



## OFFICIAL NOTICE AND AGENDA

of a meeting of a City Board, Commission, Department  
Committee, Agency, Corporation, Quasi-Municipal  
Corporation, or Sub-unit thereof.

**Meeting:** PLAN COMMISSION  
**Members:** Tipple (C), Lindman, Oberbeck, Bohlken, Gisselman, Atwell  
**Location:** Common Council Chambers, 407 Grant Street.  
**Date/Time:** Tuesday, November 17, 2015 at 5:00 p.m.

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1. Approve the minutes of the October 20, 2015 meeting.
2. **PUBLIC HEARING:** Discussion and possible action on establishing the zoning as M2, General Industrial District for the area recently annexed into the City of Wausau south of 917 South 60<sup>th</sup> Avenue (Eau Claire River LLC).
3. **PUBLIC HEARING:** Discussion and possible action on Amending the General Development Plan at 2130, 2121, 2201, 2221, 2301 and 2305 Northwestern Avenue by adding 2221, 2301 and 2305 to the General Development Plan allowing for a total of 120 multifamily residential units.
4. Discussion and possible action on approving the Precise Implementation Plan for 2201, 2221 and 2305 Northwestern Avenue to allow for Phase I of the multifamily residential development (60 units).
5. Discussion and possible action on amending the General Development Plan and approving the Precise Implementation Plan at 1550 Westwood Drive to allow for development of 80 multifamily residential units.
6. Discussion and possible action on amending the General Development Plan and approving the Precise Implementation Plan at 1901 North 10<sup>th</sup> Avenue to allow for an addition of 20 garage units and a small office building.
7. Discussion and possible action on the 2015 Wausau MPO Bicycle and Pedestrian Plan.
8. Discuss sign zoning regulations and authorize public hearing for potential zoning text changes.
9. Discussion and possible action on petition to vacate the alley abutting 215 East Thomas Street west to Emter Street.
10. Discussion and possible action on petition to vacate a portion of the alley bounded by Prospect Avenue, Genrich Street, Dunbar Street, and Single Avenue.
11. Discussion and possible action on petition to vacate a portion of 80<sup>th</sup> Avenue.
12. Next meeting date and future agenda items for consideration.

Adjourn

### COMMITTEE CHAIRPERSON: MAYOR JAMES E. TIPPLE

Questions regarding this agenda may be directed to the City Planning Office @ (715) 261-6760.

This Notice was posted at City Hall and faxed to the *Wausau Daily Herald* newsroom on November 12, 2015 at 2:00 p.m.

It is possible that members of, and possibly a quorum of members of, other committees of the Common Council of the City of Wausau may be in attendance at the above-mentioned meeting to gather information. No action will be taken by any such group(s) at the above-mentioned meeting other than the committee specifically referred to in this notice.

Distribution: *Wausau Daily Herald*, *City Pages*, Common Council, Department Heads, Plan Commission, Hebert, Lenz, DeSantis, Parks Dept., Werth, Schock, County Planning, Eau Claire River LLC

Please note that upon reasonable notice efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For information or to request this service, please contact the City Clerk, 407 Grant Street, Wausau WI 54403, phone 715-261-6620.

## PLAN COMMISSION

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**Time and Date:** The Plan Commission met on Tuesday, October 20, 2015, at 5:00 p.m. in the Common Council Chambers of Wausau City Hall.

**Members Present:** Mayor Tipple, Lindman, Gisselman, Atwell, Oberbeck, Bohlken

**Others Present:** Lenz, DeSantis, Hebert, Reinhart, Straub, Mitchell

In compliance with Chapter 19, Wisconsin Statutes, notice of this meeting was posted and transmitted to the *Wausau Daily Herald* in the proper manner.

Mayor Tipple called the meeting to order at 5:00 p.m. noting that a quorum was present.

### **Approve the minutes of the September 15, 2015 meeting.**

Gisselman motioned to approve the minutes of the September 15, 2015 meeting. Bohlken seconded, and the motion carried unanimously 6-0.

### **PUBLIC HEARING: Discussion and possible action on rezoning 5601 Sherman Street from UDD, Unified Development District, to R1, Single Family Residence District. (Straub)**

James Straub, 5601 Sherman Street, said that he would like to apply for a reverse mortgage, but commercial property is not accepted. The property needs to be rezoned to single family zoning in order to qualify for the mortgage. Straub said that he and his wife have lived here for 17 years, in the 12 bedroom home. At first, the plan was to move into the property for 3-4 months, but they liked it right away. Straub said his wife recently passed away, but he has several children and grandchildren and would like to have the room for his family to come home occasionally.

Mayor Tipple closed the public hearing.

Lenz said that the proposal is to rezone to Single Family Residence District. Sometimes it can be an issue rezoning to a more lenient zoning district, but in this case it's essentially going to the city's most restrictive district. Staff didn't see any issues; there are other residential properties around it. Staff recommends approval.

Atwell motioned to rezone 5601 Sherman Street from UDD, Unified Development District, to R1, Single Family Residence District. Bohlken seconded, and the motion carried unanimously 6-0. This item will go to Common Council on November 10, 2015.

### **PUBLIC HEARING: Discussion and possible action approving a conditional use at 209 West Washington Street to allow for an advertising sign in a B3, General Commercial District. (Lamar Central Outdoor LLC)**

Rich Reinhart, 9237 Heritage Drive, and Bill Mitchell, 8287 Falcon Drive introduced themselves. Reinhart said that a sign was located at the location and during a wind storm in May the sign was bent and leaning very badly. A permit was applied to replace the parts. The sign was put up in the 1960's and predates any of the sign code. During the permitting process, a conditional use permit was suggested. The sign could be a legal use and said he was a little confused when he read the staff report where it is not recommended. Reinhart asked the commission to approve the conditional use so the sign could be put back together. Mitchell thanked the commission for reviewing this.

Mayor Tipple closed the public hearing.

Lenz confirmed that staff did recommend denial. It is being treated as a new sign since the old sign was removed. This body would be reviewing if it would be acceptable as a new use. In the B3 districts, advertising signs can be allowed by a conditional use. In B4 districts, which is just across the railroad tracks, they would be prohibited. Lenz said that billboards are allowed in other areas of the city. On the last page of the staff report, a street view is illustrated. This is a critical area of the city, being the main entrance into the downtown. Lenz went over the different public safety signs and said there is a lot happening in the area with public safety and navigation. This area has been determined as the main

entrance into the downtown by the way-finding consultant. Way-finding signs will likely be placed in this area in the future. It is the gateway into the downtown. There is a world-class kayaking destination in this area. The sign would be another thing competing for a person's attention; the public safety signage is the most important, but navigation and aesthetics should also be considered. Staff feels that it is not an appropriate location for such a sign.

The commission discussed how the motion needs to be made.

Gisselman motioned to approve a conditional use at 209 West Washington Street to allow for an advertising sign in a B3, General Commercial District. Bohlken seconded, and the motion failed unanimously 0-6. This item will go to Common Council on November 10, 2015.

**PUBLIC HEARING: Discussion and possible action on rezoning 912 and 920/1000 North River Drive from B2, Community Service District; 1006, 1010, 1202 and 1212 North River Drive from M2, General Industrial District; and 1100 North River Drive from an unzoned parcel, to UDD, Unified Development District and approve the General Development Plan to allow for a mixed-use residential development. (City of Wausau)**

Lenz said that the first map in the packet shows the area that has been referred to as the East Riverfront District. The city purchased all of the property over the years, has received money to clean the area up, and has adopted a master plan for the area. At this point, a RFP is out for private development. The proposals are due November 2. Currently, the area is a mix of zoning, including industrial. It has been thought to create a UDD zoning to allow for a mix of uses, but more of a mix of commercial and residential properties. The request for proposal and cover letter are included in the packet. During preliminary discussion, it is expected the proposals will be largely residential, with some commercial.

Lenz said that with UDD zoning, there are two approvals – the first is for the General Development Plan, where the use is established, and the second approval is for the Precise Implementation Plan. As proposals come forward, more detailed plans would come to the commission for approval. Some plans for Wausau on the Water (WOW) are also included in the packet, which is what the Precise Implementation Plan approval on the agenda would be for.

Mayor Tipple closed the public hearing.

Gisselman said he thought 1202 North First Street had been changed to 1202 North River Drive. Lenz agreed and said the notices were sent out prior to the official change being made.

Gisselman asked if the former trail would become a street. Lenz said those parcels are still there and technically still have those addresses. The parcel boundaries will be redrawn and will be assigned the new addresses. These are the old addresses. Gisselman asked if the boundary of 1010 North First Street comes all the way to First Street and said he is not sure where the boundary ends. Lenz said that 1100 North First Street is the former railroad right-of-way and will essentially go away. Lenz said that the colored drawing from Stantec shows a more accurate reflection of what it will look like.

Oberbeck said it could be difficult in the future for developers if the whole area is zoned versus particular addresses. Lenz said that it would be one large zoning district, similar to the west side where the hospital and surrounding area started out as one large UDD. Oberbeck asked what would happen with different parcels with different owners and said that can't occur in UDD zoning. Hebert said that the city could still be the owner with long-term leases, similar to the mall. Hebert said it is still a work in progress and staff feels that the UDD could be changed or modified when the RFP comes back. This layout has gone through several committees. Oberbeck asked if the intention is to have the city be the owner of the property and controlling the UDD. Lenz said that it depends on the proposals that come back and the financial packages. The feedback that has been given so far has been that it would be easier for the city to

continue to be the owner of the property and lease the areas, but private ownership could also be an option. Lenz said at this point, staff wanted to get the underlying zoning to more accurately reflect the types of uses that we are trying to attract to the area, not the industrial zoning from the past. As developments come forward, the commission would approve the precise plans.

Mayor Tipple asked if it is a moot point if the city retains the land. Lenz said that we do have control over what goes there, but we should follow our own zoning ordinances. He said a bar/restaurant can go into industrial zoning, but they would need a conditional use for outdoor dining. Oberbeck said there are no requirements with UDD zoning verses other types of zoning which have specific requirements. Lenz said that there may be developers who want the whole district. He thought the commission would want some review of the plans through the UDD process. Atwell confirmed that Wausau on Water (WOW) is part of this. Lenz confirmed it would be part of the UDD, but not really the RFP, since obligations have already been made to WOW. Atwell asked if they were leasing the land from the City. Lenz said that was correct. Atwell asked if a developer would take the entire parcel including WOW. Lenz said a developer may purchase the rest of the area, but probably not the WOW parcel because the developer agreement is being worked out between the City and the WOW developers.

Bohlken motioned to rezone 912 and 920/1000 North First Street from B2, Community Service District; 1006, 1010, 1202 and 1212 North First Street from M2, General Industrial District; and 1100 North First Street from an unzoned parcel, to UDD, Unified Development District and approve the General Development Plan to allow for a mixed-use residential development. Gisselman seconded and the motion carried unanimously 6-0. This item will go to Common Council on November 10, 2015.

**Discussion and possible action on approving the Precise Implementation Plan at 912, 920/1000, 1006, 1010, 1100, 1202 & 1212 North River Drive to allow for a mixed-use residential development.**

Hebert said that 1415 North River Drive was assigned for WOW. Lenz said that in this case, the description should be a family entertainment center. In the packet, a site plan for the building is shown. The 2<sup>nd</sup> map, right after the zoning map, shows the plan. Color renderings of the building are included in the packet. Lenz said that since the developer is not at the meeting and these may not be the final drawings, staff would recommend holding off on this plan until final drawings are submitted.

Lenz said that the drawings are close to the final. Oberbeck said that site plans, service access, parking, entrances, and waste pickup locations should be included, which it is not. Mayor Tipple said this item will be brought back. Atwell asked if the RFP is asking for developers to incorporate something along these lines or is this a blank slate and asked if the RFP's should be received before approving this plan. Lenz said staff has been working independently on the WOW project and RFP. The projects have gone through different committees and have been given the green light separately. There are details that need to be worked out, like the details that Oberbeck had stated. Mayor Tipple said the intent is to bring this back to a future meeting. Lenz confirmed.

**Discussion and possible action on approving a petition for annexation – Eau Claire River LLC, South 60<sup>th</sup> Avenue (076-2907-323-0977, Town of Stettin).**

Lenz said that this petition for annexation came through the CISM committee. CISM approved the annexation. The property owners also own the property to the north. The property that is in the city is zoned M2 and they have been doing some earth work and storage. They would like to annex this property into the city with the similar use. At this time, the zoning is not being discussed. The town taxes would need to be paid for 5 years, and this is noted in the staff report. The zoning would come back to this commission, and would come back next month for that. Staff recommends approval.

Bohlken motioned to approve the petition for annexation – Eau Claire River LLC, South 60<sup>th</sup> Avenue (076-2907-323-0977, Town of Stettin). Gisselman seconded. The motion passed unanimously. It will go to Common Council on November 10, 2015.

**Discussion and possible action on right-of-way plat for the Thomas Street Project.**

Lindman said that this item went to the last CISM meeting and was approved. This plat map was based on the design layout that was approved. There was some discussion at CISM about it. There are some minor changes that would need to be made. Some ADA requirements are being looked into at the corners for the sidewalks. This needs to be approved, in order to move forward with the acquisitions.

Atwell asked if this is the last time the commission would see anything on this project. Lenz said that the other half of Thomas Street design would need to come back to the commission. Gisselman said that there are action of various committees and council. Lenz said that some items will need to go to Economic Development and Finance committees for acquisitions. Lindman said that the relocations will be approved through the appropriate channels.

Gisselman motioned to approve the right-of-way plat for the Thomas Street Project. Bohlken seconded, and the motion carried unanimously 6-0. This item will go to Common Council on October 27, 2015.

**Next meeting date and future agenda items for consideration.**

The next meeting is scheduled for November 17, 2015. Lenz said that another joint meeting with the Economic Development Committee for the downtown area may occur in the near future.

**Adjourn.**

Oberbeck motioned to adjourn. Atwell seconded, and the motion carried unanimously 6-0. The meeting adjourned at 5:50 p.m.



**STAFF REPORT**

TO: City of Wausau Plan Commission  
FROM: Brad Lenz, City Planner  
DATE: November 11, 2015

**GENERAL INFORMATION**

**APPLICANT:** City of Wausau  
**LOCATION:** 917 South 60<sup>th</sup> Avenue  
**EXISTING ZONING:** Un-zoned, recently annexed  
**REQUESTED ZONING:** M2, General Industrial District  
**PURPOSE:** To establish the zoning on recently annexed land into the city of Wausau.  
**EXISTING LAND USE:** Vacant  
**SIZE OF PARCEL:** 32.4 acres in total  
**SURROUNDING ZONING AND LAND USE:**  
North: M2; Industrial  
South: Town of Stettin; Vacant  
East: UDD, Unified Development District; Multi-family homes  
West: Town of Stettin; Vacant  
  
See attached Zoning Map

**ANALYSIS**

For land that is annexed into the city of Wausau, the Wausau Municipal Code (23.04.040) states that within thirty (30) days of the annexation the Plan Commission shall file an application for an amendment to establish the zoning district classification of the land. However, if no action is taken regarding the classification of annexed land within ninety (90) days of the date of

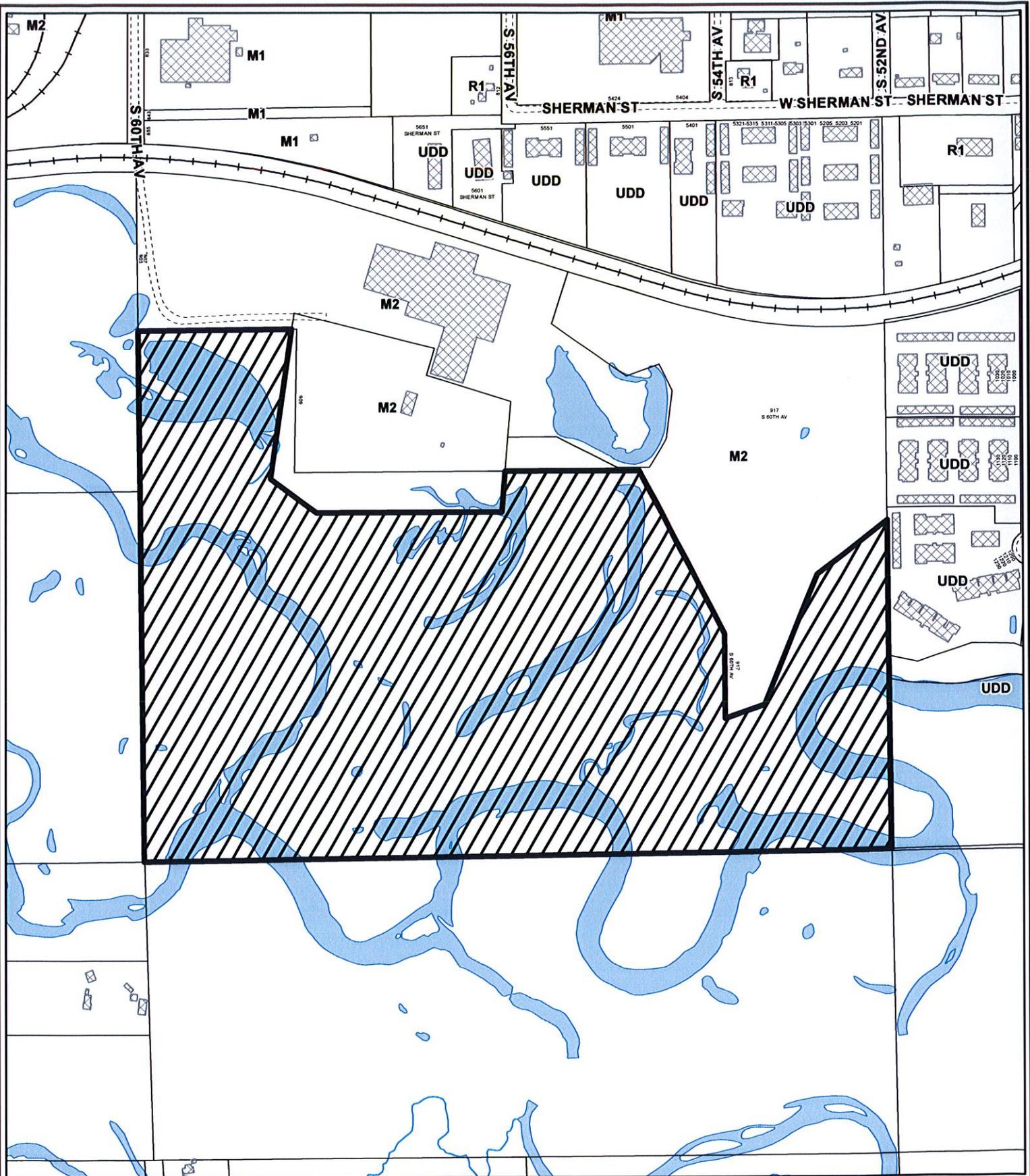
annexation, the land shall acquire the R1 (Single Family Residential) district classification and shall remain so zoned until properly reclassified.

The petition to annex the proposed property was approved by Common Council on November 10, 2015. The petitioners have expressed interest in industrial use of the property, similar to the land directly adjacent to the north that is already in the city and zoned M2, General Industrial District.

Establishing the zoning for recently annexed property follows the zoning map amendment procedures outlined in Title 23 of the municipal code. Chapter 23.78.060 outlines criteria the plan commission shall follow regarding zoning change recommendations, where applicable:

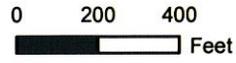
- (a) Existing use of property within the general area of the property in question and the effect the proposed rezoning is likely to have on these land uses;*
- (b) The compatibility of the land uses which would be permitted by the zone change with the existing or planned land uses within the general area of the property in question;*
- (c) The zoning classification of property within the general area of the property in question;*
- (d) The suitability of the property in question to the uses permitted under the existing zoning classification;*
- (e) The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place since the day the property in question was placed in its present zoning classification;*
- (f) Whether the proposed zone change is generally consistent with the goals, objectives and policies identified in the City of Wausau Comprehensive Plan*
- (g) The nature and extent of the input received at the public hearing regarding the proposed zone change;*
- (h) The precedence, if any, that approval of the requested zoning could have on similar requests made elsewhere in the city; and*
- (i) If the property was recently annexed, the zoning classification of the property prior to annexation.*

The proposed land sits between an industrial site and the Rib River. It is essentially undevelopable at this point on its own because of limited access to it. The railroad crossing at the end of 60<sup>th</sup> Avenue is a private crossing while access to the east is limited by existing development. Access to the property from the west and south is limited by natural features. The proposed land would join the industrial property to the north creating a larger industrial area.



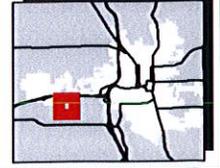
Map Date: November 3, 2015

**City of Wausau**  
Marathon County Wisconsin



- Area of Interest
- Building

Map Location







## MEMO

TO: Members of City Plan Commission

FROM: Brad Lenz, City Planner

DATE: November 11, 2015

SUBJECT: General and Precise Plans for Northwestern Avenue Apartments

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Petitioners are requesting approval of the precise plans for Phase I of the apartment development south of Northwestern Avenue. Staff believes the general plan should also be considered for amendment, given the precise plans that were submitted.

### General Development Plan

Previous approval was given for the General Development Plan to allow for 252 residential units, housed in a combination of duplexes and 16-unit multi-family buildings. The current plan calls for a total of 120 units, broken out into 10 buildings of 12 units each. Staff feels that a change to the general plan should be noted to reflect the reduction in the number of units overall, as well as a change to the makeup of the units.

Since the previous approval, land was annexed into the city that was part of the plan but not within the city limits. The general plan should also be amended to include the parcels that were previously not part of the city. The proposed plan would now include land that is entirely within the corporate limits of Wausau.

Staff set up a public hearing to amend the general plan (as well as approve the precise plans) according to the amendment procedures for a new zoning change. This included notifying neighbors within 200 feet of the zoning change. Staff also notified residents along Meadow Brook Way, according to past directives of the Common Council.

### Precise Implementation Plans

Petitioners submitted the attached plans seeking precise implementation approval. Please see the attached narrative from the petitioners for a written description of the project.

Historically, Plan Commission and Common Council have given City staff authority to approve certain details of UDD applications, such as stormwater management, landscaping plans, signage, etc. With the current plans, staff feels that there are several details of the project yet to be worked out before building permits are ready to be issued. These details are:

- Proposed grading plan to show the elevation changes throughout the site, particularly from Northwestern Avenue to the floor elevations of the buildings.
- Landscaping plan showing retaining walls and/or other features other than what is directly adjacent to the buildings.
- Schedule/plan for the extensive earthwork to be done prior to construction of the apartments.
- Developer agreement outlining the responsibilities for the utility improvements needed to serve the site.
- Building elevations to show exterior design of the apartments, building materials, etc.
- Plan for pedestrians and bicycles to move within the site and across the railroad tracks to the area proposed for greenspace dedication.

It is the option of the commission whether to grant conditional approval based on staff review of the above items, or whether more detailed plans should be brought back to the commission for precise implementation plan approval.

A MULTI-FAMILY RESIDENTIAL DEVELOPMENT  
BY  
PREMIER REAL ESTATE MANAGEMENT, LLC

Premier Real Estate Management, LLC, Brookfield, is proposing to build a 60-unit, low-density, multi-family residential development on 10.24 acres on Northwestern Avenue. This project will be considered Phase I of a possible two phase development.

The proposed development will consist of five identical twelve-unit, two-story structures totaling 60 dwelling units. The proposed density of the development is calculated to be 5.9 units per acre. The calculated percentage of open/green space is 69%.

Each building will consist of 12 two-bedroom units. The total number of bedrooms proposed is 120.

Each unit will have a private exterior entrance, and a single-stall attached garage with direct access to the unit. One additional exterior parking stall along with ample visitor parking will be provided.

The rental rates for the proposed units will be on a market rate basis, currently expected to range between \$750 and \$850. Heat will be included in the monthly rent, and all appliances including the refrigerator, washer and dryer are furnished.

Two access points onto Northwestern Avenue will be required. Stop signs will be placed at each intersection to control the vehicles leaving the development.

Public utilities, such as sanitary sewer and water, will be extended from the West side of the parcel at the developer's expense. The private sanitary sewer interceptor will be owned and maintained by the owners. A portion of the sewer system will be pressurized due to topographic conditions. The water main can be turned over to the City of Wausau, if requested by the city.

