect from and after its date of publication.

Adopted:
 Approved:
 Published:
 Attest:

Approved:

James E. Tipple, Mayor

Attest:

Toni Rayala, Clerk

PUBLIC HEALTH & SAFETY COMMITTEE

Date and Time: Monday, May 18, 2015, at 5:15 pm, (Council Chambers)

Members Present: Rasmussen (C), Wagner, Gisselman, Kellbach, Neal

Others Present: Alfonso, Hardel, Kujawa, Groat, Rayala, Goede, Deb Ryan, Milton Giese, Lindsey Lewitzky, Elizabeth Field, Vernon Sugimoto, Amy Frolick, Matt Paulsen, Amie Leanoff.

Ordinance Creating Section 8.08.05 Feral cat caregiver and TNR program requirements.

Rasmussen stated some representatives of the Community Cat Action Team (CCAT) program would like to work with our Humane Officer to try Trap Neuter Return in a targeted trial area where there is known to be a presence of feral cats.

Alfonso stated that rather than make changes to all the references to owner of an animal in the Municipal Code, she proposed a separate feral cat TNR ordinance as well as a change to the definition of owner. This way if the program does not continue it would be easy to put the code back the way it was and if it does continue we can add to it if necessary. She explained a person who is helping out or giving care to a colony or feral or stray cats can do it provided they are a part of an authorized TNR program. For purposes of this ordinance, the CCAT will be the authorized TNR program. It would have to remain a non-profit animal rescue or welfare group; qualify as an exempt organization; and have as one of its purposes the rescue and placement of cats that cannot be kept or placed by a humane society type of organization. A caregiver has to be trained and designated by the authorized TNR program as a person to do this. This is an attempt to distinguish people who want to have 30 cats from people who are participating in a TNR program. She noted this is just for the particular target test area.

Deb Ryan, 702 Elm St, commented that she felt representatives of CCAT should speak to her neighborhood group and provide information of the precise pilot area.

Motion by Neal, second by Wagner to approve the ordinance as presented and contingent upon delineation of the pilot area. Motion carried 5-0.



Office of the City Attorney

TEL: (715) 261-6590
FAX: (715) 261-6808

Anne L. Jacobson
City Attorney

Tara G. Alfonso
Assistant City Attorney

**COMMENTS REGARDING PROPOSED
ORDINANCE TO ENABLE IMPLEMENTATION OF
TRAP, NEUTER, RELEASE PROGRAM FOR FERAL AND STRAY CATS
BY CITIZEN VOLUNTEER GROUP**

- The City of Wausau has been requested to consider allowing a pilot trap, neuter, release program. In order to do so, certain changes are needed to chapter 8 of the Wausau Municipal Code that governs the care and control of animals.
- The draft ordinance sets up parameters for caregivers of feral and stray cats in a pilot area to give care to such animals without being held in violation of certain ordinance provisions such as sections 8.080.030, Dognapping and catnapping; 8.08.120, Number of dogs and cats limited; 8.08.170, Licenses; and, 8.08.190, Animals not to run at large. It is unclear at the time of drafting this ordinance, the exact parameters of the pilot area, and that area would need to be more clearly identified.
- The pilot area is proposed as that portion of the City bounded by east side of Third Avenue, the west side of Sixth Avenues, the north side of Stewart Avenue and the north side of Spruce Street.
- The draft ordinance also seeks to ensure individuals who are caregivers of feral and stray cats under an “authorized TNR program” operated by a local organization known as Community Cat Action Team (CCAT) are distinguishable from individuals who may simply desire to own numerous cats.
- In speaking with the Humane Society of Marathon County Humane, Inc., (HSMC) the CCAT will apparently not be sponsored by or operated under the auspices of its organization.
- In the event a feral or stray cat was to be delivered to the HSMC by the CCAT, there is no provision in the draft ordinance that would authorize or obligate the City to pay for such surrender or delivery of the animal to the HSMC. However, the City would still be obligated to pay for animals delivered to the HSMC by animal control and/or the police department.
- Since the City will be relieving caregivers of feral and stray cats under an authorized TNR program from liability under certain municipal ordinances, the proposed ordinance seeks to define the responsibilities of caregivers and the authorized TNR program in managing colonies of feral cats in an effort, to the extent possible, minimize inconvenience and nuisance to the surrounding community area.
- It is unclear as to how a TNR program will distinguish between a cat that has an owner but is perhaps “at large” or “free-roaming,” from a stray cat without an owner but is socialized to humans. Liability potentially exists (although the amount and extent is unclear) to an individual who would vaccinate and neuter the cat of another without the permission of that owner.

- The draft ordinance provides that the CCAT must acquire liability insurance and name the City and its employees, agents, representatives and elected and appointed officials as additional insureds.
- In the event the City approves changes to ordinances, it is also strongly recommended that the City condition its approval upon CCAT providing the City with an indemnification and release in the following form through a separate document:

CCAT shall defend, indemnify and hold harmless City, its employees, agents, and elected and appointed officials from and against all liabilities, losses, judgments, actions, suits, obligations, debts, demands, damages, penalties, claims, costs, charges and expenses, including reasonable attorneys' fees, of any kind or of any nature whatsoever which may be imposed, incurred, sustained or asserted against the City, its employees, agents, and/or elected or appointed officials by reason of any injury or death to any person, or loss, damage, or destruction of any property or loss of use thereof, or otherwise arising directly or indirectly as a result of the acts or omissions of CCAT, its agents, employees, or volunteers under its trap, neuter, release program within the City of Wausau.

CCAT hereby releases the City, its employees, agents, and elected and appointed officials from and against all liabilities, losses, judgments, actions, suits, obligations, debts, demands, damages, penalties, claims, costs, charges and expenses, including reasonable attorneys' fees, which may arise as a result of the acts or omissions of CCAT, its agents, employees, or volunteers under its trap, neuter, release program within the City of Wausau.

- As a pilot program, the draft ordinance proposes that the TNR program be reauthorized by the Common Council prior to July 1, 2018, or it shall expire.

ORDINANCE OF PUBLIC HEALTH & SAFETY COMMITTEE

Amending Section 8.08.001 Definitions adding “Domesticated cat or dog” and amending “owner”

Committee Action: Approved 5-0

Ordinance Number:

Fiscal Impact: None

File Number: 92-0627

Date Introduced: June 10, 2015

The Common Council of the City of Wausau do ordain as follows:

Add ()

Delete (——)

Section 1. That Section 8.08.001 Definitions, is hereby amended to read as follows:

8.08.001 Definitions.

...

(d) “Domesticated cat or dog” means a cat or dog that is socialized to humans and is appropriate as a companion for humans.

(~~d~~)(e) “Farm animal/poultry” means any warmblooded animal/fowl . . .

(e)(f) “Owner” means any individual, partnership or corporation that has the right of property in an animal or who keeps, harbors, cares for, acts as its custodian, or who knowingly permits an animal to remain on or about his/premises/property for five or more consecutive days. For purposes of this chapter, any individual located within the pilot area as defined in section 8.08.05(7), designated in writing by a City authorized TNR program, who acts as a caregiver for a feral or stray cat that has been ear tipped as part of a TNR program shall not be deemed to be an owner of such feral or stray cat; provided however, that such individual complies with the provisions of Section 8.08.05 and provides a copy of the written designation to appropriate City officials upon request.

(~~f~~)(g) “Pet” means and animal kept for pleasure rather than utility, which may/may not be susceptible to rabies.

(~~g~~)(h) “Temporary foster care” means the care of a dog or cat by a person residing in a single or two family dwelling unit for 6 months or less and where such animal has been placed in the care of such person by a non-profit animal rescue, shelter, or welfare group qualifying as an exempt organization under section 501(c)(3) of the Internal Revenue Code.

(h)(i) “Unprovoked bite” means not stimulated to produce an angry or vexed reaction.

(i)(j) “U.S.D.A. approved rabies vaccine” means rabies vaccine for dogs, cats, horses, cows or sheep only.

Section 2. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 3. This ordinance shall be in full force and effect on the day after its publication.

Adopted:
Approved:
Published:
Attest:

Approved:

James E. Tipple, Mayor

Attest:

Toni Rayala, Clerk

PUBLIC HEALTH & SAFETY COMMITTEE

Date and Time: Monday, May 18, 2015, at 5:15 pm, (Council Chambers)

Members Present: Rasmussen (C), Wagner, Gisselman, Kellbach, Neal

Others Present: Alfonso, Hardel, Kujawa, Groat, Rayala, Goede, Deb Ryan, Milton Giese, Lindsey Lewitzky, Elizabeth Field, Vernon Sugimoto, Amy Frolick, Matt Paulsen, Amie Leanoff.

Ordinance Amending Section 8.08.001 Definitions adding (e) “Domesticated cat or dog” and (f) amending “owner.”

Rasmussen indicated this ordinance is related to the previous to amend the definitions.

Motion by Neal, second by Wagner to approve the ordinance amendment. Motion carried 5-0.