Storm water runoff will be collected within shallow drainage areas and conveyed by storm sewers before being discharged into a private detention pond serving the development. The design of the storm water management system will conform to NR151 and NR216, whereby the current runoff rate will not be increased. All proper site-grading permits will be obtained prior to the start of construction including a Notice of Intent registered with the Department of Natural Resources.

The architectural features of the proposed two-story buildings will blend with the housing styles that currently exist in the adjacent neighborhoods. The exterior of each building will be virtually maintenance free, incorporating a combination of brick and dutch-lap style vinyl siding. The face brick will cover approximately 20% of the face of each wall. The gable ends will have a vinyl siding that has a shake-like appearance and will compliment the colors of the other facade materials. Roofing materials will consist of a two-piece laminated fiberglass shingle. Private first floor patios and second floor decks

will extend 6 1/2 feet out from the wall of the building. All windows and patio doors will be of low-maintenance vinyl slide-by style. Each window will be framed with raised-panel shutters. All entry doors will be steel and painted to match the shutters. All materials and colors will be presented with the precise plan.

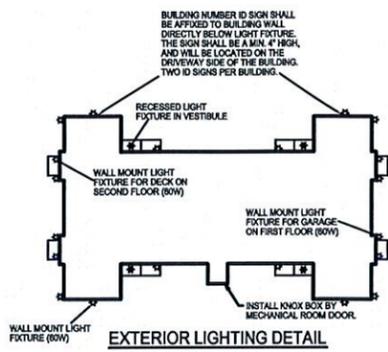
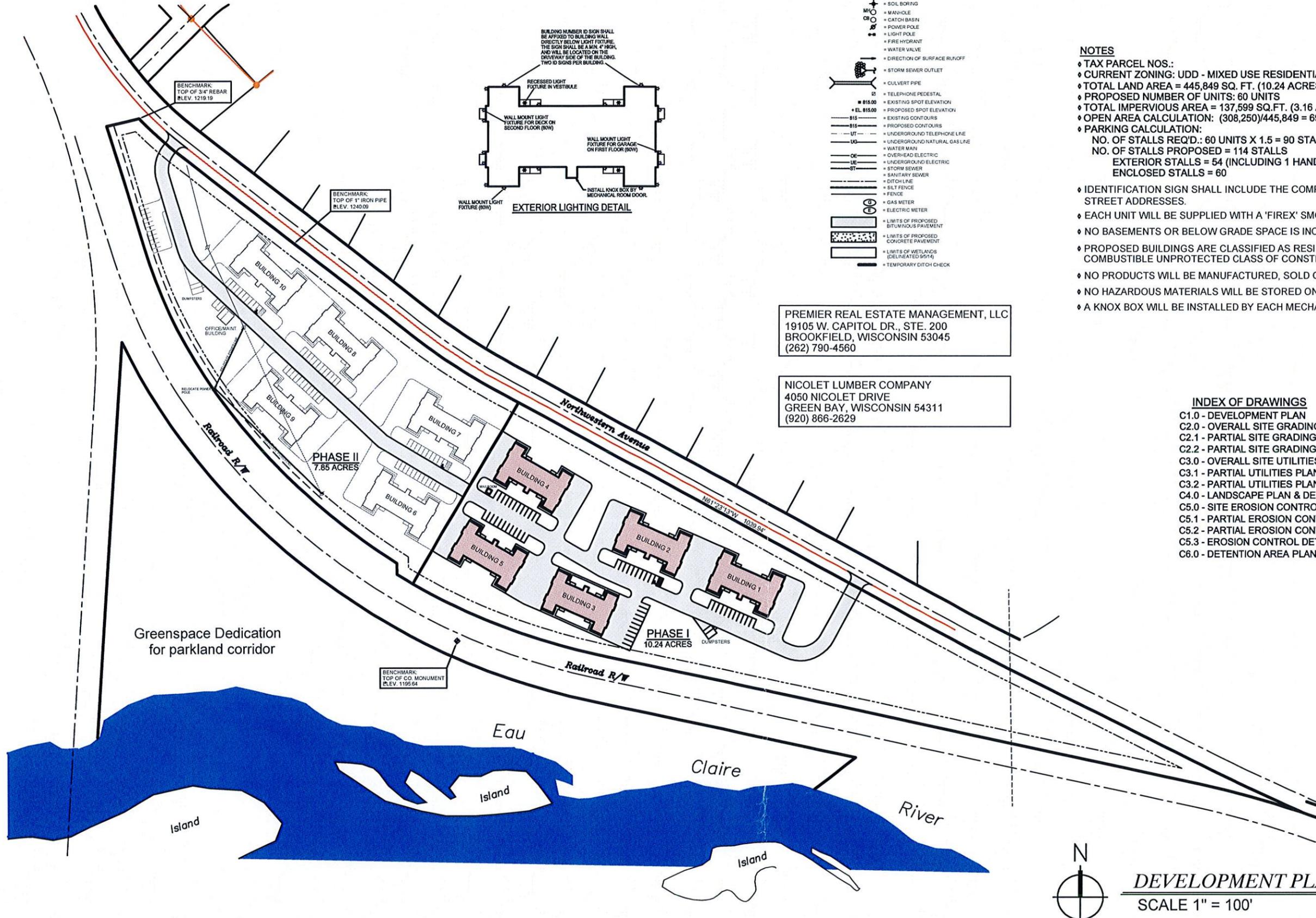
Site lighting of the Development will be generated from low impact wall mounted luminaires above each entryway and staggered along the face of the garages. The fixtures will be the cut-off series with a maximum wattage of 70 watts. They will be shielded to prevent light spraying into neighboring properties. No pole-mounted fixtures are being proposed within this development.

A separate Office/Maintenance Garage will be located on Phase II, and will include the rental office for the on-site manager. All yard maintenance and snowplowing equipment will be stored in the garage.

A 10 by 10 foot mailroom will be constructed in a central location, to give the tenants access to their mailboxes within an element-free environment. The mailroom will be lighted, and have enough space for 72 boxes, and at least two outgoing mailboxes.

# NORTHWESTERN AVENUE ESTATES

CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN



- NOTES**
- ♦ TAX PARCEL NOS.:
  - ♦ CURRENT ZONING: UDD - MIXED USE RESIDENTIAL
  - ♦ TOTAL LAND AREA = 445,849 SQ. FT. (10.24 ACRES)
  - ♦ PROPOSED NUMBER OF UNITS: 60 UNITS
  - ♦ TOTAL IMPERVIOUS AREA = 137,599 SQ. FT. (3.16 ACRES) (31%)
  - ♦ OPEN AREA CALCULATION: (308,250)/445,849 = 69%
  - ♦ PARKING CALCULATION:  
NO. OF STALLS REQ'D.: 60 UNITS X 1.5 = 90 STALLS (MIN.)  
NO. OF STALLS PROPOSED = 114 STALLS  
EXTERIOR STALLS = 54 (INCLUDING 1 HANDICAP STALL)  
ENCLOSED STALLS = 60
  - ♦ IDENTIFICATION SIGN SHALL INCLUDE THE COMPLEX NAME AND CORRESPONDING STREET ADDRESSES.
  - ♦ EACH UNIT WILL BE SUPPLIED WITH A 'FIREX' SMOKE DETECTION SYSTEM.
  - ♦ NO BASEMENTS OR BELOW GRADE SPACE IS INCLUDED.
  - ♦ PROPOSED BUILDINGS ARE CLASSIFIED AS RESIDENTIAL; TYPE VB COMBUSTIBLE UNPROTECTED CLASS OF CONSTRUCTION.
  - ♦ NO PRODUCTS WILL BE MANUFACTURED, SOLD OR STORED ON-SITE.
  - ♦ NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
  - ♦ A KNOX BOX WILL BE INSTALLED BY EACH MECHANICAL ROOM DOOR.

PREMIER REAL ESTATE MANAGEMENT, LLC  
19105 W. CAPITOL DR., STE. 200  
BROOKFIELD, WISCONSIN 53045  
(262) 790-4560

NICOLET LUMBER COMPANY  
4050 NICOLET DRIVE  
GREEN BAY, WISCONSIN 54311  
(920) 866-2629

- INDEX OF DRAWINGS**
- C1.0 - DEVELOPMENT PLAN
  - C2.0 - OVERALL SITE GRADING PLAN
  - C2.1 - PARTIAL SITE GRADING PLAN
  - C2.2 - PARTIAL SITE GRADING PLAN
  - C3.0 - OVERALL SITE UTILITIES PLAN
  - C3.1 - PARTIAL UTILITIES PLAN
  - C3.2 - PARTIAL UTILITIES PLAN
  - C4.0 - LANDSCAPE PLAN & DETAILS
  - C5.0 - SITE EROSION CONTROL PLAN
  - C5.1 - PARTIAL EROSION CONTROL PLAN
  - C5.2 - PARTIAL EROSION CONTROL PLAN
  - C5.3 - EROSION CONTROL DETAILS
  - C6.0 - DETENTION AREA PLAN & DETAILS

Greenspace Dedication for parkland corridor



**DEVELOPMENT PLAN**  
SCALE 1" = 100'

HARRIS & ASSOCIATES, INC. CONSULTING ENGINEERS AND LAND SURVEYORS  
 2718 NORTH WISCONSIN ST. APPLETON, WI 54911  
 TEL: (920) 733-4377 FAX: (920) 733-4731

**PREMIER**  
 REAL ESTATE MANAGEMENT, LLC  
 19105 W. CAPITOL DR., STE. 200  
 BROOKFIELD, WISCONSIN 53045  
 (262) 790-4560

REV. NO.	DESCRIPTION	DATE	BY

PROJECT: PREMIER REAL ESTATE MANAGEMENT, LLC  
 NORTHWESTERN AVENUE ESTATES  
 LOCATION: NORTHWESTERN AVE., CITY OF WAUSAU  
 MARATHON COUNTY, WISCONSIN  
 DESCRIPTION: DEVELOPMENT PLAN - PHASE I

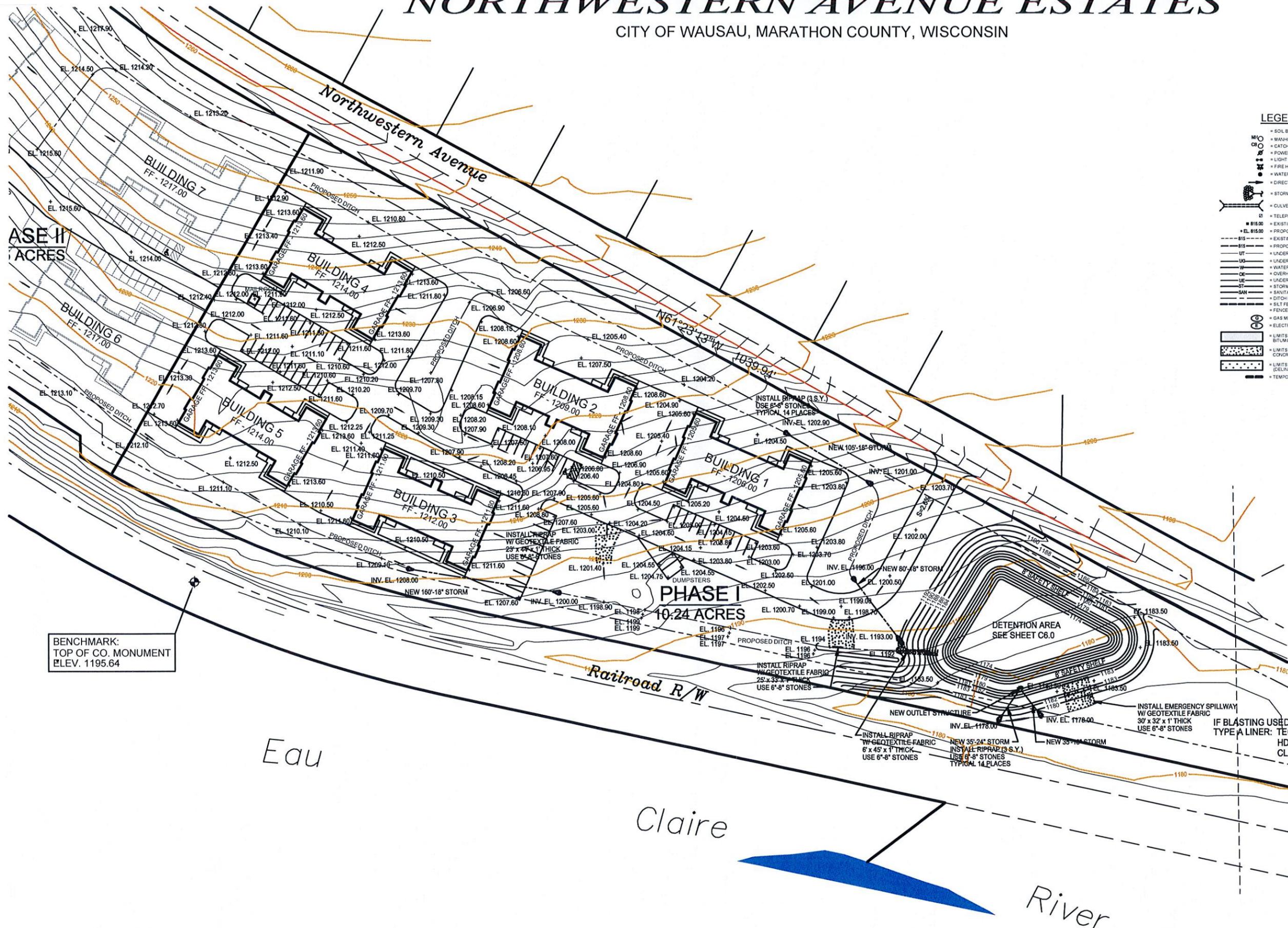
DRAWN BY: TMW  
 CHECKED BY:

DATE: 10/08/15  
 SHEET: **C1.0**  
 PROJECT-SHEET: 7464



# NORTHWESTERN AVENUE ESTATES

CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN



BENCHMARK:  
TOP OF CO. MONUMENT  
ELEV. 1195.64

### LEGEND

- SOIL BORING
- MANHOLE
- CATCH BASIN
- POWER POLE
- LIGHT POLE
- FIRE HYDRANT
- WATER VALVE
- DIRECTION OF SURFACE RUNOFF
- STORM SEWER OUTLET
- CULVERT PIPE
- TELEPHONE PEDESTAL
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOURS
- PROPOSED CONTOURS
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND NATURAL GAS LINE
- WATER MAIN
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- STORM SEWER
- SANITARY SEWER
- DITCH LINE
- SILT FENCE
- FENCE
- GAS METER
- ELECTRIC METER
- LIMITS OF PROPOSED BITUMINOUS PAVEMENT
- LIMITS OF PROPOSED CONCRETE PAVEMENT
- LIMITS OF WETLANDS (DELIMITATED 9/5/14)
- TEMPORARY DITCH CHECK

HARRIS  
& ASSOCIATES, INC.  
CONSULTING ENGINEERS  
AND LAND SURVEYORS

PREMIER  
REAL ESTATE MANAGEMENT, LLC

REV. NO.	DESCRIPTION	DATE	BY

PROJECT: PREMIER REAL ESTATE MANAGEMENT, LLC  
NORTHWESTERN AVENUE ESTATES  
LOCATION: NORTHWESTERN AVE., CITY OF WAUSAU  
MARATHON COUNTY, WISCONSIN  
DESCRIPTION: PARTIAL SITE GRADING PLAN - PHASE I

DRAWN BY: TMW  
CHECKED BY:  
DATE: 10/08/15  
SHEET: C2.1  
PROJECT-SHEET: 7464

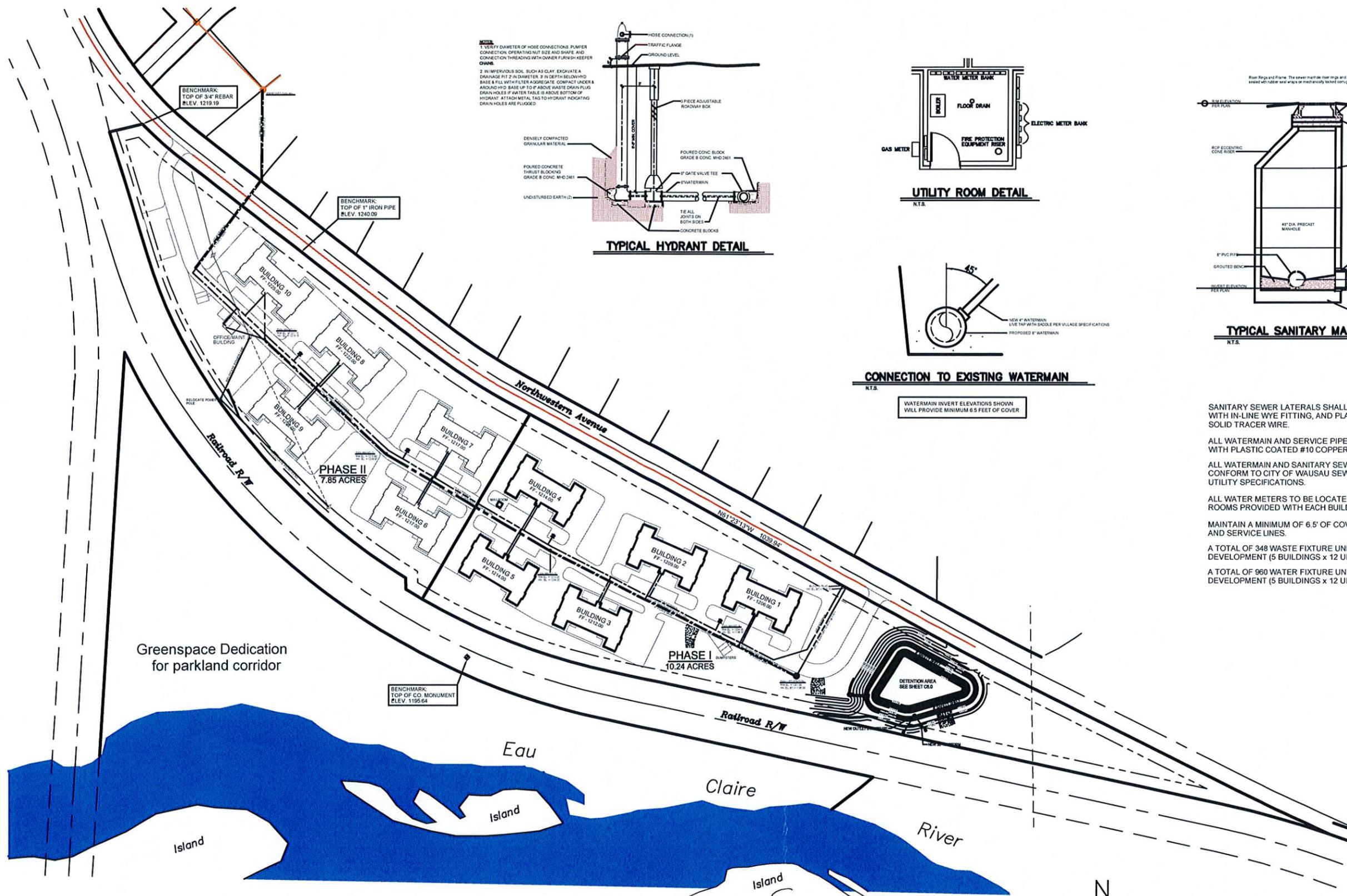


# NORTHWESTERN AVENUE ESTATES

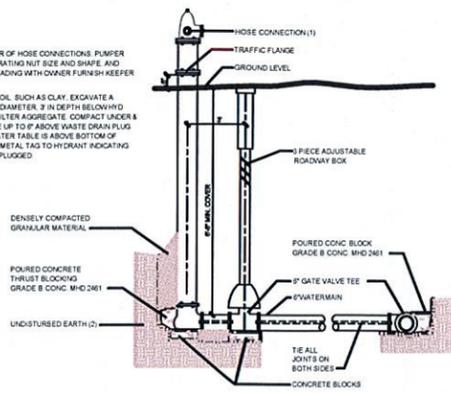
CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN

HARRIS & ASSOCIATES, INC.  
 2718 NORTH MEADE ST.  
 APPLETON, WI 54911  
 TEL: (920) 733-4377  
 FAX: (920) 733-4751

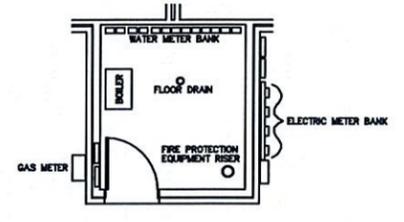
PREMIER REAL ESTATE MANAGEMENT, LLC  
 1111 EAST WASHINGTON ST.  
 WAUSAU, WI 54985  
 TEL: (920) 733-4377  
 FAX: (920) 733-4751



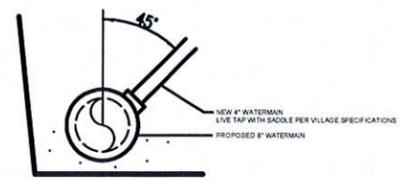
**NOTES:**  
 1. VERIFY DIAMETER OF HOSE CONNECTIONS, FLOWER CONNECTION, OPERATING NUT SIZE AND SHAPE, AND CONNECTION THREADING WITH OWNER FURNISH KEEPER DRINK.  
 2. IN IMPERVIOUS SOIL, SUCH AS CLAY, EXCAVATE A DRAINAGE PIT 2 IN DIAMETER, 3 IN DEPTH BELOW HYD BASE & FILL WITH FILTER AGGREGATE. COMPACT UNDER & AROUND HYD. BASE UP TO 6" ABOVE WASTE DRAIN PLUG. DRAIN HOLES IF WATER TABLE IS ABOVE BOTTOM OF HYDRANT. ATTACH METAL TAG TO HYDRANT INDICATING DRAIN HOLES ARE PLUGGED.



TYPICAL HYDRANT DETAIL

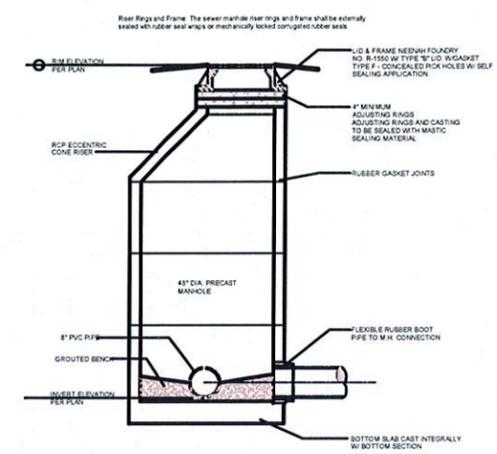


UTILITY ROOM DETAIL



CONNECTION TO EXISTING WATERMAIN

WATERMAIN INVERT ELEVATIONS SHOWN WILL PROVIDE MINIMUM 6.5 FEET OF COVER



TYPICAL SANITARY MANHOLE

SANITARY SEWER LATERALS SHALL BE CONNECTED TO MAIN WITH IN-LINE WYE FITTING, AND PLASTIC COATED #10 COPPER SOLID TRACER WIRE.

ALL WATERMAIN AND SERVICE PIPES SHALL BE INSTALLED WITH PLASTIC COATED #10 COPPER SOLID TRACER WIRE.

ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO CITY OF WAUSAU SEWER AND WATER UTILITY SPECIFICATIONS.

ALL WATER METERS TO BE LOCATED IN SEPERATE UTILITY ROOMS PROVIDED WITH EACH BUILDING.

MAINTAIN A MINIMUM OF 6.5' OF COVER OVER ALL WATERMAIN AND SERVICE LINES.

A TOTAL OF 348 WASTE FIXTURE UNITS WERE CALCULATED FOR THIS DEVELOPMENT (5 BUILDINGS x 12 UNITS x 5.8 DFU PER UNIT = 348).

A TOTAL OF 960 WATER FIXTURE UNITS WERE CALCULATED FOR THIS DEVELOPMENT (5 BUILDINGS x 12 UNITS x 16 WSFU PER UNIT = 960).

Greenspace Dedication for parkland corridor

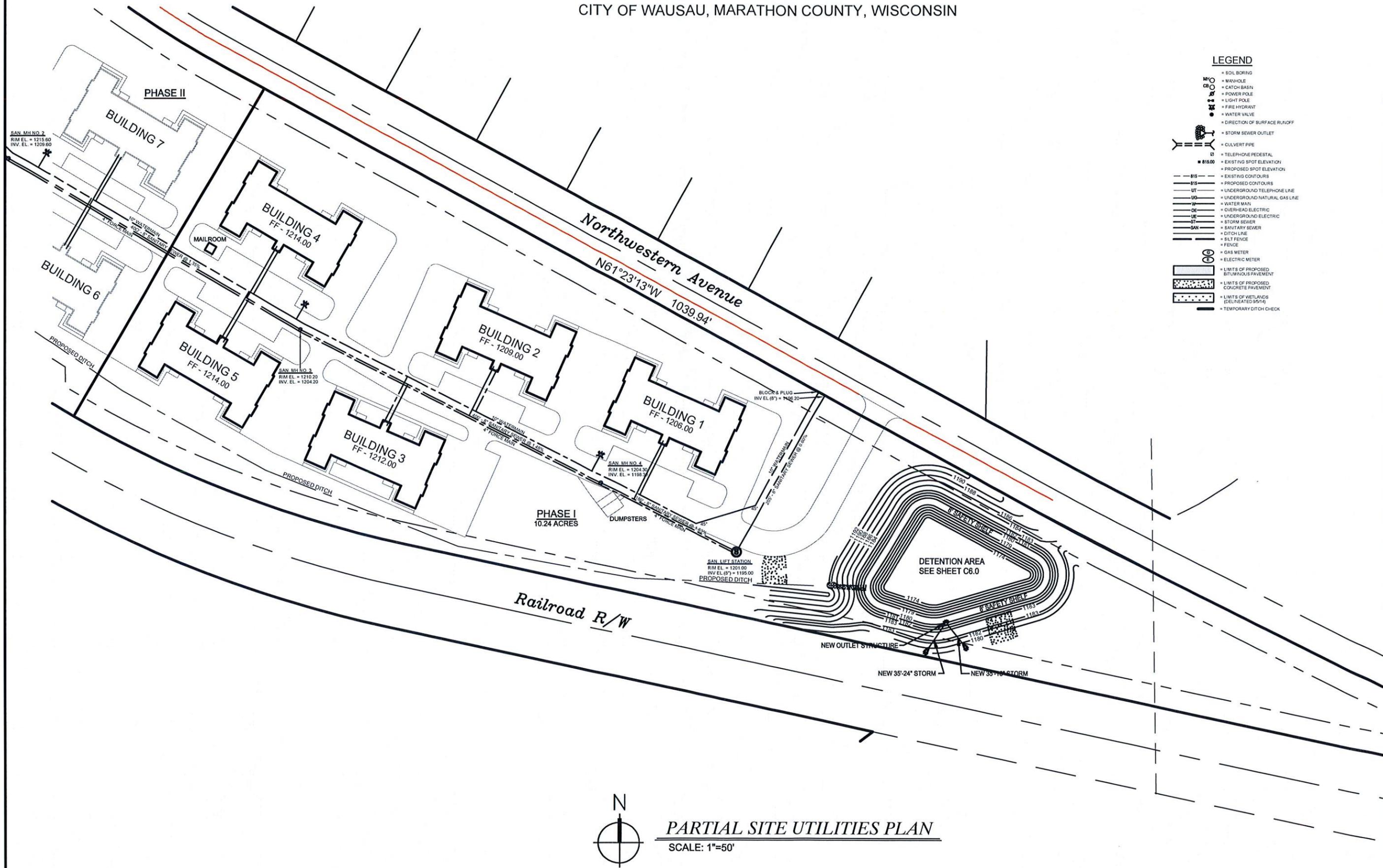


OVERALL SITE UTILITIES PLAN  
 SCALE: 1"=100'

PROJECT:	PREMIER REAL ESTATE MANAGEMENT, LLC NORTHWESTERN AVENUE ESTATES
LOCATION:	NORTHWESTERN AVE., CITY OF WAUSAU MARATHON COUNTY, WISCONSIN
DESCRIPTION:	OVERALL SITE UTILITIES PLAN - PHASE I
DRAWN BY:	TMW
CHECKED BY:	
DATE:	10/12/15
SHEET:	C3.0
PROJECT - STATUS:	7464

# NORTHWESTERN AVENUE ESTATES

CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN



- LEGEND**
- SOIL BORING
  - MANHOLE
  - CATCH BASIN
  - ⊕ POWER POLE
  - ⊕ LIGHT POLE
  - ⊕ FIRE HYDRANT
  - ⊕ WATER VALVE
  - DIRECTION OF SURFACE RUNOFF
  - ⊕ STORM SEWER OUTLET
  - ⊕ CULVERT PIPE
  - ⊕ TELEPHONE PEDESTAL
  - 815.00 • EXISTING SPOT ELEVATION
  - B15 --- PROPOSED CONTOURS
  - UT --- UNDERGROUND TELEPHONE LINE
  - LG --- UNDERGROUND NATURAL GAS LINE
  - WM --- WATER MAIN
  - OE --- OVERHEAD ELECTRIC
  - UE --- UNDERGROUND ELECTRIC
  - SS --- STORM SEWER
  - SAN --- SANITARY SEWER
  - ST --- S/T FENCE
  - F --- FENCE
  - ⊕ GAS METER
  - ⊕ ELECTRIC METER
  - ▨ LIMITS OF PROPOSED BITUMINOUS PAVEMENT
  - ▨ LIMITS OF PROPOSED CONCRETE PAVEMENT
  - ▨ LIMITS OF WETLANDS (DELINEATED 85/14)
  - TEMPORARY DITCH CHECK

2718 NORTH WEDGE ST.  
 APPLETON, WI 54911  
**HARRIS**  
 & ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 AND LAND SURVEYORS  
 TEL: (920) 733-4377  
 FAX: (920) 733-4731

**PREMIER**  
REAL ESTATE MANAGEMENT, LLC

REV. NO.	DESCRIPTION	DATE	BY

**PROJECT:** PREMIER REAL ESTATE MANAGEMENT, LLC  
 NORTHWESTERN AVENUE ESTATES  
**LOCATION:** NORTHWESTERN AVE., CITY OF WAUSAU  
 MARATHON COUNTY, WISCONSIN  
**DESCRIPTION:** PARTIAL SITE UTILITIES PLAN - PHASE I

DRAWN BY: TMW  
 CHECKED BY:  
 DATE: 10/12/15  
**SHEET**  
**C3.1**  
 PROJECT-SHEET  
 7464

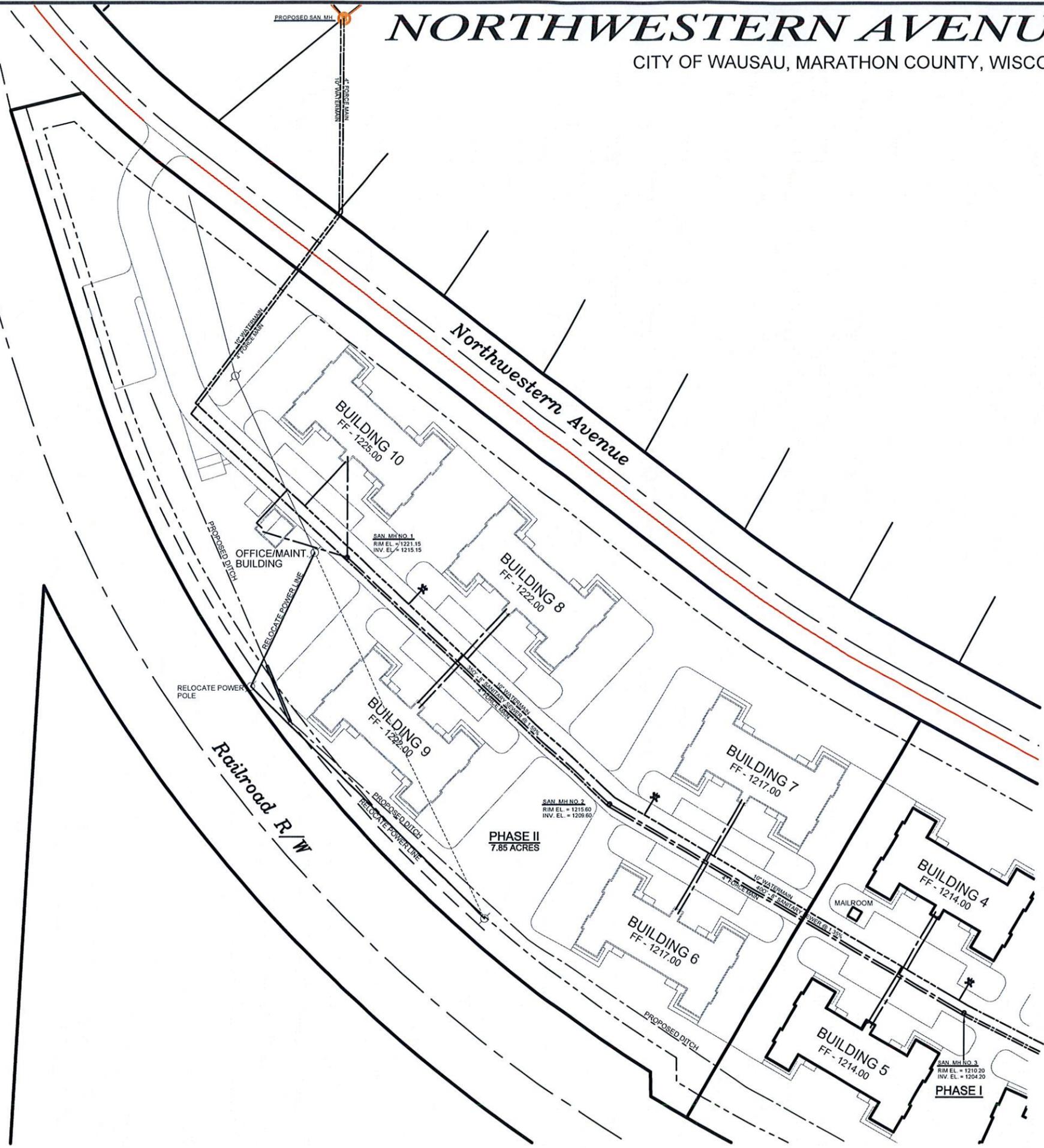


**PARTIAL SITE UTILITIES PLAN**  
SCALE: 1"=50'

# NORTHWESTERN AVENUE ESTATES

CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN

- LEGEND**
- SOIL BORING
  - MAN-HOLE
  - CATCH BASIN
  - POWER POLE
  - LIGHT POLE
  - FIRE HYDRANT
  - WATER VALVE
  - DIRECTION OF SURFACE RUNOFF
  - STORM SEWER OUTLET
  - CULVERT PIPE
  - TELEPHONE PEDESTAL
  - EXISTING SPOT ELEVATION
  - ▲ PROPOSED SPOT ELEVATION
  - EXISTING CONTOURS
  - - - PROPOSED CONTOURS
  - UT --- UNDERGROUND TELEPHONE LINE
  - UG --- UNDERGROUND NATURAL GAS LINE
  - W --- WATER MAIN
  - OE --- OVERHEAD ELECTRIC
  - UE --- UNDERGROUND ELECTRIC
  - SS --- STORM SEWER
  - SAN --- SANITARY SEWER
  - D --- DITCH LINE
  - S --- SILT FENCE
  - F --- FENCE
  - G --- GAS METER
  - E --- ELECTRIC METER
  - LIMITS OF PROPOSED BITUMINOUS PAVEMENT
  - LIMITS OF PROPOSED CONCRETE PAVEMENT
  - LIMITS OF WETLANDS (DELIMITED 9/5/14)
  - TEMPORARY DITCH CHECK



## PARTIAL SITE UTILITIES PLAN

SCALE: 1"=50'

**HARRIS**  
 & ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 AND LAND SURVEYORS

2718 NORTH MEDE ST.  
 APPLETON, WI 54911  
 TEL: (920) 733-4377  
 FAX: (920) 733-4721

**PREMIER**  
 REAL ESTATE MANAGEMENT, LLC

THESE PLANS ARE THE PROPERTY OF PREMIER REAL ESTATE MANAGEMENT, LLC AND UNAUTHORIZED USE OR REPRODUCTION IS A VIOLATION OF THE COPYRIGHT ACT OF 1909.

REV. NO.	DESCRIPTION	DATE	BY

**PROJECT:** PREMIER REAL ESTATE MANAGEMENT, LLC  
 NORTHWESTERN AVENUE ESTATES

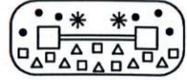
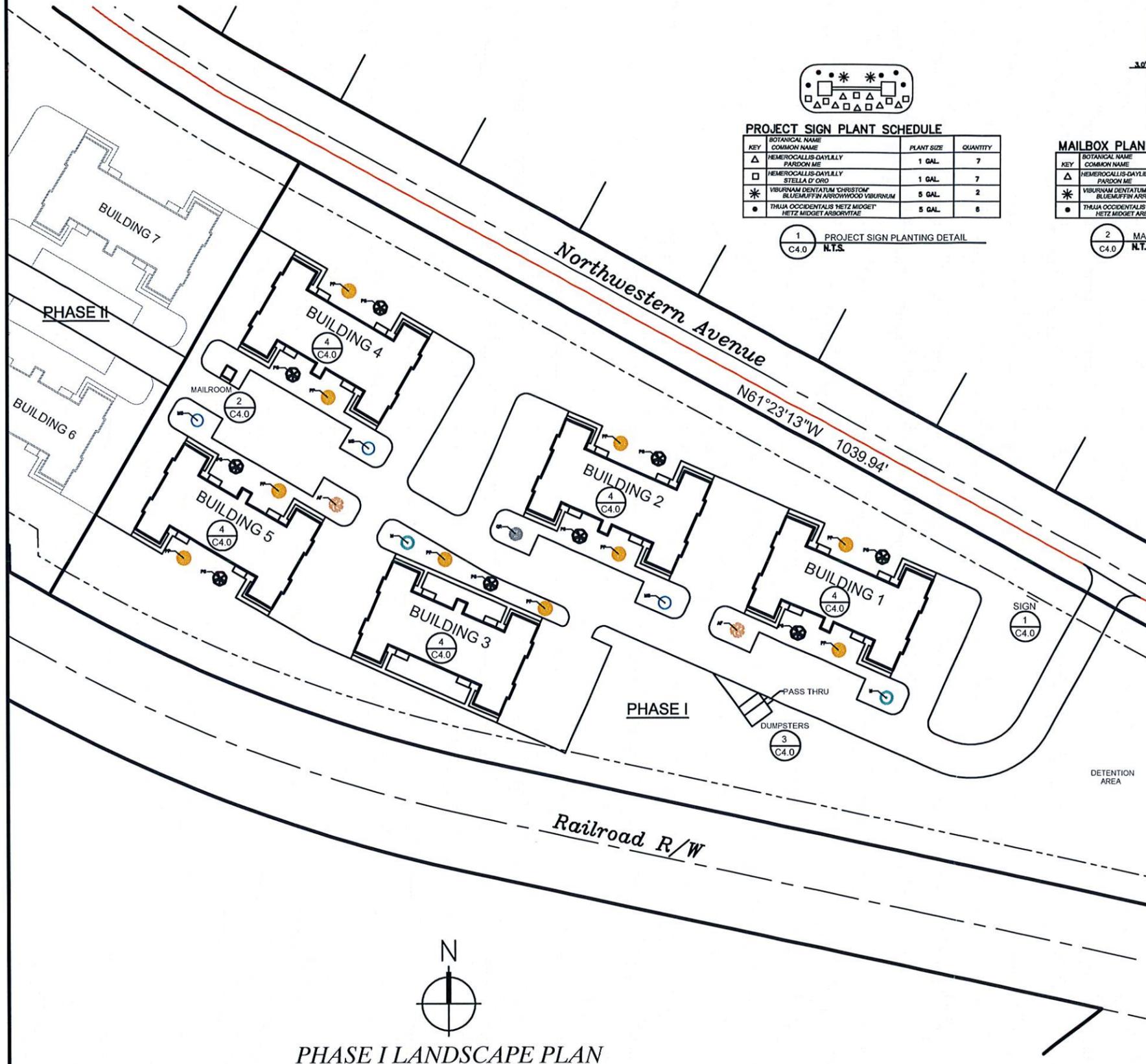
**LOCATION:** NORTHWESTERN AVE., CITY OF WAUSAU  
 MARATHON COUNTY, WISCONSIN

**DESCRIPTION:** PARTIAL SITE UTILITIES PLAN

DRAWN BY: TMW  
 CHECKED BY:   
 DATE: 10/12/15  
**3.2**  
 PROJECT-SHEET  
 7464

# NORTHWESTERN AVENUE ESTATES

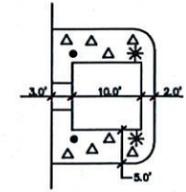
CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN



**PROJECT SIGN PLANT SCHEDULE**

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	QUANTITY
△	HEMEROCALLIS-DAYLILY PARDON ME	1 GAL.	7
□	HEMEROCALLIS-DAYLILY STELLA D'ORO	1 GAL.	7
*	VIBURNUM DENTATUM CHRISTOPH BLUEBERRY ARROWWOOD VIBURNUM	5 GAL.	2
●	THUNIA OCCIDENTALIS 'HETZ MIDGET' HETZ MIDGET ARBORVITAE	5 GAL.	8

1 PROJECT SIGN PLANTING DETAIL  
C4.0 N.T.S.



**MAILBOX PLANT SCHEDULE**

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	QUANTITY
△	HEMEROCALLIS-DAYLILY PARDON ME	1 GAL.	8
*	VIBURNUM DENTATUM CHRISTOPH BLUEBERRY ARROWWOOD VIBURNUM	5 GAL.	2
●	THUNIA OCCIDENTALIS 'HETZ MIDGET' HETZ MIDGET ARBORVITAE	5 GAL.	2

2 MAILBOX PLANTING DETAIL  
C4.0 N.T.S.

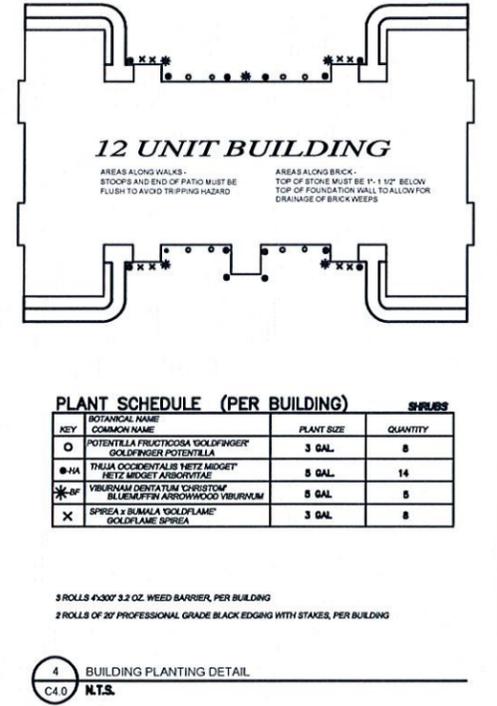
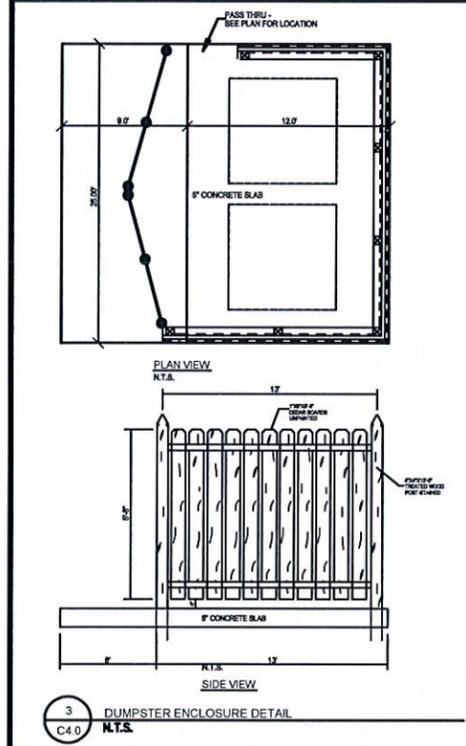
- LANDSCAPE NOTES:**
- VERIFY UTILITIES BEFORE BEGINNING ANY WORK.
  - ALL PLANT BEDS SHALL HAVE 6" TOPSOIL, FABRIC WEED BARRIER AND 4" CONTINUOUS LAYER OF HARDWOOD MULCH. ALL TREES AND LARGE SHRUBS IN LAWN AREAS AND BERMED PLANTING AREAS SHALL BE MULCHED WITH A 4" HARDWOOD MULCH RING. PROVIDE PLASTIC LANDSCAPE EDGING AROUND ALL PLANTING BEDS AS PER PLANS. PLASTIC EDGING SHALL BE LANDSCAPE CONTRACTOR GRADE OLY OLA BLACKJACK PLASTIC EDGING.
  - ALL TREES SHALL BE B&B, STAKED AND GUYED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSEYMENTS STANDARDS.
  - NEW AND DISTURBED LAWN AREAS SHALL BE RESTORED WITH SEED AND MULCH.
  - ALL SEEDED AREAS SHALL HAVE STRAW APPLIED AT 1 1/2 TO 2 TONS PER ACRE AND CRIMP MULCHED INTO PLACE.
  - MODIFICATIONS TO PLANT SPACING MAY BE ADJUSTED IN THE FIELD BY LANDSCAPE CONTRACTOR. DESIGNER SHOULD BE NOTIFIED OF ANY PROPOSED CHANGES TO PLANT MATERIALS OR DESIGN.
  - LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED SITE WORK. IN CASE OF DISCREPANCIES BETWEEN PLAN AND PLANT COUNTS, PLAN SHALL GOVERN.
  - ALL LANDSCAPING WITHIN THE FRONT YARD SETBACK SHALL HAVE THE FOLLOWING RESTRICTIONS: 1) SHRUBS SHALL BE MAINTAINED AT A HEIGHT OF NO GREATER THAN THREE (3) FEET; 2) TREES MUST HAVE A CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE FIRST BRANCH OF A MINIMUM OF SIX (6) FEET.

**PLANT SCHEDULE**

EVERGREEN TREES			
KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	MATURITY QUANTITY / SPACING
PO	PICEA GLAUCA DENSATA BLACK HILLS SPRUCE	6"	20-40'
PP	PICEA PINKNEYI COLORADO SPRUCE	4"	40-80'

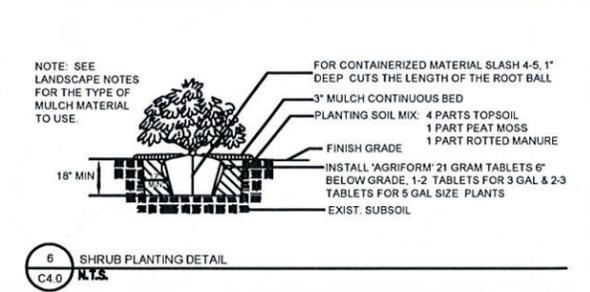
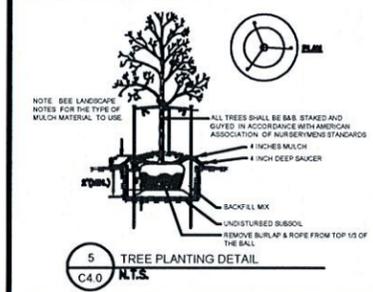
TREES			
KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	MATURITY QUANTITY / SPACING
QR	QUERCUS RUBRA RED OAK	2" CAL	50'
AF	ACER FREEMANI AUTUMN BLAZE MAPLE	2" CAL	30'
M	MALUS DONALD WYMAN CRABAPPLE	2" CAL	30'
MS	MALUS SARCENTYI SARGENT CRABAPPLE	2" CAL	6"-10'



**PLANT SCHEDULE (PER BUILDING)**

KEY	BOTANICAL NAME COMMON NAME	PLANT SIZE	QUANTITY
O	POTENTILLA FRUTICOSA 'GOLDFINGER' GOLDFINGER POTENTILLA	3 GAL.	8
HA	THUNIA OCCIDENTALIS 'HETZ MIDGET' HETZ MIDGET ARBORVITAE	5 GAL.	14
VF	VIBURNUM DENTATUM CHRISTOPH BLUEBERRY ARROWWOOD VIBURNUM	5 GAL.	5
X	SPIREA 'BUNALA' 'GOLDFLAME' GOLDFLAME SPIREA	3 GAL.	8

3 ROLLS 4x200' 3.2 OZ. WEED BARRIER, PER BUILDING  
3 ROLLS OF 30' PROFESSIONAL GRADE BLACK EDGING WITH STAKES, PER BUILDING



**PHASE I LANDSCAPE PLAN**  
SCALE: 1"=50'

**HARRIS & ASSOCIATES, INC.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2718 NORTH MEADE ST.  
APPLETON, WI 54911  
TEL: (920) 733-8377  
FAX: (920) 733-4721

**PREMIER**  
REAL ESTATE MANAGEMENT, LLC  
1141 STATE STREET, WAUSAU, WI 54981  
UNAUTHORIZED USE OR REPRODUCTION IS A VIOLATION OF THE COPYRIGHT ACT OF 1909.