CITY OF WAUSAU, 407 Grant Street, Wausau, WI 54403

RESOLUTION OF THE FINANCE COMMITTEE			
URGING THE GOVERNOR TO VETO BUDGET LANGUAGE THAT CHANGES ROOM TAX CONTROL			
Committee Action:		Approved 4-0	
Fiscal Impact (2015):		Loss of Revenue Control \$810,442 based upon 2014 collections	
File Number:	15-0616	Date Introduced:	6/10/2015

FISCAL IMPACT SUMMARY			
COSTS	<i>Budget Neutral</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Loss of local revenue control \$810,442
	<i>Included in Budget:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Budget Source:</i>
	<i>One-time Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Recurring Costs:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
SOURCE	<i>Fee Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Grant Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>Debt Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount</i> <i>Annual Retirement</i>
	<i>TID Financed:</i>	Yes <input type="checkbox"/> No <input type="checkbox"/>	<i>Amount:</i>
	<i>TID Source: Increment Revenue</i> <input type="checkbox"/> <i>Debt</i> <input type="checkbox"/> <i>Funds on Hand</i> <input type="checkbox"/> <i>Interfund Loan</i> <input type="checkbox"/>		

RESOLUTION

WHEREAS, the Joint Finance Committee inserted language into the state budget that changes the room tax legislation by eliminating local control and providing additional restrictions on room tax spending; and

WHEREAS, the City of Wausau Finance Committee finds the proposed changes to be detrimental to the City for the following reasons:

- Reduces accountability for the expenditure of room tax funds by placing decisions in the hands of unelected boards that are not accountable to the public and may often answer to ownership interests that are located outside of the community.
- Eliminates local control of financial resources.
- Threatens activities currently funded by room tax that support tourism and improve the City as a destination area such as the Leigh Yawkey Woodson Art Museum, Grand Theater, Wausau Main Street, Wausau Area Events, Kayak and Canoe, Center for Visual Arts and other room tax applicants who would no longer receive funding.
- Creates an imbalance in priorities between promotion and the quality of the destination.

WHEREAS, the City of Wausau currently retains less the 30% of the room tax funds for government purposes and allocates the balance of room tax revenues to tourism and destination activities,

NOW THEREFORE, BE IT RESOLVED, by the Common Council of the City of Wausau that the City is opposed to the budget modification that takes away local control of room tax collections and urges this be removed from the budget.

BE IT FURTHER RESOLVED, that a copy of this resolution be transmitted to our Governor Scott Walker, our area legislators and the Executive Director of the Wisconsin League of Wisconsin Municipalities/Urban Alliance of Cities.

Approved:

James E. Tipple, Mayor

FINANCE COMMITTEE

Date and Time: Tuesday, **May 26, 2015** @ 5:30 pm., Board Room

Members Present: Winters, Kellbach, Nagle, Oberbeck

Members Excused: Nutting

Others Present: Groat, Jacobson, Giese, Hebert, Kerntop, Kujawa, Lindman, Tipple, Rasmussen, Mielke, Neal, Elizabeth Field, Dick Barrett, Lisa Barry

In accordance with Chapter 19, Wisc. Statutes, notice of this meeting was posted and sent to the Daily Herald in the proper manner. It was noted that there was a quorum present and the meeting was called to order by Chairperson Winters.

Discussion and Possible Action regarding Room Tax Legislation – Groat

Groat stated that the League of Municipalities sent emails to cities in Wisconsin indicating that legislature was trying to get changes to the room tax law within the state budget. This would take the room tax revenue control away from the city and put it with an independent body. It would eliminate the amount of money the city gets to retain from our room tax and change the way it was allocated. When this issue came about in 2012, both Mayor Tipple and Finance Director Groat have reached out to legislators to express their opposition to this change, but feel that if we have written support of the entire council would remind the legislators our concern as it pertains to room tax. This resolution would reiterate that room tax should remain in control of the city.

The Mayor said that it would be proactive to stay on this so that we don't lose this funding. This change would affect our general fund by \$180,000.

Motion by Nagle, second by Kellbach to adopt this resolution. Motion passed 4-0

TOURISM ROOM TAX

Local Government Lodging ("Room") Tax

Motion:

Move the following:

1. Delete the current law provision that allows a municipality to directly spend the portion of room tax revenues required to be used for tourism promotion and development for those purposes, first applying to taxes collected and expenditures made on January 1, 2016.
2. Require, rather than allow, as a under current law, a municipality to forward the portion of room tax revenues required to be spent on tourism promotion and development to a local tourism commission, which could receive these funds under current law, or a tourism entity, first applying to taxes collected on January 1, 2016.
3. Specify that any municipality subject to the maximum 8% room tax rate that currently retains over 30% of local room tax revenues for purposes other than tourism promotion and tourism development would be limited to the greater of 30% of current year revenues or the following dollar amounts:
 - a. in 2016, the same dollar amount of annual room tax revenues the municipality retained for such purposes in 2013;
 - b. in 2017, the same dollar amount of annual room tax revenues the municipality retained for such purposes in 2012;
 - c. in 2018, the same dollar amount of annual room tax revenues the municipality retained for such purposes in 2011;
 - d. in 2019, the same dollar amount of annual room tax revenues the municipality retained for such purposes in 2010;
 - e. in 2020, and thereafter, the same dollar amount of annual room tax revenues the municipality retained for such purposes in 2009.
4. Beginning in 2016, annually on or before May 1, require all municipalities with a local room tax to certify and report to the Department of Revenue (DOR), on a form created and provided by the Department, the following:

- a. the amount of room tax revenue collected, and the room tax rate imposed, by the municipality in the previous year;
 - b. a detailed accounting of the amounts of such revenue that were forwarded in the previous year for tourism promotion and tourism development, that specifies the tourism commission or tourism entity that received the revenue and includes a detailed accounting for expenditures of at least \$1,000 made by a tourism commission or a tourism entity;
 - c. a list of each member of the tourism commission and each member of the governing body of a tourism entity to which the municipality forwarded room tax revenue in the previous year, and the name of the business entity the member owns, operates, or is employed by, if any.
5. Specify the following related to annual reports from municipalities with a local room tax:
- a. that DOR collect the reports and make them available to the public;
 - b. that DOR would have the authority to impose a penalty of not more than \$3,000 on a municipality that does not submit a report and that the penalty must be paid to DOR; and
 - c. that a municipality may not use room tax revenue to pay a penalty for failing to submit a report.
6. Require any municipality that collected a room tax on May 13, 1994, to include with the report to be filed on or before May 1, 2016, a copy of its room tax ordinance that was in effect on May 13, 1994, and a copy of the municipality's financial statement that was completed nearest in time to May 13, 1994, and that shows the percentage of room tax revenue that the municipality retained for its own purposes other than purposes related to tourism promotion and development.
7. Modify the current law definition of a "tourism entity" to include the following:
- a. the entity must be a nonprofit organization that came into existence before January 1, 2015, rather than January 1, 1992, as under current law, except that if no such organization exists on January 1, 2015, a municipality may contract with such an organization if one is created in the municipality; and
 - b. the entity must spend at least 51% of its revenues on tourism promotion and tourism development and must provide destination marketing staff and services for the tourism industry in a municipality.
8. Require the following relating to a tourism entity:
- a. that the governing body include at least one owner or operator of a lodging facility that collects the room tax and is located in the municipality for which the tax is collected; and

b. to report annually to each municipality from which it receives room tax revenue the purposes for which the revenues were spent, first applying to expenditures made on January 1, 2016.

9. Modify various statutory references that refer to tourism promotion and development to refer instead to tourism promotion and tourism development.

Note:

Since 1967, towns, villages, and cities have been authorized to impose a tax on establishments providing rooms or short-term lodging to the public. In general, the tax applies to hotels, motels, and rooming houses for lodging furnished for less than one month. Hospitals, nursing homes, and accommodations provided by religious, charitable, or educational organizations are excluded from the tax. The tax applies only to gross receipts from furnishing sleeping accommodations; therefore, food and other items or services furnished by hotels or motels are not subject to the tax. The room tax is in addition to state and county sales taxes that apply to room charges.

Prior to June, 1994, municipalities were not restricted as to the tax rate or use of room tax collections. However, 1993 Wisconsin Act 467 imposed a maximum tax rate of 8% (other than those municipalities financing a convention center) and required that at least 70% of any new room taxes (from newly established taxes or an increase in an existing rate) be used for tourism promotion and development, with the remaining 30% of room tax revenues being allowed to be spent for any municipal purpose. The municipality can either spend the 70% of the room tax revenues directly on tourism promotion and development or forward the funds to its tourism commission to do so.

The motion would delete a municipality's authority to spend room tax revenues that are required to be spent on tourism promotion and development directly for those purposes. Rather, the motion would require that those revenues be provided to either a municipal tourism commission (which is allowed under current law), or a tourism entity (which would be added by the motion) to be expended for tourism promotion and development. The motion would also further limit the amount of annual room tax revenue certain municipalities could retain for any municipal purpose in each year after 2015, to the greater of 30% of the current year revenues or the amount derived using an annual sliding scale for each subsequent year based on annual room tax collections in 2013, and in each of the four preceding years. Beginning in 2020, that amount would remain constant and equal to the dollar amount retained by the municipality in 2009. This provision would apply to municipalities that are currently retaining more than 30% of room tax revenues, except those municipalities that are not subject to the general 8% cap on room tax rates.

Municipalities currently submit annual room tax revenues as part of their municipal financial report form submitted to annually to DOR. The motion would require any municipality with a room tax to submit additional information to DOR specific to the collection and expenditures of annual room tax revenues.