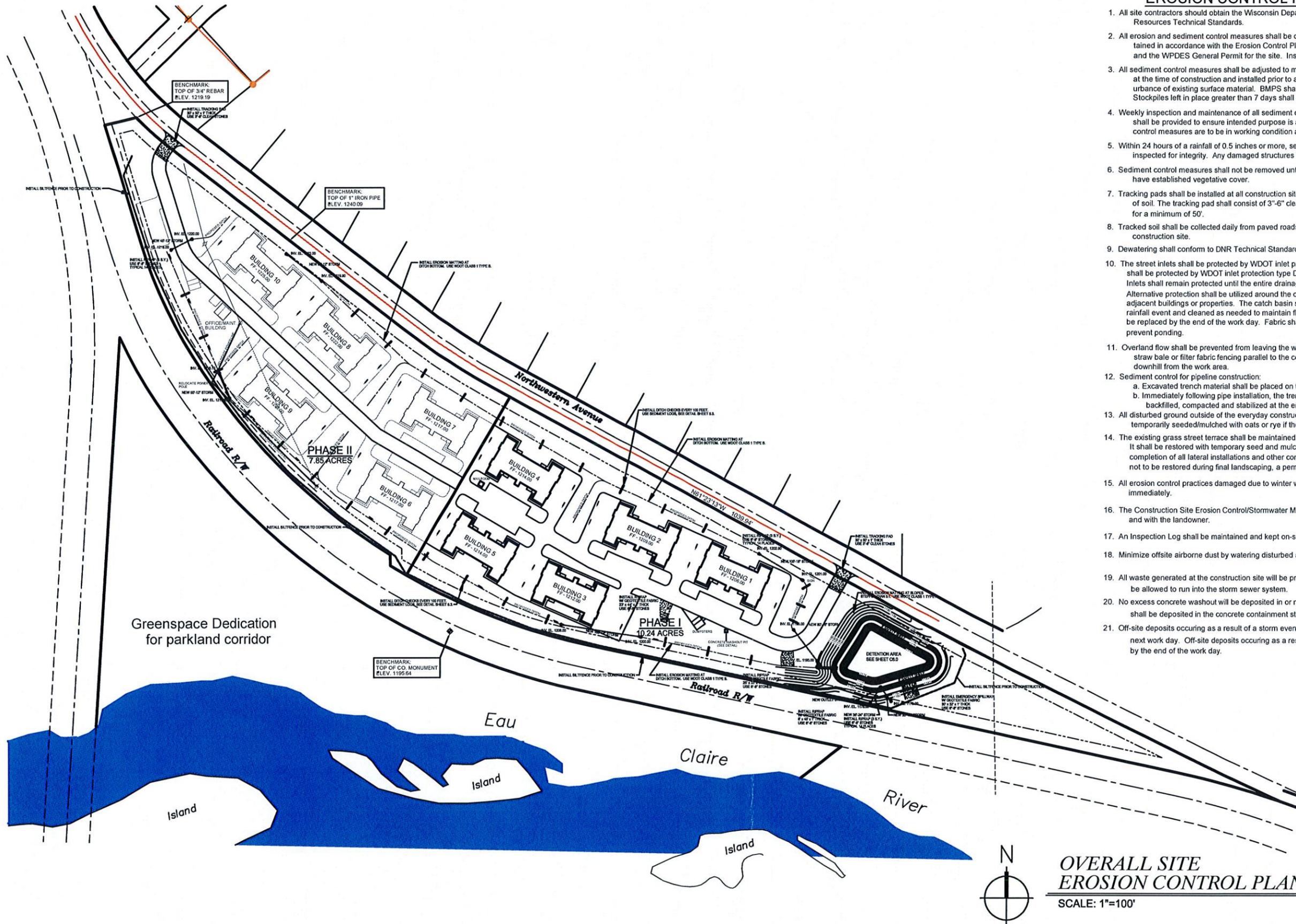
REV. NO.	DESCRIPTION	DATE	BY

**PROJECT:** PREMIER REAL ESTATE MANAGEMENT, LLC  
NORTHWESTERN AVENUE ESTATES  
**LOCATION:** NORTHWESTERN AVE., CITY OF WAUSAU  
MARATHON COUNTY, WISCONSIN  
**DESCRIPTION:** LANDSCAPE PLAN & DETAILS - PHASE I

**DRAWN BY:** TMW  
**CHECKED BY:**        
**DATE:** 05/25/15  
**SCALE:** C4.0  
**PROJECT-SHEET:** 7464

# NORTHWESTERN AVENUE ESTATES

CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN



## EROSION CONTROL NOTES

- All site contractors shall obtain the Wisconsin Department of Natural Resources Technical Standards.
- All erosion and sediment control measures shall be constructed, inspected and maintained in accordance with the Erosion Control Plan, WDNR Technical Standards and the WPDES General Permit for the site. Inspection reports shall be maintained.
- All sediment control measures shall be adjusted to meet field conditions at the time of construction and installed prior to any grading or disturbance of existing surface material. BMPs shall be installed around all soil stockpiles. Stockpiles left in place greater than 7 days shall be properly stabilized.
- Weekly inspection and maintenance of all sediment control structures shall be provided to ensure intended purpose is accomplished. Sediment control measures are to be in working condition at the end of each working day.
- Within 24 hours of a rainfall of 0.5 inches or more, sediment control structures shall be inspected for integrity. Any damaged structures shall be corrected immediately.
- Sediment control measures shall not be removed until the areas served have established vegetative cover.
- Tracking pads shall be installed at all construction site exits to prevent tracking of soil. The tracking pad shall consist of 3"-6" clear stone placed 12" deep, for a minimum of 50'.
- Tracked soil shall be collected daily from paved roads located near the construction site.
- Dewatering shall conform to DNR Technical Standard 1061.
- The street inlets shall be protected by WDOT inlet protection type D-HR. The new catch basins shall be protected by WDOT inlet protection type D-M. Inlets shall remain protected until the entire drainage area of the inlet is restored. Alternative protection shall be utilized around the catch basin if flooding may cause damage to adjacent buildings or properties. The catch basin shall be inspected after each rainfall event and cleaned as needed to maintain flow. If fabric is ripped it shall be replaced by the end of the work day. Fabric shall not be ripped or cut to prevent ponding.
- Overland flow shall be prevented from leaving the work site by installing straw bale or filter fabric fencing parallel to the contours located downhill from the work area.
- Sediment control for pipeline construction:
  - Excavated trench material shall be placed on the uphill side of the trench.
  - Immediately following pipe installation, the trench shall be backfilled, compacted and stabilized at the end of each working day.
- All disturbed ground outside of the everyday construction area at a minimum be temporarily seeded/mulched with oats or rye if the area is left inactive for more than 7 days.
- The existing grass street terrace shall be maintained as a buffer during construction. It shall be restored with temporary seed and mulch at a minimum 7 days after the completion of all lateral installations and other construction activity. If the terrace is not to be restored during final landscaping, a permanent seed mix shall be utilized.
- All erosion control practices damaged due to winter weather shall be repaired/replaced immediately.
- The Construction Site Erosion Control/Stormwater Management Plan shall be kept on-site and with the landowner.
- An Inspection Log shall be maintained and kept on-site.
- Minimize offsite airborne dust by watering disturbed areas when overly dry.
- All waste generated at the construction site will be properly disposed of and not be allowed to run into the storm sewer system.
- No excess concrete washout will be deposited in or near the ditch areas. The concrete washout shall be deposited in the concrete containment structure.
- Off-site deposits occurring as a result of a storm event shall be cleaned up by the end of the next work day. Off-site deposits occurring as a result of land disturbance shall be cleaned up by the end of the work day.



OVERALL SITE  
EROSION CONTROL PLAN  
SCALE: 1"=100'

HARRIS & ASSOCIATES, INC.  
CONSULTING ENGINEERS AND LAND SURVEYORS  
2718 NORTH MEADE ST.  
APPLETON, WI 54911  
TEL: (920) 733-8377  
FAX: (920) 733-4731

PREMIER  
REAL ESTATE MANAGEMENT, LLC  
1111 STATE MANAGEMENT, LLC  
UNAUTHORIZED USE OR REPRODUCTION IS A VIOLATION OF THE COPYRIGHT ACT OF 1976.

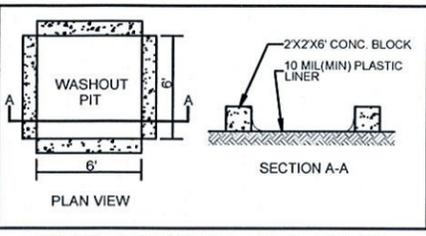
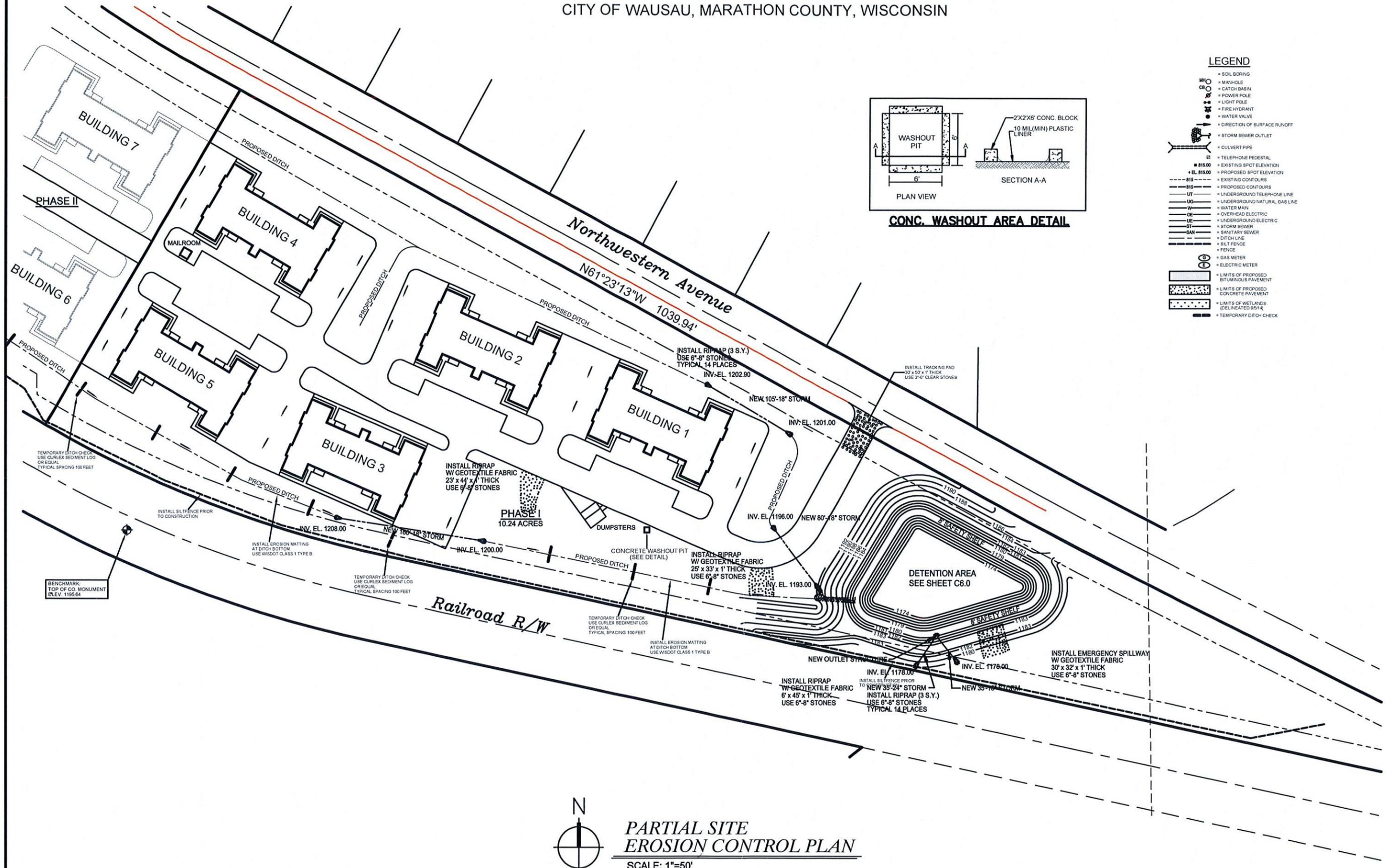
REV. NO.	DESCRIPTION	DATE

PROJECT: PREMIER REAL ESTATE MANAGEMENT, LLC  
NORTHWESTERN AVENUE ESTATES  
LOCATION: NORTHWESTERN AVE., CITY OF WAUSAU  
MARATHON COUNTY, WISCONSIN  
DESCRIPTION: OVERALL SITE EROSION CONTROL PLAN - PHASE I

DRAWN BY: TMW  
CHECKED BY:  
DATE: 10/08/15  
SHEET: 5 OF 5  
PROJECT STATUS: 7464

# NORTHWESTERN AVENUE ESTATES

CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN



- LEGEND**
- SOIL BORING
  - MANHOLE
  - CATCH BASIN
  - POWER POLE
  - LIGHT POLE
  - FIRE HYDRANT
  - WATER VALVE
  - DIRECTION OF SURFACE RUNOFF
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  - LIMITS OF PROPOSED BITUMINOUS PAVEMENT
  - LIMITS OF PROPOSED CONCRETE PAVEMENT
  - LIMITS OF WETLANDS (DELINEATED 9/9/14)
  - TEMPORARY DITCH CHECK



**PARTIAL SITE EROSION CONTROL PLAN**  
SCALE: 1"=50'

**HARRIS & ASSOCIATES, INC.**  
2718 NORTH MEADE ST.  
APPLETON, WI 54911  
TEL: (920) 733-0377  
FAX: (920) 733-4731

**PREMIER REAL ESTATE MANAGEMENT, LLC**  
1111 STATE STREET  
WAUSAU, WI 54981

REV. NO.	DESCRIPTION	DATE	BY

**PROJECT:** PREMIER REAL ESTATE MANAGEMENT, LLC  
NORTHWESTERN AVENUE ESTATES

**LOCATION:** NORTHWESTERN AVE., CITY OF WAUSAU  
MARATHON COUNTY, WISCONSIN

**DESCRIPTION:** PARTIAL SITE EROSION CONTROL PLAN

**DRAWN BY:** TMW  
**CHECKED BY:**

**DATE:** 10/08/15

**SHEET:** C5.1

**PROJECT-STATUS:** 7464

# NORTHWESTERN AVENUE ESTATES

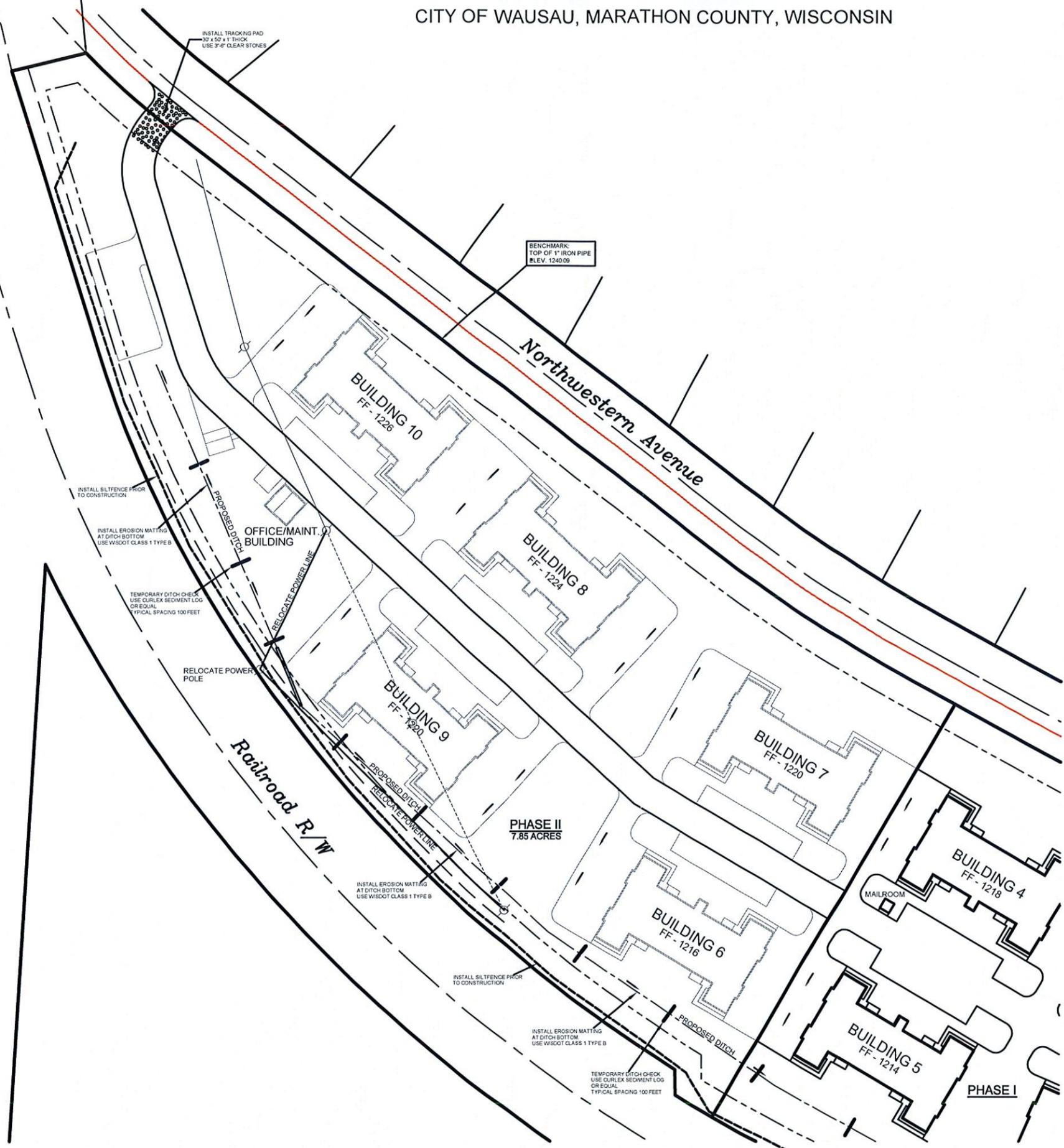
CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN

BENCHMARK  
TOP OF 3/4" REBAR  
#LEV. 1219.19

INSTALL TRACKING PAD  
30' x 50' x 1" THICK  
USE 3/4" CLEAR STONES

BENCHMARK  
TOP OF 1" IRON PIPE  
#LEV. 1240.09

- LEGEND**
- SOIL BORING
  - MAN-HOLE
  - CATCH BASIN
  - POWER POLE
  - LIGHT POLE
  - FIRE HYDRANT
  - WATER VALVE
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**PARTIAL SITE  
EROSION CONTROL PLAN**  
SCALE: 1"=50'

HARRIS  
& ASSOCIATES, INC.  
CONSULTING ENGINEERS  
AND LAND SURVEYORS

**PREMIER**  
REAL ESTATE MANAGEMENT, LLC  
REAL ESTATE MANAGEMENT, LLC  
UNAUTHORIZED USE OR REPRODUCTION IS A VIOLATION OF THE COPYRIGHT ACT OF 1976.

REV. NO.	DESCRIPTION	DATE	BY

PROJECT: PREMIER REAL ESTATE MANAGEMENT, LLC  
NORTHWESTERN AVENUE ESTATES

LOCATION: NORTHWESTERN AVE., CITY OF WAUSAU  
MARATHON COUNTY, WISCONSIN

DESCRIPTION: PARTIAL SITE EROSION CONTROL PLAN

DRAWN BY: TMW  
CHECKED BY: [ ]

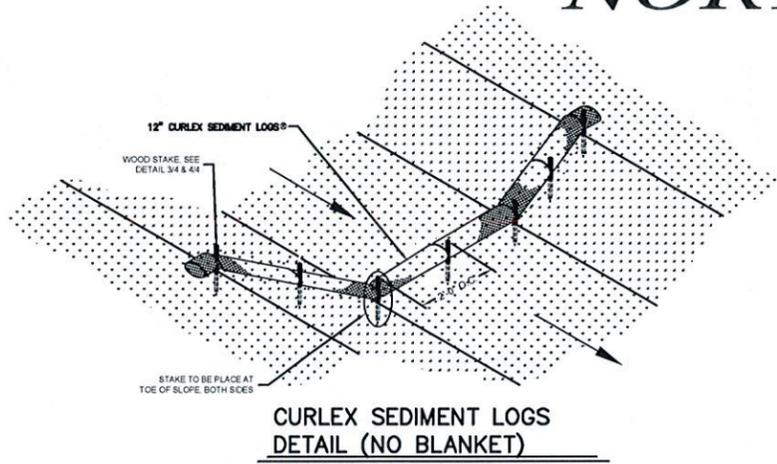
DATE: 05/25/15

SHEET: **C5.2**

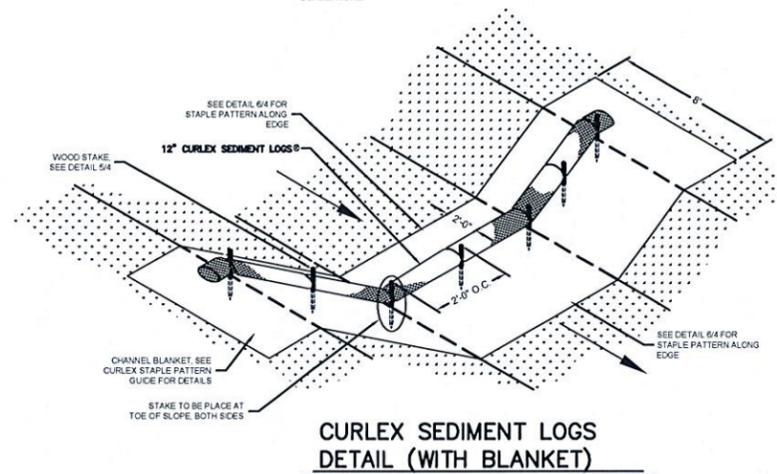
PROJECT-SHEET: 7464

# NORTHWESTERN AVENUE ESTATES

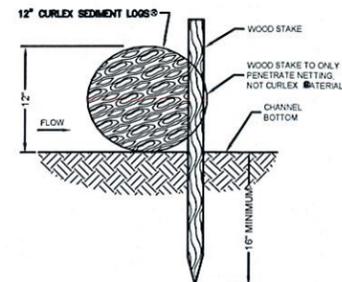
CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN



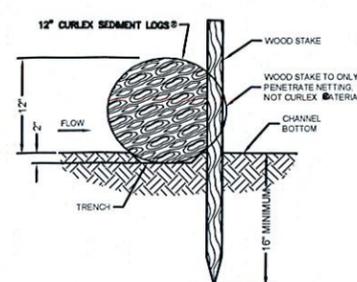
**CURLEX SEDIMENT LOGS  
DETAIL (NO BLANKET)**  
SCALE: NONE



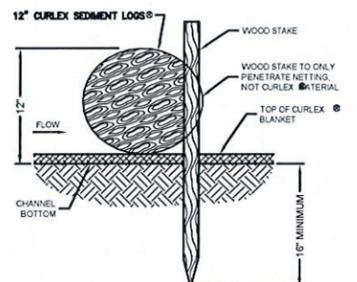
**CURLEX SEDIMENT LOGS  
DETAIL (WITH BLANKET)**  
SCALE: NONE  
NOT RECOMMENDED FOR SLOPES LESS THAN 1%  
PER DNR TECHNICAL STANDARD NO. 1062



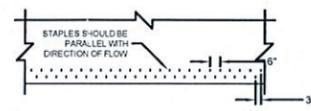
**STAKE DETAIL  
(NO TRENCH)**  
SCALE: NONE



**STAKE DETAIL  
(WITH TRENCH)**  
SCALE: NONE



**STAKE DETAIL  
(NO TRENCH)**  
SCALE: NONE

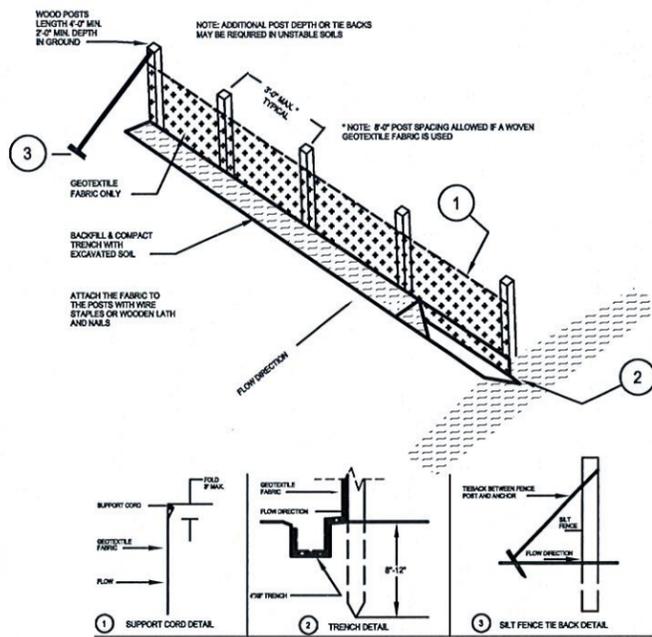


**CHANNEL TERMINATION  
PLAN**  
SCALE: NONE

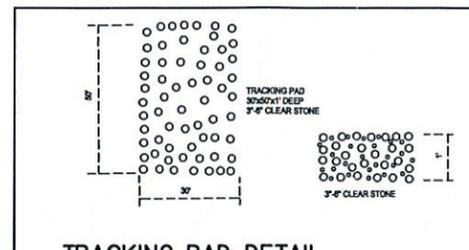
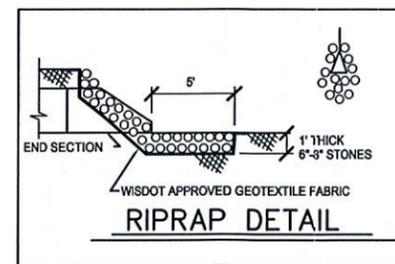
NOTE: TRENCH OPTION IS MOST APPLICABLE IN LOOSE, UNCONSOLIDATED SOILS.  
1 1/2" X 1 1/2" X 30" WOODEN STAKES ARE RECOMMENDED FOR 6", 9", AND 12" SEDIMENT LOGS.  
1 1/2" X 1 1/2" X 48" WOODEN STAKES ARE RECOMMENDED FOR 20" SEDIMENT LOGS.

$$\left[ \frac{\text{DISTANCE BETWEEN CHANNEL BOTTOM AND TOP OF INSTALLED CURLEX SEDIMENT LOGS (D)(ft)}}{\text{CHANNEL GRADIENT (\%)}} \right] \times 100 = \text{CURLEX SEDIMENT LOGS SPACING (ft)}$$

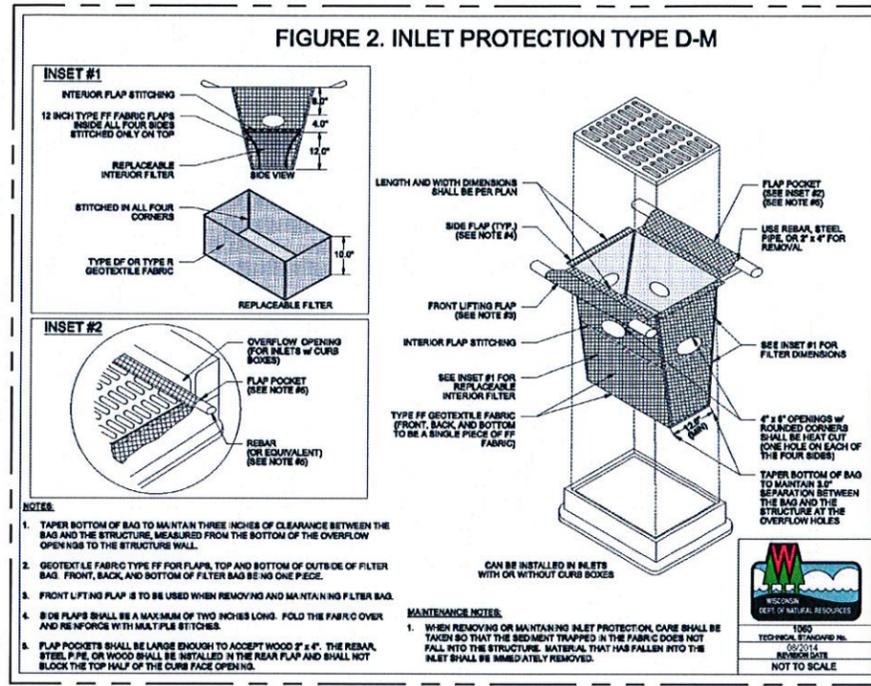
**RECOMMENDED PLACEMENT INTERVAL  
BETWEEN CURLEX SEDIMENT LOGS**



**SILT FENCE DETAIL**  
SCALE: NONE

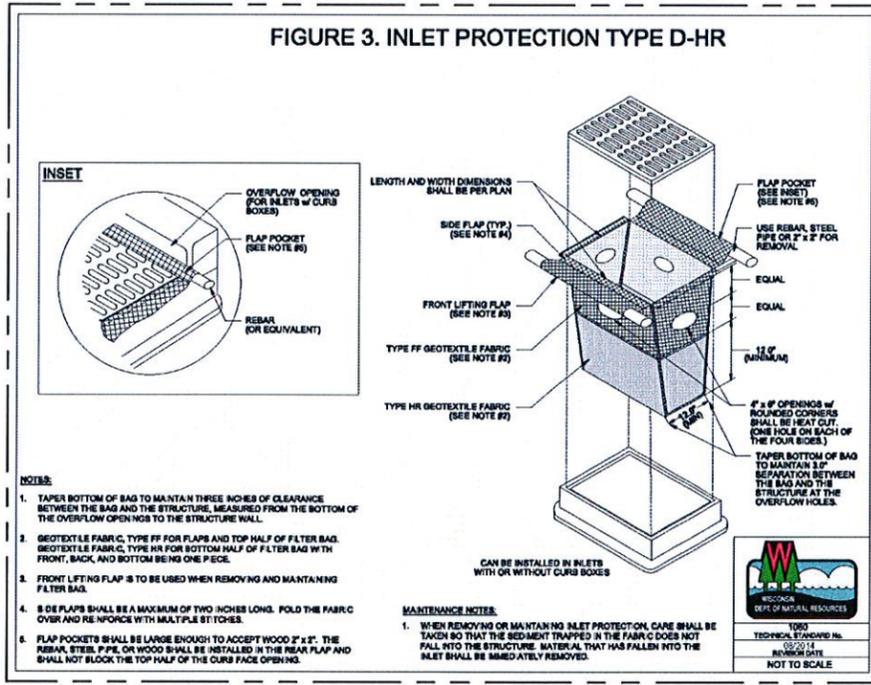


**TRACKING PAD DETAIL**  
SCALE: NONE



- NOTES:**
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
  2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BE ONE PIECE.
  3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
  4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
  5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

- MAINTENANCE NOTES:**
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



- NOTES:**
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
  2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG WITH FRONT, BACK, AND BOTTOM BEING ONE PIECE.
  3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
  4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
  5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

- MAINTENANCE NOTES:**
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

HARRIS  
& ASSOCIATES, INC.  
CONSULTING ENGINEERS  
AND LAND SURVEYORS

PREMIER  
REAL ESTATE MANAGEMENT, LLC

PROJECT:	PREMIER REAL ESTATE MANAGEMENT, LLC NORTHWESTERN AVENUE ESTATES	DESCRIPTION:	EROSION CONTROL DETAILS
LOCATION:	NORTHWESTERN AVE., CITY OF WAUSAU MARATHON COUNTY, WISCONSIN	DATE:	04/23/15
DRWN BY:	TMW	CHECKED BY:	
PROJECT-STATUS:	7464	SHEET:	C5.3

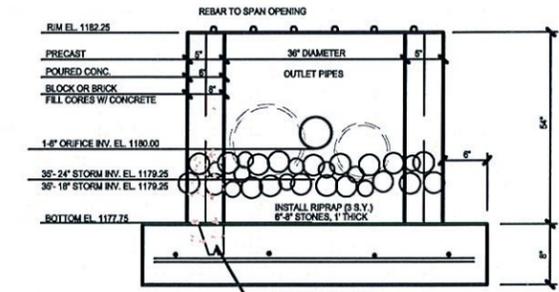
# NORTHWESTERN AVENUE ESTATES

CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN

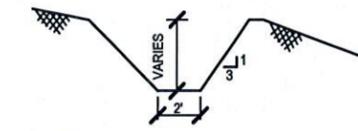
AREAS USED FOR DETENTION DESIGN:  
 TOTAL AREA OF SITE = 18.09 ACRES  
 TOTAL IMPERVIOUS AREA = 6.79 ACRES  
 TOTAL GRASS/OPEN AREA = 11.3 ACRES

	PEAK RUNOFF RATES		
	EXISTING	DEVELOPED	RESTRICTED
1 YEAR	2.02 C.F.S.	1.58 C.F.S.	1.58 C.F.S.
2 YEAR	3.85 C.F.S.	2.73 C.F.S.	2.73 C.F.S.
10 YEAR	15.15 C.F.S.	10.00 C.F.S.	0.93 C.F.S.
100 YEAR	32.38 C.F.S.	35.91 C.F.S.	31.05 C.F.S.

TOTAL SUSPENDED SOLIDS REDUCTION = 62.69% (MUSLAIM MODEL) REQUIRED: 60%

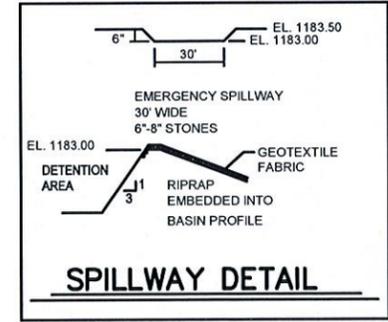


OUTLET STRUCTURE - 3' DIA. MANHOLE  
NOT TO SCALE



TYPICAL DITCH DETAIL  
SCALE: NONE

- LEGEND**
- SOIL BORING
  - MANHOLE
  - CATCH BASIN
  - POWER POLE
  - LIGHT POLE
  - FIRE HYDRANT
  - WATER VALVE
  - DIRECTION OF SURFACE RUNOFF
  - STORM SEWER OUTLET
  - CULVERT PIPE
  - TELEPHONE PEDESTAL
  - 815.00 EXISTING SPOT ELEVATION
  - EL. 815.00 PROPOSED SPOT ELEVATION
  - 815 EXISTING CONTOURS
  - 815 PROPOSED CONTOURS
  - UT UNDERGROUND TELEPHONE LINE
  - UG UNDERGROUND NATURAL GAS LINE
  - W WATER MAIN
  - OE OVERHEAD ELECTRIC
  - UE UNDERGROUND ELECTRIC
  - ST STORM SEWER
  - SAN SANITARY SEWER
  - DITCH LINE
  - SILT FENCE
  - FENCE
  - GAS METER
  - ELECTRIC METER
  - ▭ LIMITS OF PROPOSED BITUMINOUS PAVEMENT
  - ▭ LIMITS OF PROPOSED CONCRETE PAVEMENT
  - ▭ LIMITS OF WETLANDS (DELINEATED 9/5/14)
  - TEMPORARY DITCH CHECK



SPILLWAY DETAIL



## DETENTION BASIN PLAN

SCALE: 1"=20'

2718 NORTH WEDGE ST. APPLETON, WI 54911  
 HARRIS & ASSOCIATES, INC. TEL: (920) 733-4377 FAX: (920) 733-4731  
 CONSULTING ENGINEERS AND LAND SURVEYORS

**PREMIER**  
 REAL ESTATE MANAGEMENT, LLC  
 1000 WISCONSIN AVENUE, SUITE 200, WAUSAU, WI 54985  
 UNAUTHORIZED REPRODUCTION OR REPRODUCTION IN VIOLATION OF THE COPYRIGHT ACT OF 1909

REV. NO.	DESCRIPTION	DATE	BY

PROJECT: PREMIER REAL ESTATE MANAGEMENT, LLC  
 NORTHWESTERN AVENUE ESTATES  
 NORTHWESTERN AVE., CITY OF WAUSAU  
 MARATHON COUNTY, WISCONSIN

LOCATION: NORTHWESTERN AVE., CITY OF WAUSAU  
 MARATHON COUNTY, WISCONSIN

DESCRIPTION: DETENTION AREA PLAN & DETAILS

DRAWN BY: TMW  
 CHECKED BY: [ ]  
 DATE: 10/08/15  
 SHEET: C6.0  
 PROJECT-STATUS: 7464



# MEMO

TO: Members of City Plan Commission

FROM: Brad Lenz, City Planner

DATE: November 11, 2015

SUBJECT: General and Precise Plans for Westwood Drive Apartments

\*\*\*\*\*

S.C. Swiderski, LLC is requesting approval of the precise plans for a multi-family residential project at 1550 Westwood Drive. Staff believes the general plan should also be considered for amendment since the precise plans show a reduction in the overall number of units and modifications to the arrangement of the buildings.

### General Development Plan

Previous approval was given for the General Development Plan to allow for 132 residential units in a combination of 4-unit and 8-unit buildings. The current plan calls for a similar mix of building types, with a reduction to 80 total units. Delineation of wetlands on the property affected the actual amount of buildable area. The units will be a mix of one, two, and three bedroom apartments, all with attached garages. Staff does not believe the changes to the general plan are significant enough to warrant another public hearing, particularly since a reduction in the original scope is being proposed.

### Precise Implementation Plans

From Wausau Municipal Code 23.65.040, the approval of a unified development proposal shall be based upon determination as to compliance with the following criteria:

- a) *That the proposed development is consistent with the spirit and intent of these regulations, has been prepared with competent professional advice and guidance and produces significant benefits in terms of improved environmental design to justify the application of the unified development concept;*
- b) *That the site development plan reflects sensitive consideration of the physical nature of the site with particular concern for conservation of natural features, preservation of open space and*

- careful shaping of terrain to minimize scarring, and insures proper drainage and preservation of natural terrain wherever appropriate;*
- c) That the general character and intensity of use of the development produces an attractive environment appropriate to the uses proposed, and is compatible with existing development in the surrounding area and with general community development plans and policies;*
  - d) That the development can be provided with appropriate municipal services and would not conflict with or cause overload on such facilities as schools, highways, police, fire or utility services;*
  - e) That proposed design standards provide adequately for practical functioning and maintenance, based on actual functional need, in terms of circulation, parking, emergency services, delivery services and snowplowing;*
  - f) That adequate provision has been made to insure proper maintenance and preservation of any common areas provided for the recreation and esthetic enhancement of the development.*

Staff feels the proposed plans conform to the above standards. Certain details of the project remain to be determined, namely in regards to utility extension and stormwater management; staff feels these issues can be resolved outside of the zoning process. Staff recommends approval of the plans, subject to staff review of utility extension and stormwater management. Any changes to the current plans as a result of further investigation into stormwater, utilities, or other issues would need to come back to the plan commission for approval.





**DESCRIPTION**

BEING LOT 1 OF CERTIFIED SURVEY MAP #17052, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

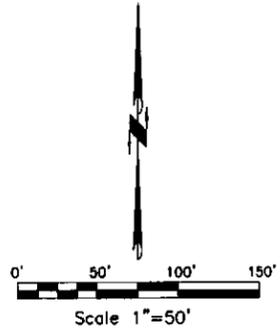
**BENCHMARK #1**  
CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE FIRST LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
ELEVATION = 1294.88

**BENCHMARK #2**  
CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE THIRD LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
ELEVATION = 1292.88

**BENCHMARK #3**  
CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE FIFTH LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
ELEVATION = 1283.01

**BENCHMARK #4**  
CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE SIXTH LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
ELEVATION = 1274.65

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	336.27	150.00	37.4602°	S 20°49'44" E	190.62



**KEYNOTES:**

- ① RETAINING WALL
- ② 3" ROLLED CONCRETE CURB & GUTTER
- ③ 18" CONCRETE CURB & GUTTER
- ④ DUMPSTER ENCLOSURE
- ⑤ NEW TREELINE

**PAVEMENT HATCH PATTERNS:**

- PROPOSED 3" ASPHALTIC CONCRETE PAVEMENT W/10" BASE COURSE
- PROPOSED 4" CONCRETE PAVEMENT
- PROPOSED 6" REINFORCED CONCRETE PAVEMENT

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REVISED

---

DRAWN: JAL  
DATE: 11-03-2018  
PROJECT NO.: 18-077

---

**PRECISION PLAN LAYOUT**

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**PRELIMINARY - NOT FOR CONSTRUCTION**

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SWIDERSKI - WESTWOOD DRIVE  
CITY OF WAUSAU  
MARATHON COUNTY, WISCONSIN

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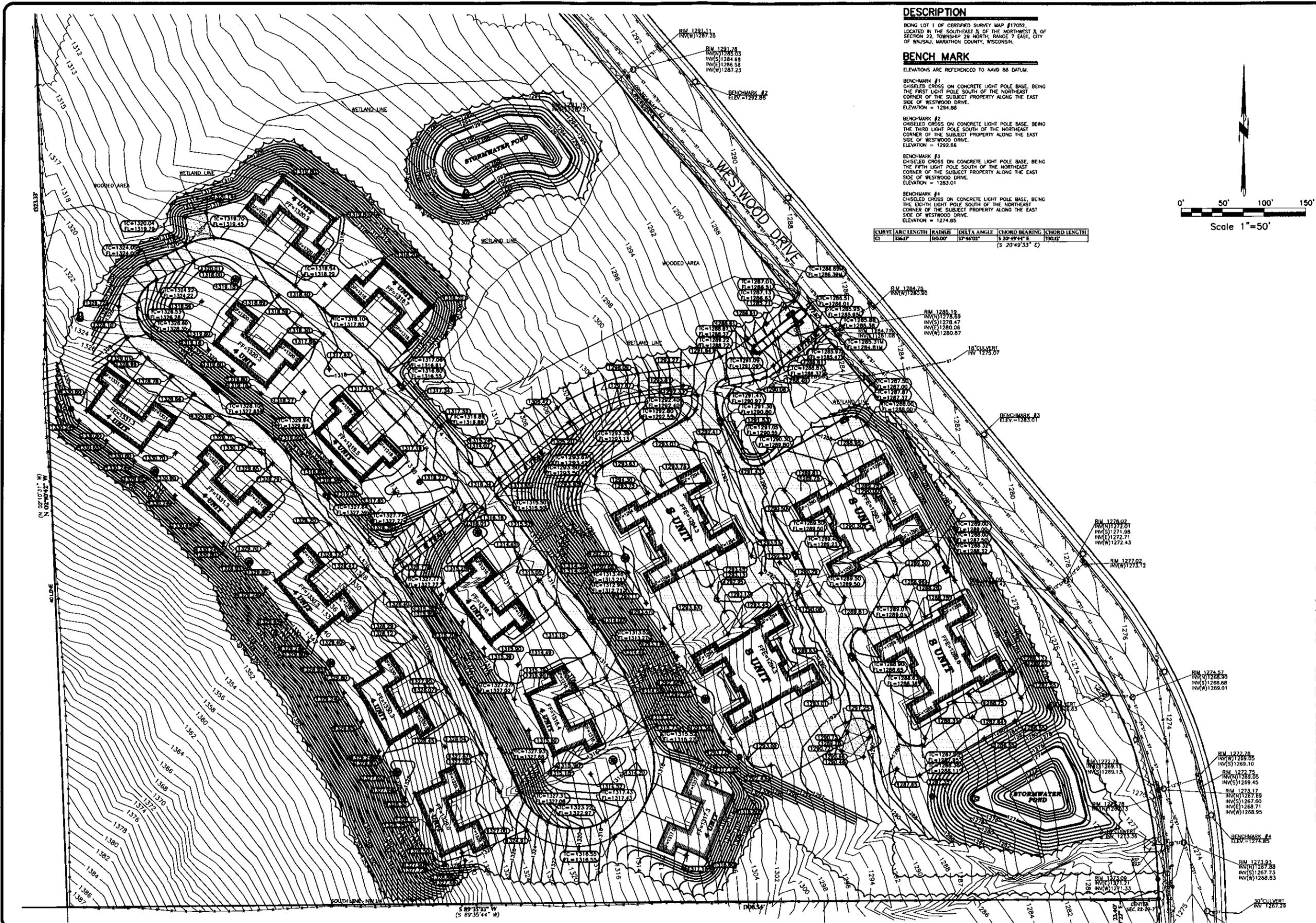
Land Surveying  
Engineering  
Landscape Architecture  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 (Ph) 715.344.9922 (Fax)

---

**POB**  
Point of Beginning

---

SHEET 2 OF 5



**DESCRIPTION**

BEING LOT 1 OF CERTIFIED SURVEY MAP #17052, LOCATED IN THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

**BENCHMARK #1**  
CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE FIRST LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
ELEVATION = 1284.88

**BENCHMARK #2**  
CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE THIRD LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
ELEVATION = 1292.86

**BENCHMARK #3**  
CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE FIFTH LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
ELEVATION = 1283.01

**BENCHMARK #4**  
CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE SEVENTH LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
ELEVATION = 1274.85

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	336.77	180.00'	37.4603°	S 20° 49' 53" E	330.02'

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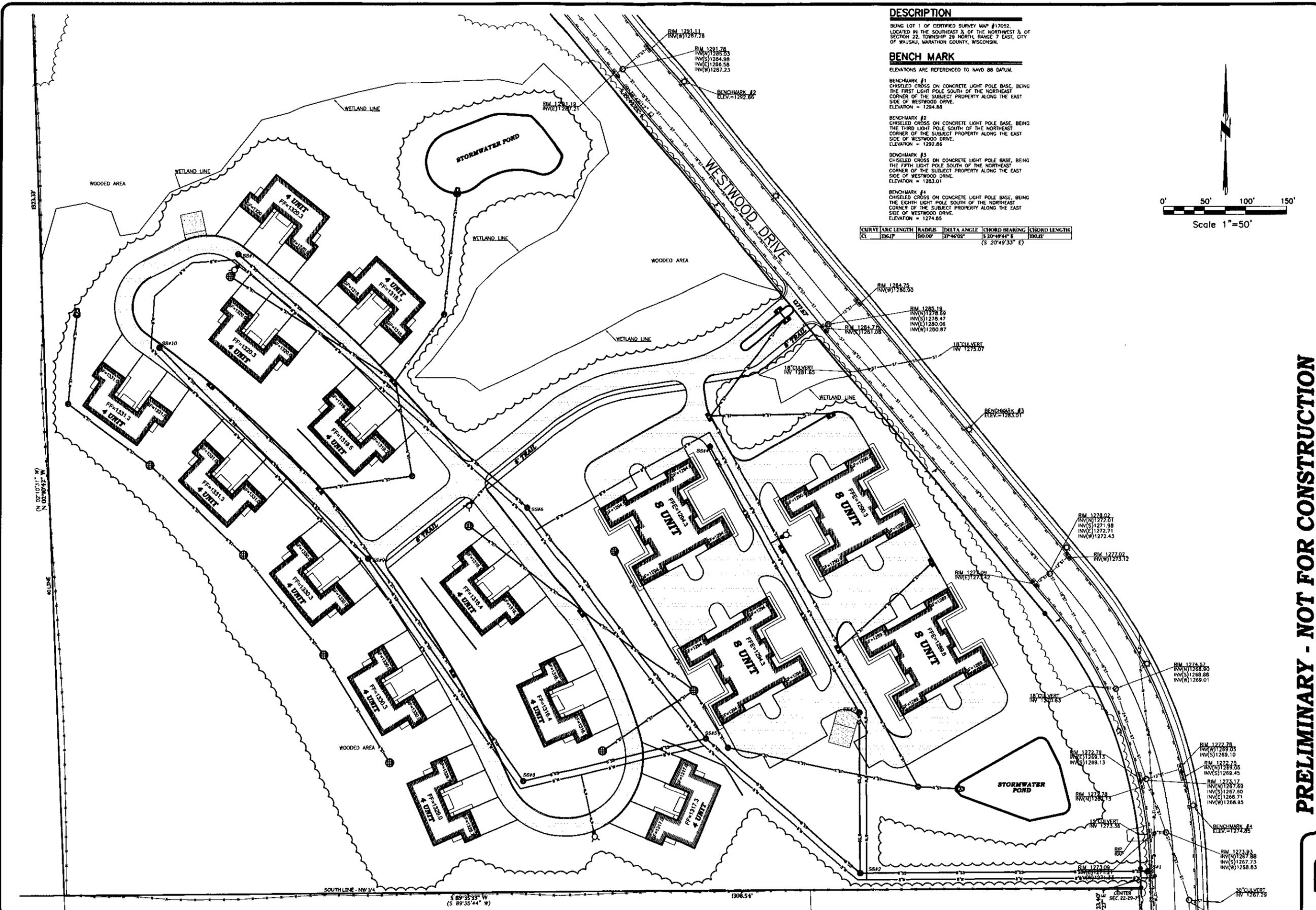
**PRELIMINARY - NOT FOR CONSTRUCTION**

**PRECISION PLAN GRADING**

**SWIDERSKI - WESTWOOD DRIVE  
CITY OF WAUSAU  
MARATHON COUNTY, WISCONSIN**

Land Surveying  
Engineering  
Landscape Architecture  
5709 Windy Drive, Suite D  
Stevens Point, WI 54482  
715.344.9999 (ph) 715.344.9922 (fx)





DATE: 11-05-2019  
 PROJECT NO. 18-077

**PRECISION PLAN  
 UTILITY**

**SWIDERSKI - WESTWOOD DRIVE**  
 CITY OF WAUSAU  
 MARATHON COUNTY, WISCONSIN

Land Surveying  
 Engineering  
 Landscape Architecture  
 5709 Windy Drive, Suite D  
 Stevens Point, WI 54482  
 715.344.9999 (ph) 715.344.9922 (fx)



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**DESCRIPTION**

BEING LOT 1 OF CERTIFIED SURVEY MAP #17052, LOCATED IN THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 22, TOWNSHIP 29 NORTH, RANGE 7 EAST, CITY OF WAUSAU, MARATHON COUNTY, WISCONSIN.

**BENCH MARK**

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

**BENCHMARK #1**  
 CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE FIRST LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
 ELEVATION = 1294.88

**BENCHMARK #2**  
 CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE THIRD LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
 ELEVATION = 1292.86

**BENCHMARK #3**  
 CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE FIFTH LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
 ELEVATION = 1283.01

**BENCHMARK #4**  
 CHISELED CROSS ON CONCRETE LIGHT POLE BASE, BEING THE EIGHTH LIGHT POLE SOUTH OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY ALONG THE EAST SIDE OF WESTWOOD DRIVE.  
 ELEVATION = 1274.85

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	336.17	500.00	37°46'03"	S 20°49'44" E	330.12

Luminaire Template Notes:  
 Red line around luminaire = 0.2 Footcandle distance pattern  
 Blue line around luminaire = 0.5 Footcandle distance pattern

**Landscape Notes:**

- 1.) All lawn areas inside the project limits are to be irrigated and seeded with Earth Carpet Park Place Seed Mix, or comparable vendor. (Areas are defined with green color.)
- 2.) All disturbed areas outside the project limits are to be seeded but not irrigated. (Defined by yellow-green color. Areas are subject to change.)
- 3.) All trees are to be staked with a minimum of two stakes and secured with strapping. Also all trees in the lawn areas are to be covered with a ring of mulch 3" thick and 3' in diameter.
- 4.) All planting beds are made out of concrete curbing. Curbing will be coordinated by owner.
- 5.) Lay down tyar weed barrier fabric and cover with decorative rock 3" thick. Size and style of rock to be selected by the owner. Rock will be supplied by the owner.



**Plant Legend**

- 1"- 1 1/4" Autumn Blaze Maple (7)
- 1"- 1 1/4" Sienna Glen Maple (8)
- 1" Spring Snow Crabapple (22)
- 1" Ivory Silk Lilac Tree (8)
- 3-4' Balsam Fir (18)
- 15-18" Little Devil Ninebark (123)
- 15-18" Goldflame Spirea (147)
- 15-18" Neon Flash Spirea (216)
- 1 gallon Karl Foerester Grass (5)

- Seed and Not Irrigated
- Seed and Irrigated

- Retaining Wall
- Concrete Landscape Curbing

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**PRELIMINARY - NOT FOR CONSTRUCTION**

**PRECISION PLAN  
 LANDSCAPING AND LIGHTING**

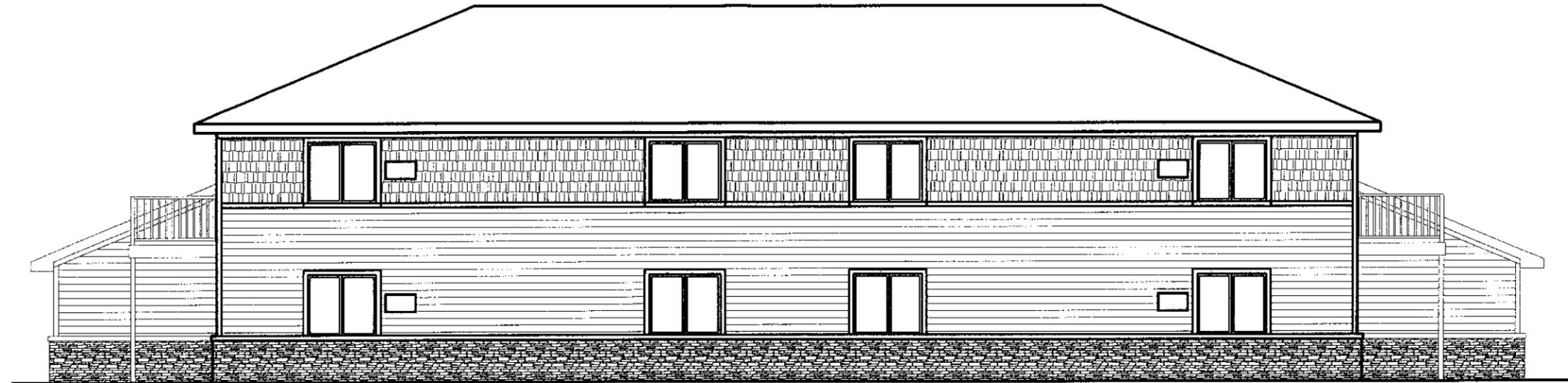
**SWIDERSKI - WESTWOOD DRIVE  
 CITY OF WAUSAU  
 MARATHON COUNTY, WISCONSIN**

Land Surveying  
 Engineering  
 Landscape Architecture  
 5709 Windy Drive, Suite D  
 Stevens Point, WI 54482  
 715.344.9999 (PH) 715.344.9922 (FX)





FRONT ELEVATION



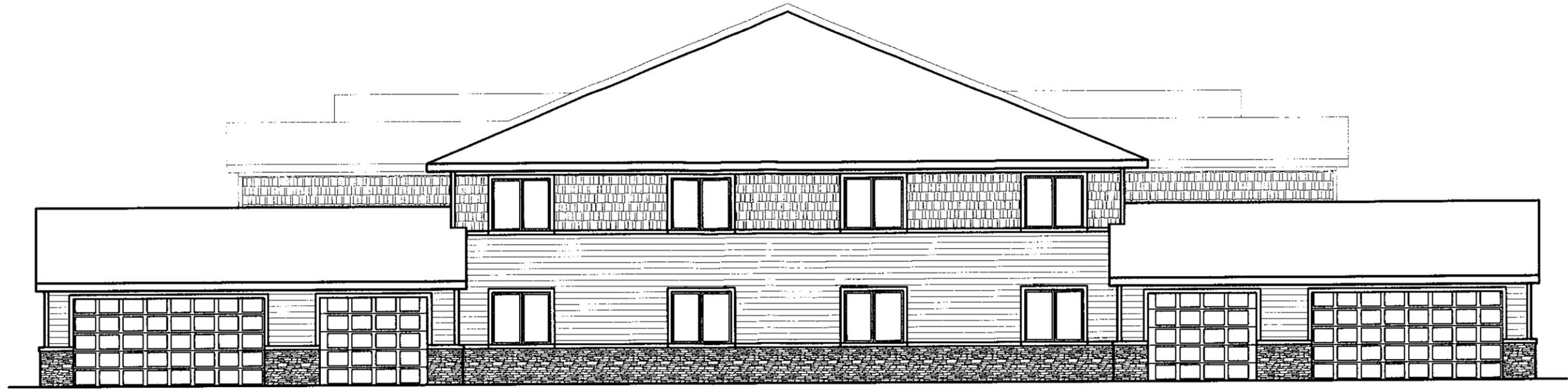
REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION

#6



## MEMO

TO: Members of City Plan Commission

FROM: Brad Lenz, City Planner

DATE: November 11, 2015

SUBJECT: Amend General and Precise Plans for Bos Creek Estates (1901 N. 10<sup>th</sup> Ave)

\*\*\*\*\*

Bos Creek Estates is seeking to add a small office building and two detached garage structures to their campus. Please see the attached description and plans for more details.

The property is zoned Unified Development District, and the proposal would constitute an amendment to the previously approved general plan for the property. The commission should also simultaneously consider approval of the precise plans in order to complete the zoning approval.

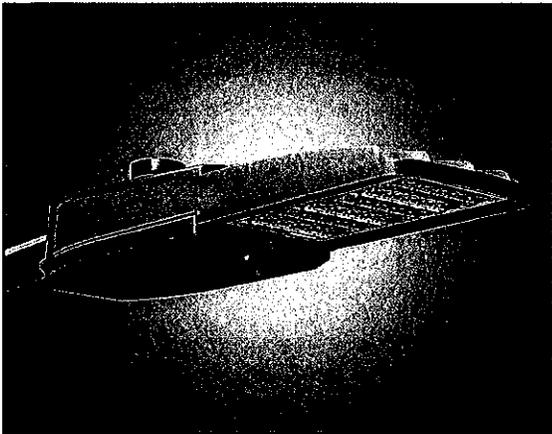
The proposed buildings would be located on the interior of the property, and would not be highly visible from neighboring properties. The uses of the buildings would be for tenants and operation of the complex. Staff does not believe the proposed changes are significant enough to warrant a public hearing. Approval of the plans as presented is recommended.



Consistent with LEED® goals  
& Green Globes™ criteria  
for light pollution reduction

# Autobahn Series ATB0 Roadway Lighting

## PRODUCT OVERVIEW



### Applications:

- Roadways
- Off ramps
- Residential streets
- Parking lots

### Features:

#### OPTICAL

**Same Light:** Performance is comparable to 70-200W HPS roadway luminaires.

**White Light:** Correlated color temperature - standard 4000K, 70 CRI minimum or optional 5000K, 70 CRI minimum.

Unique IP66 rated LED light engines provided 0% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type II, III, IV, and V roadway distributions.

#### ELECTRICAL

**Expected Life:** LED light engines are rated >100,000 hours at 25°C, L70. Electronic driver has an expected life of 100,000 hours at a 25°C ambient.

**Lower Energy:** Saves an expected of 40-60% over comparable HID luminaires.

**Robust Surge Protection:** Three different surge protection options provide a minimum of IEEE/ANSI C62.41 Category C (10kV/5kA) protection.

#### MECHANICAL

Includes standard AEL lineman-friendly features such as tool-less entry, 3 station terminal block and quick disconnects. Bubble level located inside the electrical compartment for easily leveling at installation.

Rugged die-cast aluminum housing and door are polyester powder-coated for durability and corrosion resistance. Rigorous five-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 1000 hours exposure to salt fog chamber (operated per ASTM B117). Optional Enhanced Corrosion Resistant finish (CR) increases the salt spray exposure over 5000 hours.

Mast arm mount is adjustable for arms from 1-1/4" to 2" (1-5/8" to 2-3/8" O.D.) diameter. Provides a 3G vibration rating per ANSI C136.31

Wildlife shield is cast into the housing (not a separate piece).

#### CONTROLS

NEMA 3 pin photocontrol receptacle is standard, with the Acuity designed ANSI standard 5 pin and 7 pin receptacles optionally available.

Premium solid state locking style photocontrol - PCSS (10 year rated life)  
Extreme long life solid state locking style photocontrol - PCLL (20 year rated life).

Multi-level dimming available to provide scheduled dimming as specified by the customer.

Optional onboard Adjustable Output module allows the light output and input wattage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications.

#### STANDARDS

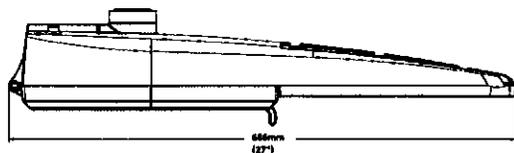
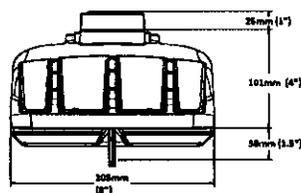
DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

Rated for -40°C to 40°C ambient

CSA Certified to U.S. and Canadian standards

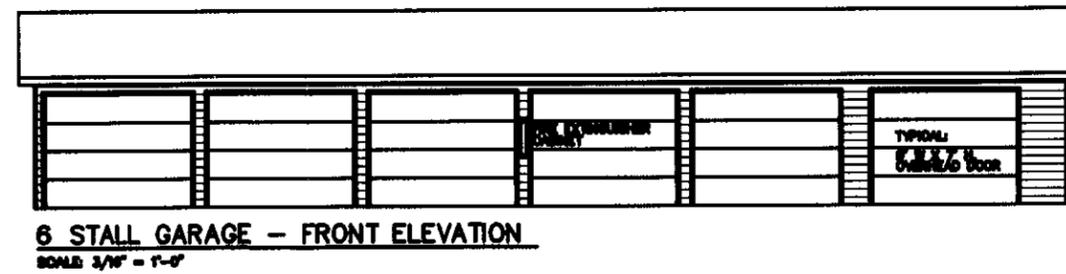
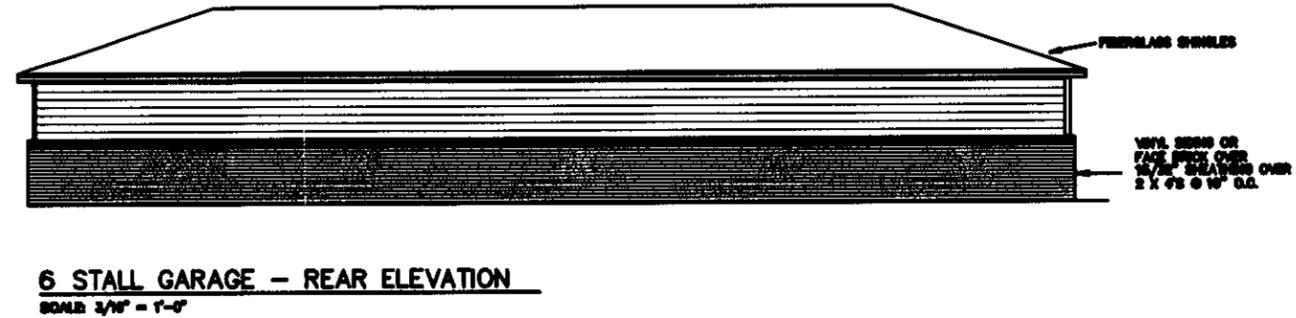
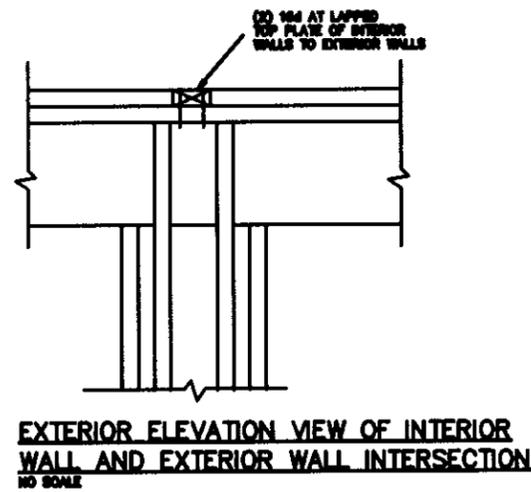
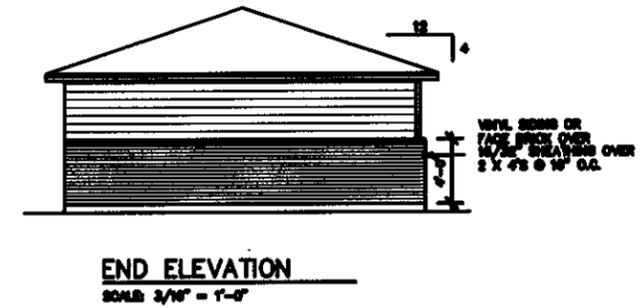
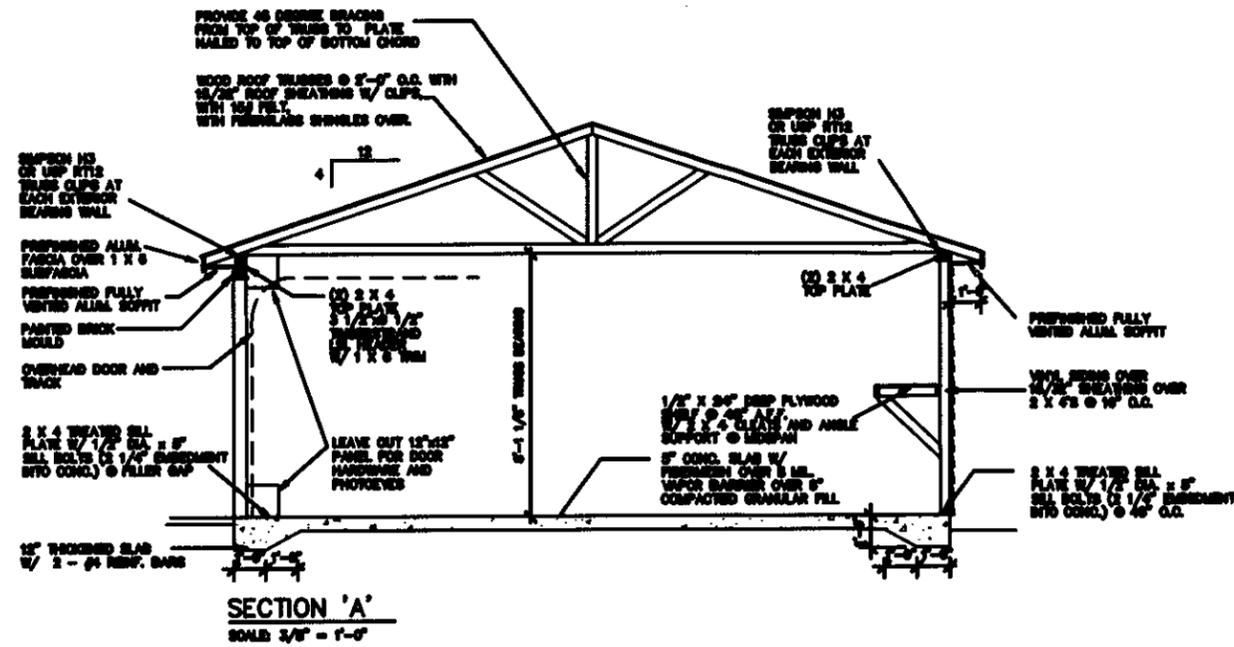
Complies with ANSI: C136.2, C136.10, C136.14, C136.31, C136.15, C136.37

### DIMENSIONS



Effective Projected Area (EPA): The EPA for the ATB0 is 0.76 sq. ft.  
Approx. Wt. = 14 lbs.

Note: Specifications subject to change without notice. Actual performance may differ as a result of end-user environment and application.



NOTE: INCLUDE THE FOLLOWING NOT NOTED ON PLANS SECTIONS OR ELEVATIONS

EACH STALL SHALL HAVE THE FOLLOWING:  
 OVERHEAD DOOR OPENER WITH LIGHT AND BATTERY OPERATED FRAME MOUNTED ACCESS KEYPAD, PUSHBUTTON CONTROL PAD INSIDE STALL AND ON REMOTE. DOOR IS RUBBER PANEL INSULATED.

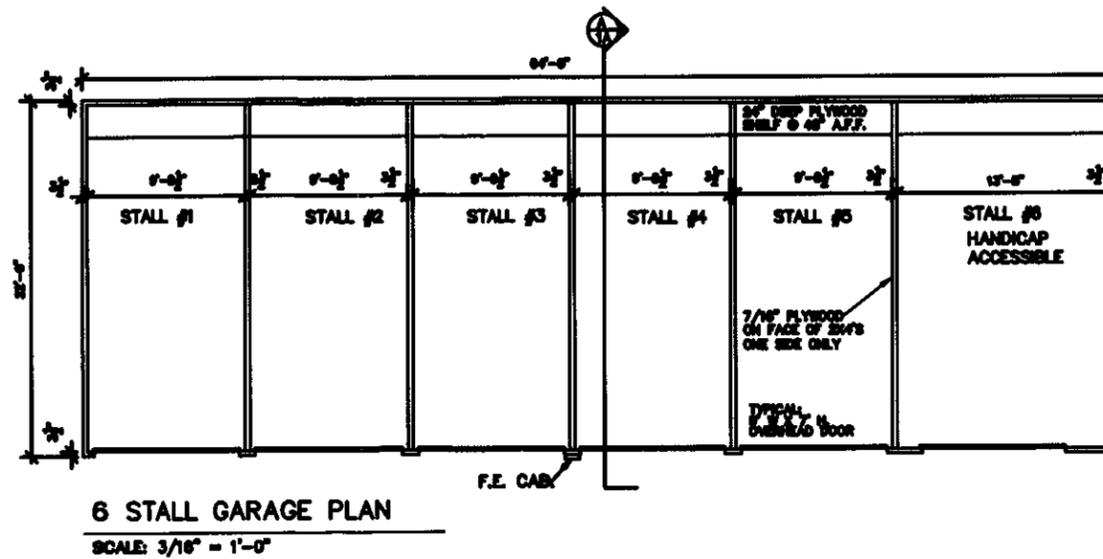
EACH STALL TO BE NUMBERED WITH A BLACK ALUMINUM NUMBER AT DOOR FRAME HEAD

ONE PORCELAIN SOCKET LIGHT FIXTURE WITH 100 WATT BULB AND SWITCH AND A RECEPTACLE AT CEILING FOR DOOR OPENER

THE BUILDING SHALL HAVE THE FOLLOWING:  
 SEAMLESS ALUMINUM PREPARED GUTTERS AND DOWNSPOUTS AT THE FRONT OVER THE DOORS ONLY

ELECTRIC SERVICE PANEL TO BE 40 AMP

AT EVERY THIRD OR FOURTH STALL MOUNTED BETWEEN DOORS ON BEING A 70W HPS WALL PAK LIGHT CONTROLLED BY A PHOTOEYE



333 Bishop's Way Suite 141  
Brookfield, WI 53005

PH 262-395-4543  
Fax 888-742-8092

10/27/2015

William D. Hebert, MPA  
Chief Inspector/Zoning Administrator  
DPW, Division of Inspection, Zoning, & Electrical Systems  
407 Grant Street Wausau, WI 54403

Dear William,

We are requesting to build a small office building and 20 more garage units on our property at Bos Creek Estates (1901 North 10<sup>th</sup> Ave Wausau WI).

Right now we have an apartment we use as a model unit, which is also our onsite office. The model unit is nice, however it is not cost efficient. We also have a list of people waiting to rent one of our units. By getting rid of our model unit, and using it as it was intended (apartment), we can save money. We can use that money for other improvements at Bos Creek Estates. Also we would have one less person on the waiting list to rent one of our units.

We are also requesting to build 20 more garage units, which we would add onto one of our existing garage building. All of our garage buildings are completely full and rarely have an opening. Our residents on the property keep asking us when they can get a garage. We have to tell them that they are full and that we can put them on a waiting list. Our job is to make our resident feel at home and try our best to accommodate them as best as we can. By building more garages, we can accommodate our residents and allow them to have the amenities that they wish to have. It would also give us some storage to hold our equipment that we use to keep Bos Creek Estates up and running.

Please consider our request to build a small office building and 20 more garage units. As a company we are trying to be as efficient as possible, but also trying to accommodate our residents. By building the office building we can save money and use the money to improve Bos Creek Estates. This also allows us to take one more person off the waiting list. By adding 20 more garage units, we are accommodate our residents and giving them what they need. We would also benefit by having some extra storage space which we really need.

Thank for your time and consideration in this matter. I hope we can work together to help the people that live at Bos Creek Estates.

Sincerely,



EX  
DU  
EN

BUILDING

EX. 8" WATERMAIN

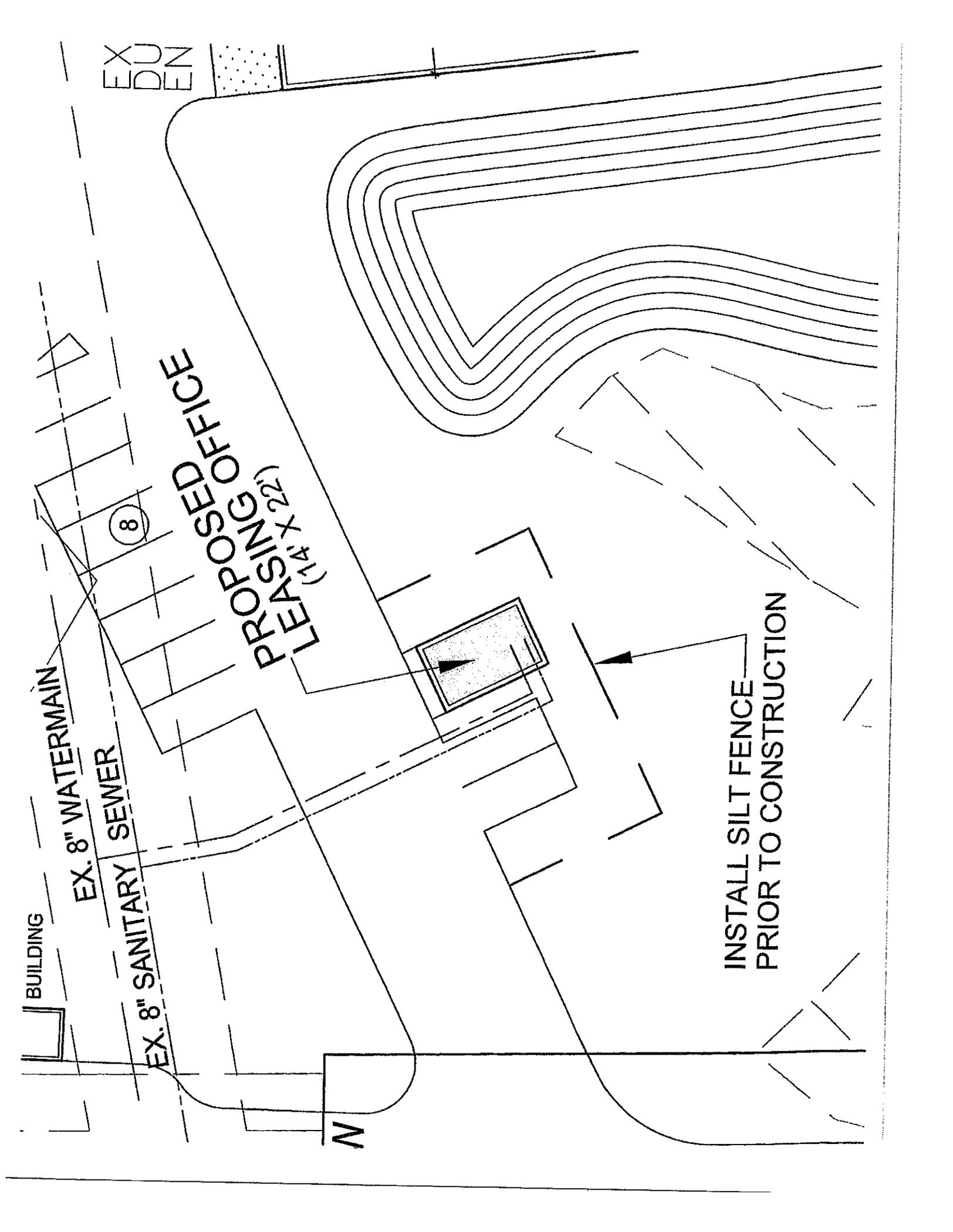
EX. 8" SANITARY SEWER

8

PROPOSED OFFICE  
LEASING (22')  
(14')

N

INSTALL SILT FENCE  
PRIOR TO CONSTRUCTION



# Boss Creek Apartments

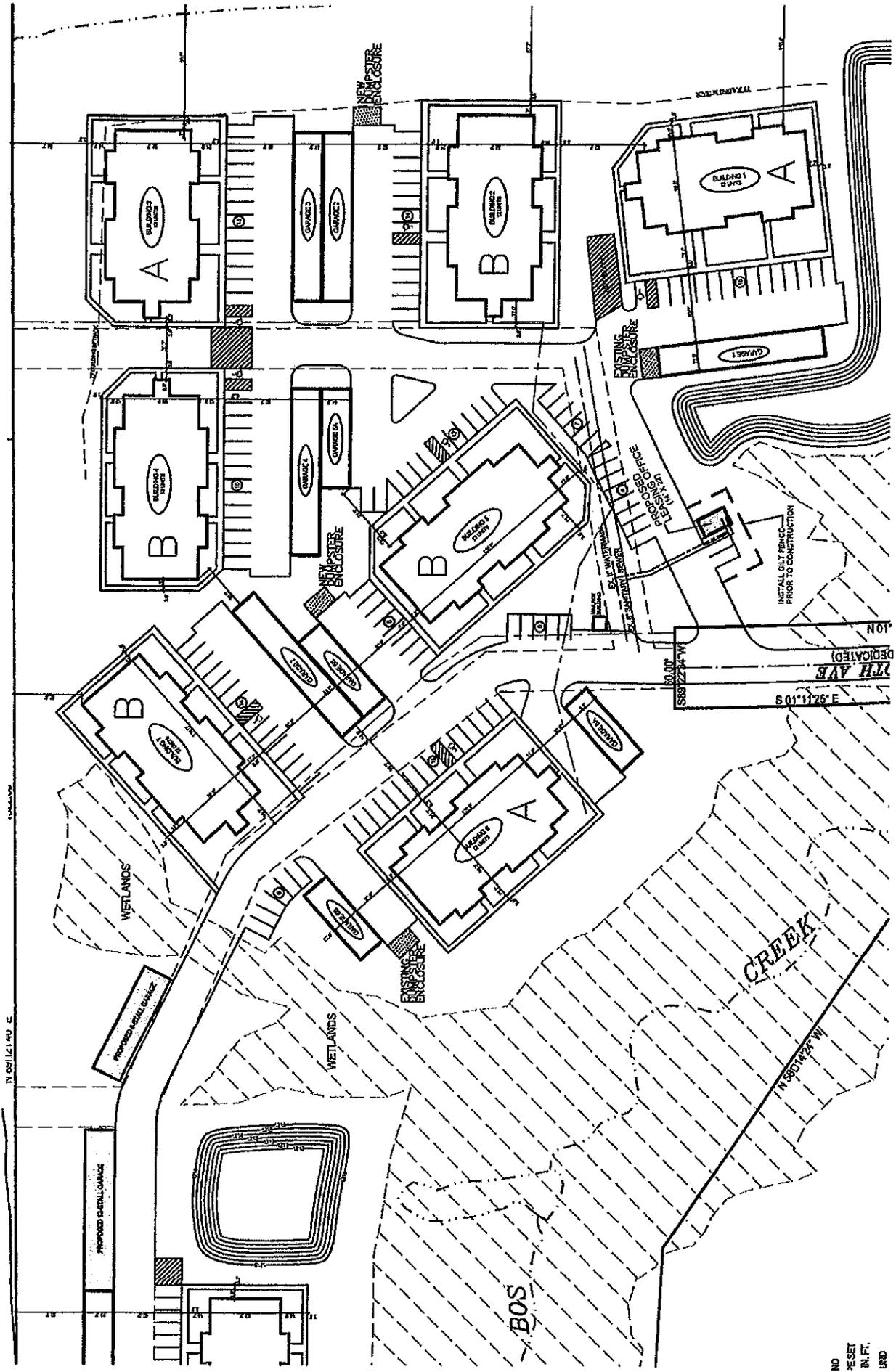
1901 North 10th Ave Wausau WI

## Legend

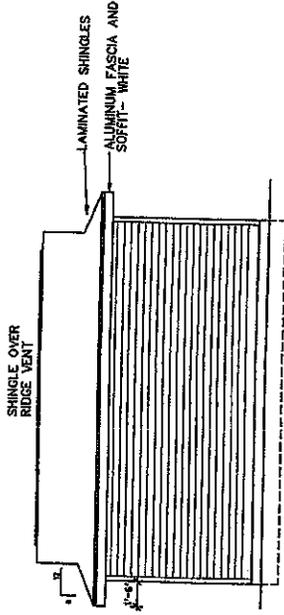


500 ft

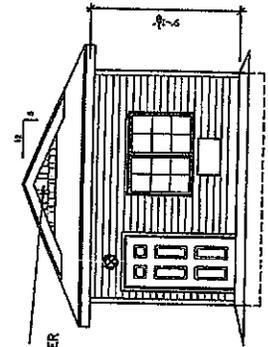
Google earth



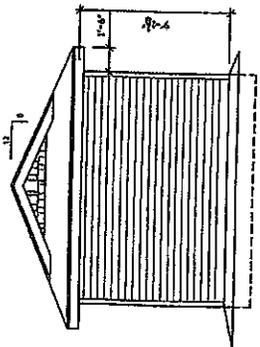
NO  
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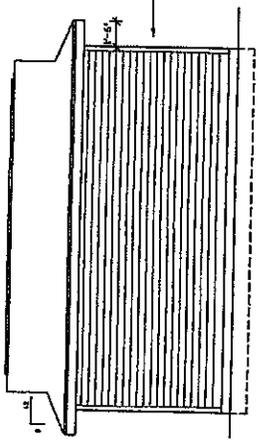
SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



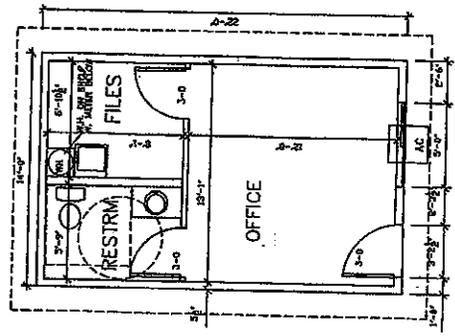
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



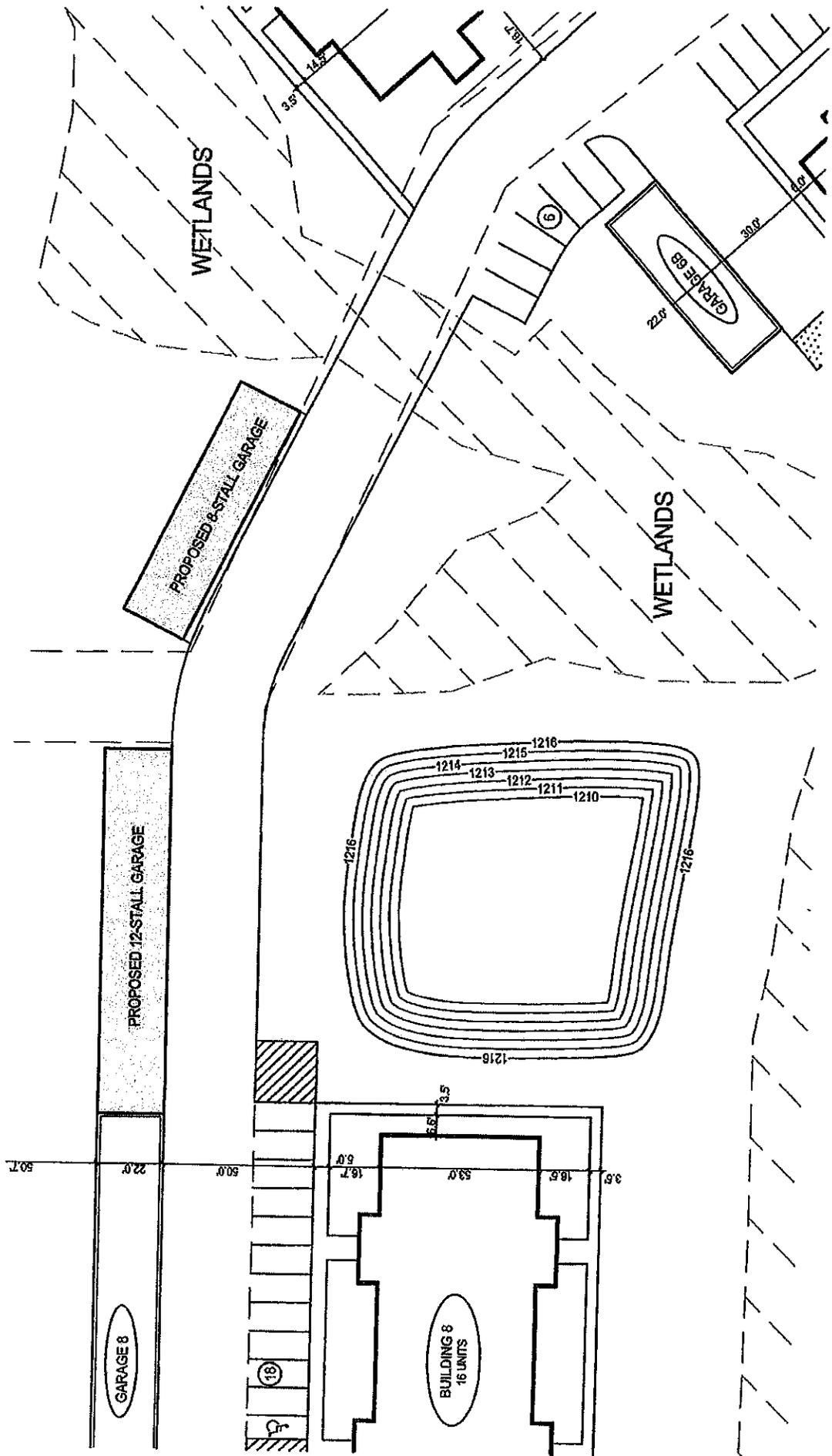
BACK ELEVATION  
SCALE: 1/4" = 1'-0"



SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



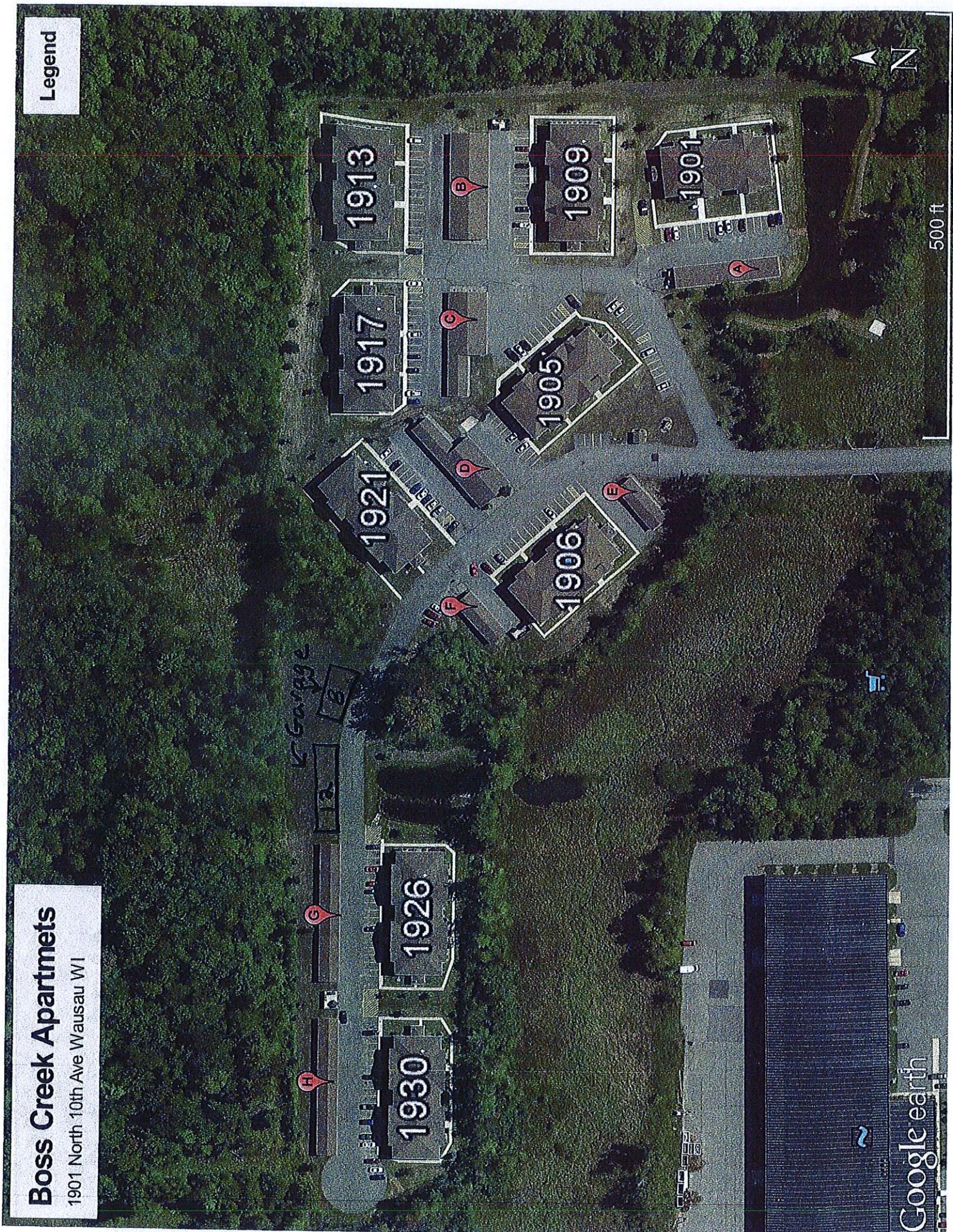
FLOOR PLAN  
SCALE: 1/4" = 1'-0"



# Boss Creek Apartments

1901 North 10th Ave Wausau WI

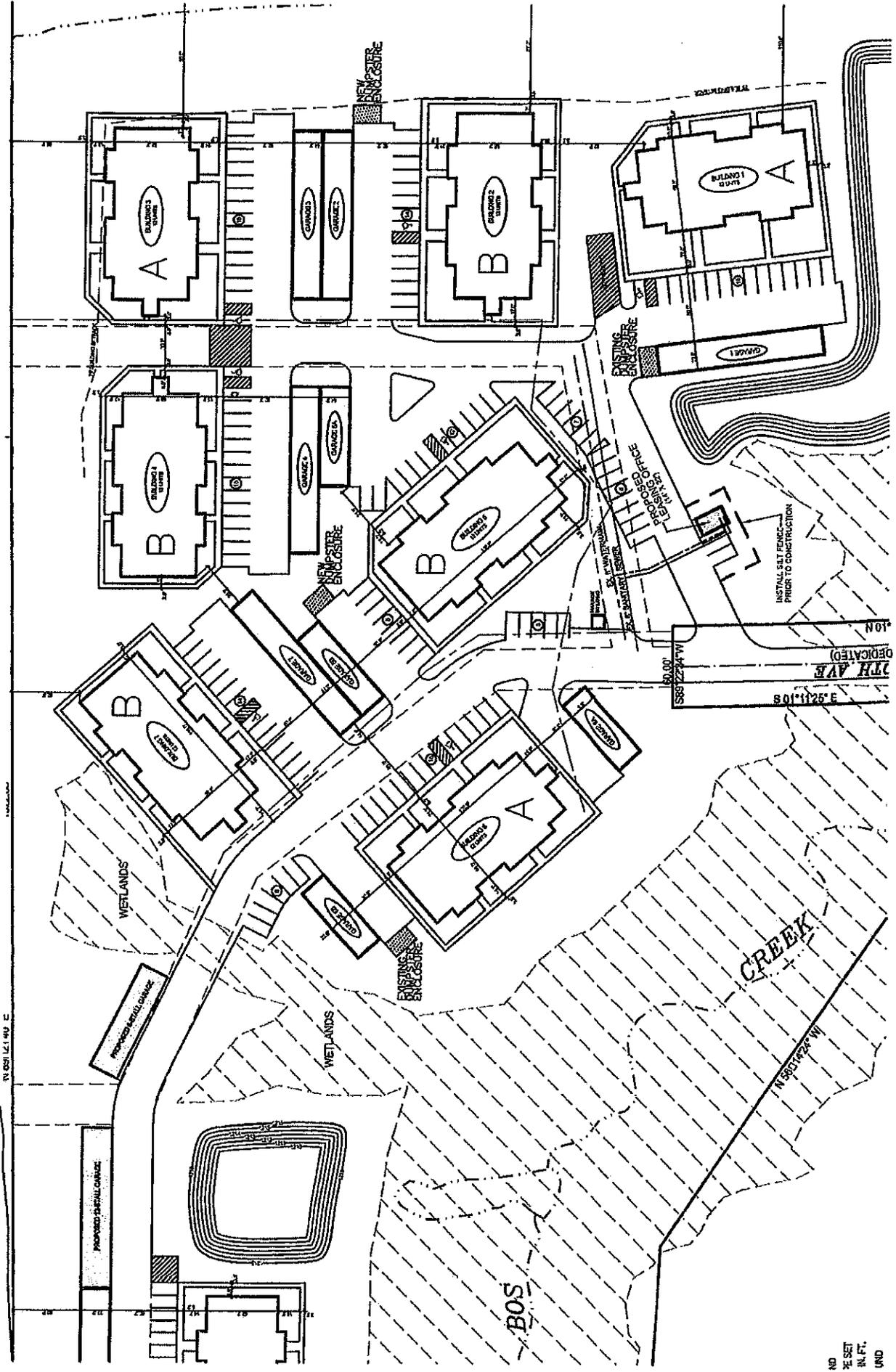
## Legend



Google earth

500 ft





NO  
 RE SET  
 IN FT.  
 UND

Agenda Item No.

*STAFF REPORT TO CISM COMMITTEE - November 4, 2015*

**AGENDA ITEM**

Discussion and possible action on the 2015 Wausau MPO Bicycle and Pedestrian Plan

**BACKGROUND**

The Wausau Metropolitan Planning Organization (MPO) has been engaging in an update to its bicycle and pedestrian plan. The previous plan was adopted by the City in 2010. Many recommendations from that plan for the city of Wausau have been implemented. The current plan builds on the previous plan in recognizing the importance of providing diverse transportation networks to meet safety, mobility, livability, environmental, and economic goals. The plan provides science-based recommendations for improving biking and walking in the community. A brief presentation will be given at the CISM meeting highlighting elements of the plan particularly relevant to the city of Wausau. The MPO, composed of leaders from the metropolitan communities, adopted the plan at their September meeting. The committee will be asked to recommend to the Common Council adoption of the plan.

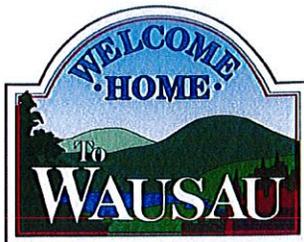
**FISCAL IMPACT**

Adoption of the plan does not constitute financial obligations.

**STAFF RECOMMENDATION**

Staff recommends approval of the plan.

Staff contact: Brad Lenz 715-261-6753



Office of the City Attorney

Anne L. Jacobson  
City Attorney

Tara G. Alfonso  
Assistant City Attorney

## MEMORANDUM

To: Anne Jacobson, Bill Hebert and Brad Lenz

From: Pahoua Thao

Re: Case synopsis for *Reed v. Town of Gilbert* and *Norton v. City of Springfield*

Date: November 10, 2015

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This is a short synopsis of *Reed v. Town of Gilbert* and *Norton v. City of Springfield* and their implications for the City of Wausau's ordinances. Both cases were decided in the summer of 2015 and have wide implications for municipalities not only in our area, but for the rest of the United States. Both cases dealt with ordinances that regulated speech in some form.

### **Reed v. Town of Gilbert**

*Reed* was decided by the U.S. Supreme Court in June of 2015. In *Reed*, a church sued the town for limiting how long their temporary directional signs were allowed as compared to other temporary signs. The church alleged that the town was abridging their freedom of speech in violation of the First and Fourteenth Amendments since the town regulated the type of information the sign conveyed (i.e. political, directional and ideological signs) and then subjected each category to different restrictions based on the information that the sign conveyed.

The Supreme Court was asked to determine whether the town's sign code was constitutional and found that the town's sign code was content-based regulations of speech favoring one sign message over another. Therefore, the Court found that the town's sign code was unconstitutional.

## **Norton v. City of Springfield**

*Norton v. City of Springfield* is the first case which applies *Reed v. Town of Gilbert* to an ordinance. In *Norton*, the City of Springfield was challenged on their anti-panhandling ordinance. The ordinance restricted any verbal request for immediate monetary donations in the downtown business district.

The seventh circuit held that the anti-panhandling ordinance was unconstitutional and explained that under the *Reed* case, content discrimination is understood differently than it once was. Regulation of speech is content based if a law applies to particular speech because of the topic discussed or the idea or message expressed. The court went on to explain that few regulations will survive this rigorous standard.

## **How do these cases affect the City of Wausau?**

The Supreme Court made it clear that if you want to regulate based on the content, subject matter/topic or viewpoint of the sign, the government has the burden of proving that the challenged regulation is constitutional. The government must show that its policy is necessary to achieve a compelling state interest and then the government must demonstrate that the regulation is narrowly tailored to achieve the intended result. Under this type of burden, the regulation is usually found unconstitutional by the courts.

In other words, the *Reed* case appears to say that if a municipality wants to regulate the content of a message that is being expressed, there must be a crucial reason for regulating the content of a message. The reason for regulating must be specific to accomplishing a necessary or crucial (compelling) interest of the government such as not allowing non-government issued stop signs to protect the health and safety of the public. Reasons such as sign clutter will not be held as a necessary or crucial interest and the regulation will be held unconstitutional.

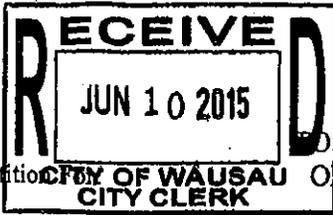
In order to avoid a higher likelihood of litigation, the City of Wausau should attempt to remove any indication of content, topic or viewpoint from the City's sign ordinances. In place of regulating content, viewpoint or subject matter, the City should focus on developing a plan on how to regulate signs based on physical features such as size, material, and location.

An overhaul of the sign ordinances will not guarantee that there will be no future litigation about signs. First Amendment case law is ever evolving. The sign ordinances will have to be reviewed from time to time to ensure that they are up to date with the current law. If the sign ordinances are changed to regulate only physical aspects, the possibility of litigation over signs against the City of Wausau will be less.

Agenda Item No.  2
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*STAFF REPORT TO CISM COMMITTEE - November 12, 2015*

<b>AGENDA ITEM</b>
<b>PUBLIC HEARING:</b> Discussion and possible action on petition to vacate the alley abutting 215 East Thomas Street west to Emter Street
<b>BACKGROUND</b>
The initial resolution to hold a public hearing was before CISM on May 7, 2015. At that time, the petition submitted only had one signature. The petitioner has since provided a petition with additional signatures. All property owners abutting the alley bounded by Thomas Street, Edwards Street, Emter Street and McCleary Street were notified of this public hearing.
<b>FISCAL IMPACT</b>
If this portion of the alley is vacated, the City would not be responsible for future maintenance of the vacated portion.
<b>STAFF RECOMMENDATION</b>
Depending upon comments received at the public hearing, staff would recommend the vacation of this portion of the alley.
Staff contact: Allen Wesolowski 715-261-6762

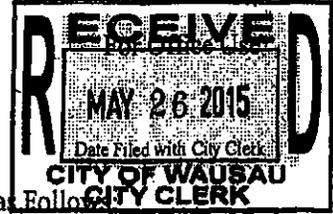


cc: Engineering Dept

# PETITION

A Petition OF THE MAYOR AND COMMON COUNCIL OF THE CITY OF WAUSAU, WISCONSIN  
CITY CLERK

OF THE MAYOR AND COMMON COUNCIL OF THE CITY OF WAUSAU, WISCONSIN



- Alley Vacation
- Blacktop Paving
- Curb and Gutter
- Sanitary Sewer
- Street Light
- Street Vacation
- Storm Sewer
- Watermain
- Zoning Change
- Other as Follows \_\_\_\_\_

The undersigned petitioners respectfully request that your honorable body take such action as will cause the:

vacation of the alley from 215 E. THOMAS ST to the west TO Finter Street.

Signature of Electors	Print Name Clearly	Print Home Address	Date of Signing
	Mike Starbuck	235 E THOMAS	5-26-15
	Randy Hill	249 E Thomas	5-26-15
	Randy Hill	241 E Thomas	5-26-15
	Tris Sheumake	302 Edwards St	5-26-15
	Russ Fuchs	228 Edwards St	5-26-15
	Fai H. Xiong	225 E. THOMAS ST	5-26-15
	LAMONT THAO	215 E. THOMAS ST	5-26-15
		205 E. THOMAS ST	
		220 Edwards ST	
		216 Edwards ST	
		212 Edwards ST	
		206 Edwards ST	
	Gary Conright	237 Thomas	6-5-2015
	Paul Schuster	204 Edwards St.	6-5-2015

### AFFIDAVIT OF CIRCULATOR

STATE OF WISCONSIN  
 CITY OF WAUSAU LAMONT THAO being duly sworn disposes and says that he is a resident of the affected area, residing at \_\_\_\_\_ in the City of Wausau; that he is personally acquainted with the persons who have signed the foregoing petition; that he knows them to be residents of the affected area; that they signed the same with full knowledge of the contents thereof; that their respective residents are stated therein; that each signer signed the same on the date stated opposite his name; and that he intends to support the petition.

Filed in the Office of the City Clerk and sworn to before me this 26<sup>th</sup> day of May, 2015

Mary A. Goede  
Signature of City Clerk or designee

(Signature of Circulator)

215 E. THOMAS ST  
(Address of Circulator)

June 10, 2015  
Ann: Lamb

Alley Proposed To Be Vacated

E THOMAS ST

EDWARDS ST

EMTER ST

MCCLEARY ST



0 50 100 200 Feet

Map Date: April 22, 2015

# CITY OF WAUSAU

Marathon County, Wisconsin

## Legend

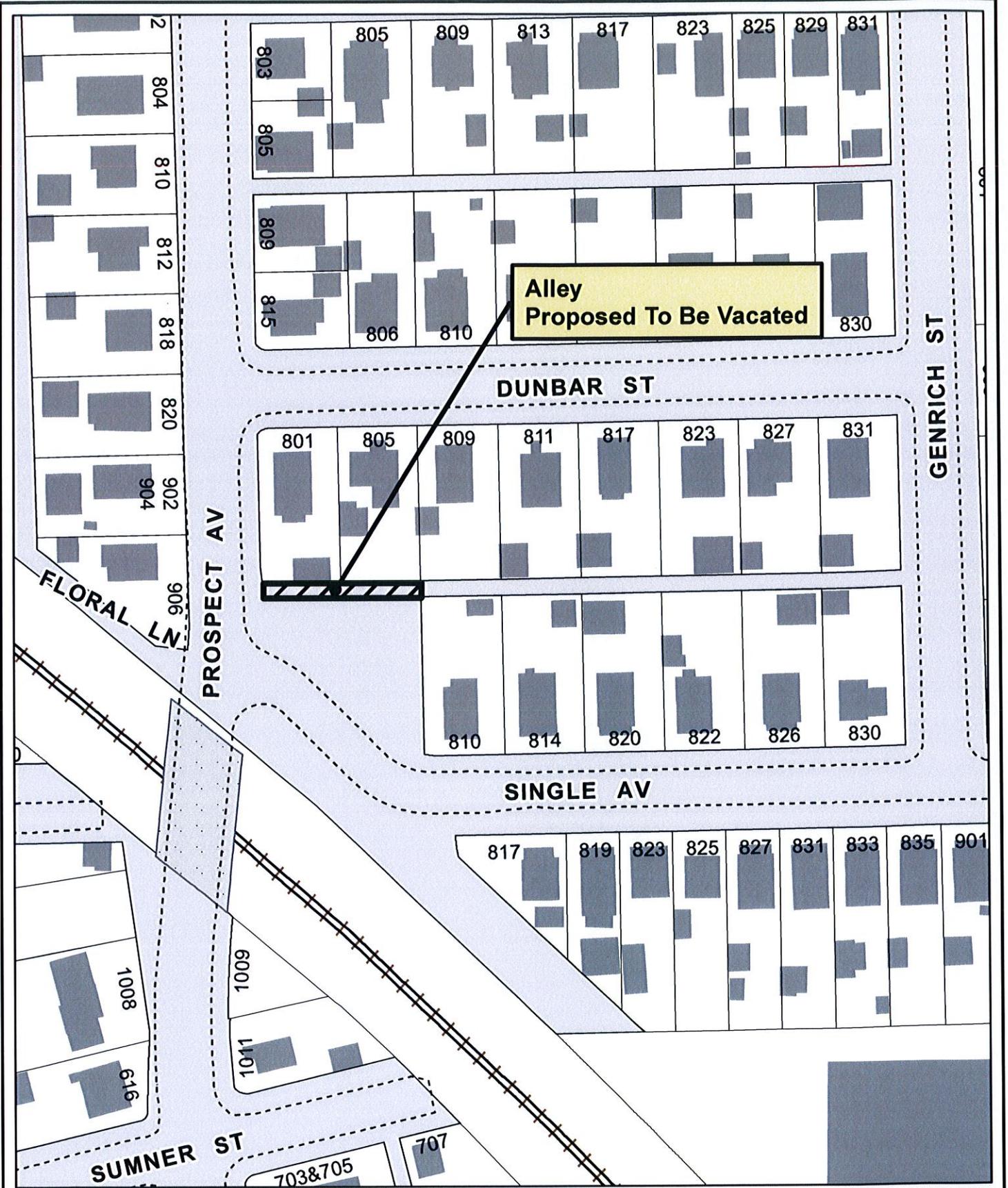
-  Existing Right of Way
-  Existing Building



Agenda Item No.  
3

**STAFF REPORT TO CISM COMMITTEE - November 12, 2015**

<b>AGENDA ITEM</b>
<b>PUBLIC HEARING:</b> Discussion and possible action on petition to vacate a portion of the alley bounded by Prospect Avenue, Genrich Street, Dunbar Street and Single Avenue
<b>BACKGROUND</b>
The Community Development Department has been working with the Longfellow Neighborhood Association to develop a tot lot on the corner of Prospect Avenue and Single Avenue. To properly build this tot lot, Community Development is requesting the alley be vacated abutting 801 and 805 Dunbar Street.
<b>FISCAL IMPACT</b>
There is no fiscal impact in the vacation of a portion of this alley as the alley is unimproved.
<b>STAFF RECOMMENDATION</b>
Depending upon comments received at the public hearing, staff would recommend vacating a portion of the alley bounded by Prospect Avenue, Genrich Street, Dunbar Street and Single Avenue.
Staff contact: Allen Wesolowski 715-261-6762

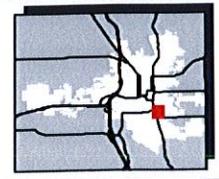


Map Date: May 14, 2015

# CITY OF WAUSAU

Marathon County, Wisconsin

- Legend**
- Bridge
  - Building
  - Right of Way
  - Road (Paved)





## MEMO

TO: CISM Committee Members

FROM: Tammy Stratz, Community Development Manager

RE: Proposed Alley Vacation

DATE: August 5, 2015

The Community Development Department has been working with the Longfellow Neighborhood Association to develop a Tot Lot on the corner of Prospect and Single Avenues – which is a City-owned lot. (See attached proposed Tot Lot rendering.)

Through the investigation of this lot, it was discovered that there is an alley that was never vacated when the street was reconstructed. Through the reconstruction, the alley lost its access onto Prospect Avenue. As the attached photo shows, there is no evidence that vehicular traffic has been utilizing this alley until farther west down the alley. To properly build this Tot Lot, we are requesting the alley be vacated only on the south side of 801 and 805 Dunbar Street. I have spoken to both of the owners and, at that time, they did not have any reason to deny this request.

If you have any questions regarding this request, please feel free to call me at 715-261-6682.

Thank you for your consideration.

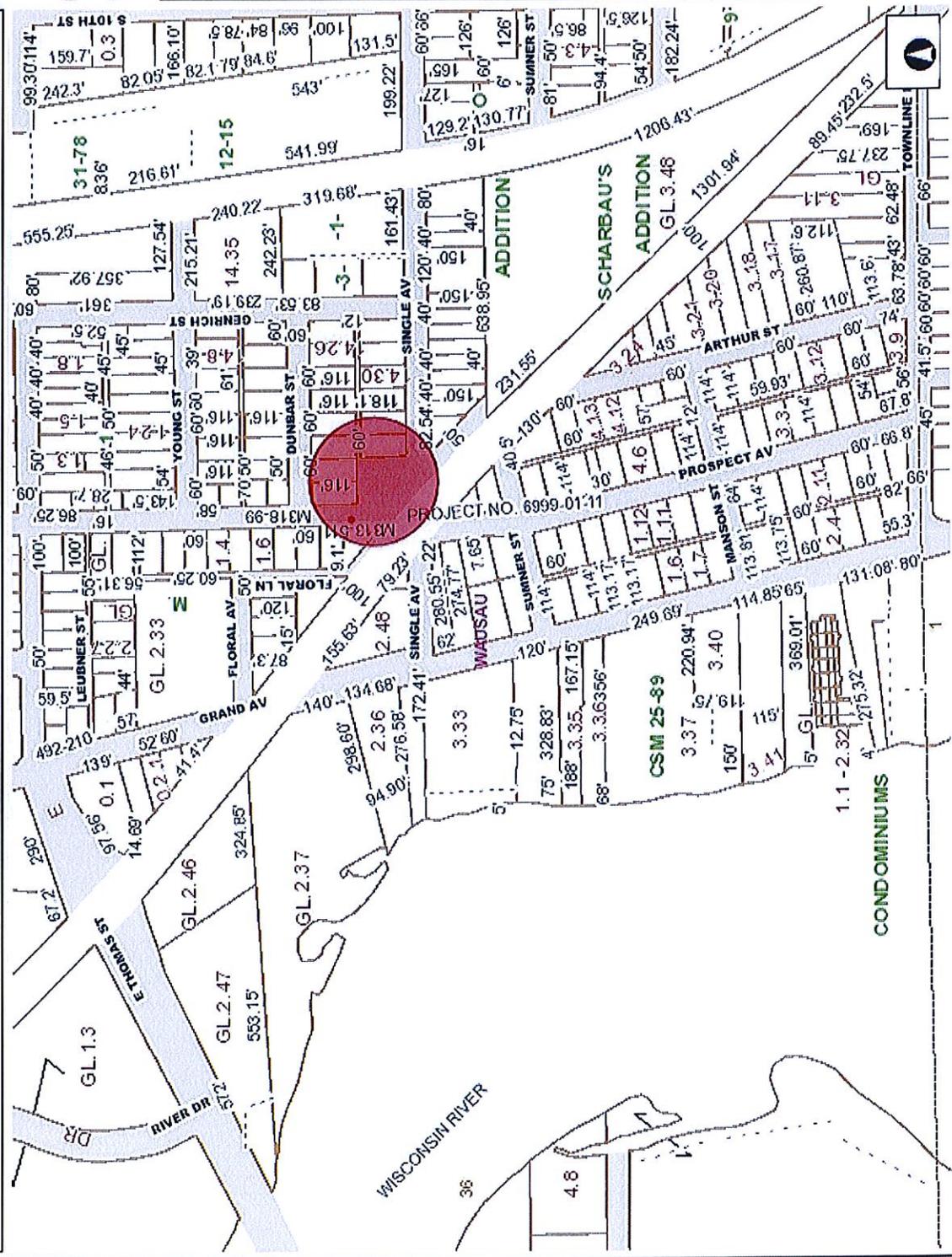


# Land Information Mapping System

- HALSEY
- BERN
- MAIN
- TEX
- SHEWITT
- HOLLON
- STEELE
- WESTON
- JULIEN
- SPEAR
- ANGIE
- BRIGHT
- HEIM
- REID
- DAVIS
- WISCONSIN
- FRENCH
- FRANZEN

### Legend

- Parcel Annotations
- Parcels
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Municipalities



### Notes

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

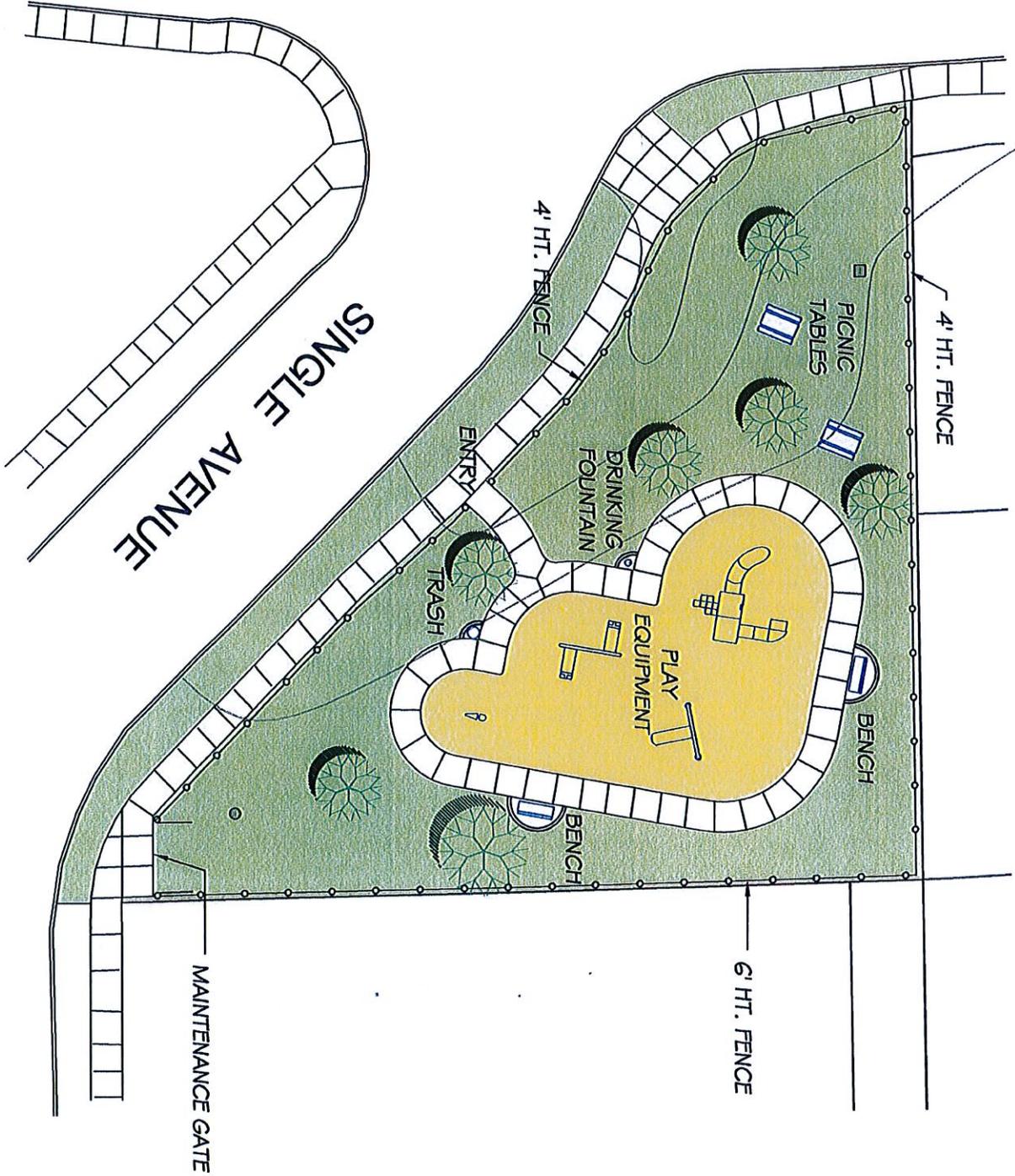
THIS MAP IS NOT TO BE USED FOR NAVIGATION

193.51 0 193.51 Feet

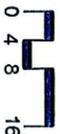


User\_Defined\_Lambert\_Conformal\_Conic

PROSPECT AVENUE



SCALE 1/8" = 1'-0"



# LONGFELLOW NEIGHBORHOOD TOT LOT

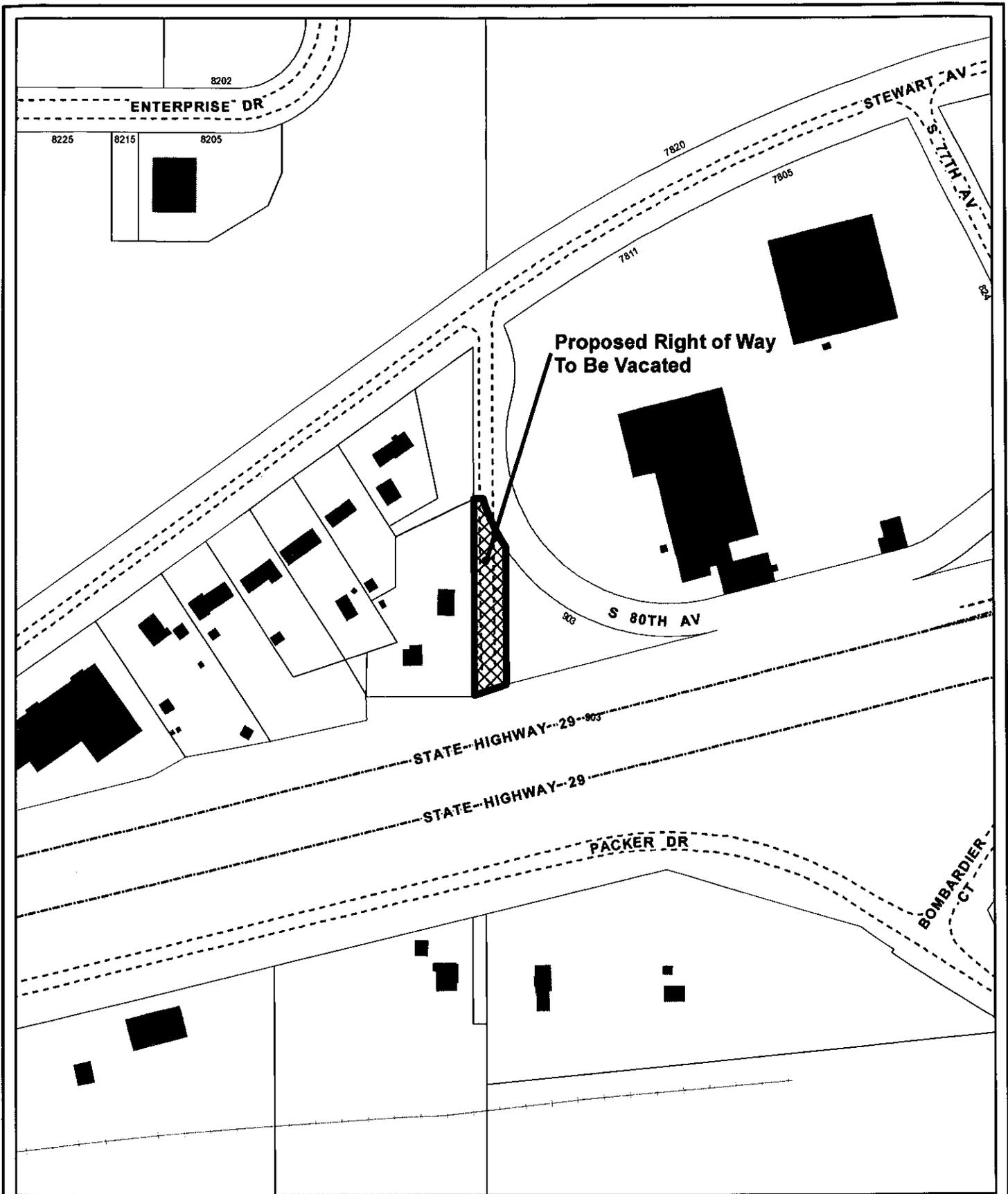
911 PROSPECT STREET



Agenda Item No.  
4

*STAFF REPORT TO CISM COMMITTEE - November 12, 2015*

<b>AGENDA ITEM</b>
<b>PUBLIC HEARING:</b> Discussion and possible action on petition to vacate a portion of 80 <sup>th</sup> Avenue
<b>BACKGROUND</b>
Due to the reconfiguration of 80 <sup>th</sup> Avenue, the City has initiated a petition to vacate a portion of 80 <sup>th</sup> Avenue as shown on the attached map.
<b>FISCAL IMPACT</b>
There is no fiscal impact in vacating this right-of-way.
<b>STAFF RECOMMENDATION</b>
Depending upon comments received at the public hearing, staff would recommend vacating the portion of 80 <sup>th</sup> Avenue as shown on the attached map.
Staff contact: Allen Wesolowski 715-261-6762



Proposed Right of Way  
To Be Vacated



Map Date: September 3, 2015

# CITY OF WAUSAU

Marathon County, Wisconsin

**Legend**

-  Vacate
-  Existing Right of Way
-  Existing Road (Paved)
-  Existing Building

